

ALL IDEAS, DESIGNS AND PLANS INDICATED OR REPRESENTED BY THESE DOCUMENTS ARE OWNED BY AND ARE THE PROPERTY OF PACIFIC ARCHITECTS AND HEREBY CREATED AND DEVELOPED FOR USE IN CONNECTION WITH A SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS OR PLANS SHALL BE USED FOR ANY PURPOSES WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF PACIFIC ARCHITECTS.

Table with 3 columns: Revision, Description, Date

Job Number:

Date: 7.14.24

AO.1

GENERAL NOTES

- 1. THESE DRAWINGS ARE DEEMED INSTRUMENTS OF SERVICE COVERED BY ALL APPLICABLE LAWS... 2. THE GENERAL CONDITIONS AS PUBLISHED BY THE AMERICAN INSTITUTE OF ARCHITECTS... 3. THE CONSTRUCTION DOCUMENTS ARE PROVIDED TO ILLUSTRATE THE DESIGN INTENT... 4. DRAWINGS ARE BASIC EXISTING REQUIREMENTS... 5. NO INSTRUCTIONS, REVISIONS, ADDITIONS, DELETIONS, SPECIFICATIONS, OR DETAILS OTHER THAN THE INFORMATION CONTAINED HEREIN SHALL GOVERN THE PROJECT... 6. DRAWINGS REPRESENT PRIMARY REQUIREMENTS FOR DESIGN AND CONSTRUCTION... 7. IT SHALL BE UNDERSTOOD THAT ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SAFETY... 8. ALL CONSTRUCTION MEANS, METHODS, MATERIALS AND TECHNIQUES SHALL COMPLY WITH THE LATEST EDITION OF ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES... 9. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL REQUIRED OPENINGS... 10. THE CONTRACTOR SHALL VERIFY ALL CONSTRUCTION DOCUMENTS, SITE DIMENSIONS AND CONDITIONS... 11. CONTRACTORS SHALL PROCURE AND INCLUDE IN HIS BASE BID PRICE ALL NECESSARY PERMITS... 12. CONTRACTOR MUST SHOW PROOF OF INSURANCE BEFORE CONTRACT IS AWARDED... 13. FROM INFORMATION PROVIDED BY THE OWNER, ALL PROPERTY LINES, EASEMENTS, AND EXISTING BUILDINGS ARE COPIED TO THIS SITE PLAN... 14. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND GENERAL DETAILS... 15. DO NOT SCALE DRAWINGS... 16. ALL DIMENSIONS ARE TO FACE OF STUD OR FACE BLOCK UNLESS OTHERWISE NOTED... 17. SURFACE WATER SHALL DRAIN AWAY FROM THE BUILDING... 18. WATER-CONSERVING PLUMBING FIXTURES AND FITTINGS... 19. KITCHEN FAUCETS (ICD) WITH THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE... 20. NOISE BIBBS AND LAVIN SPRINKLER SYSTEMS SHALL HAVE APPROVED BACK-FLOW PREVENTION DEVICES PER CGC 603.5.1... 21. PROVIDE SHUT OFF VALVE ON GAS AND ALL COLD WATER LINES TO BUILDING... 22. PROVIDE PRESSURE RELIEF VALVE WITH DRAIN TO OUTSIDE FOR WATER HEATER... 23. ALL BATHROOM, KITCHEN, GARAGE, UTILITY ROOM, EXTERIOR AND ALL MET LOCATION RECEPTACLES TO BE GFI... 24. FIREBLOCKS AND DRAFTSTOPPING SHALL BE PROVIDED PER CGC 116 & CGC R302.1.1 THROUGH R302.1.2... 25. ESCAPE WINDOWS IN EACH BEDROOM TO BE MAXIMUM 44" FROM FLOOR TO TOP OF WINDOW SILL... 26. EXPOSED COMBUSTIBLE MANTELS OR TRIM MAY BE PLACED DIRECTLY ON THE MASONRY FIREPLACE FRONT SURROUNDING THE FIREPLACE OPENING... 27. ATTIC VENTILATION TO BE NOT LESS THAN 1/150 TH OF ATTIC AREA... 28. CONTRACTOR SHALL PROVIDE ALL NECESSARY BACKINGS AND FRAMING FOR HALL AND CEILING MOUNTED ITEMS... 29. ALL EXTERIOR OPENINGS, FLASHINGS, COUNTER FLASHING AND EXPANSION JOINTS SHALL BE CONSTRUCTED IN SUCH A MANNER TO BE WEATHERPROOFED... 30. ALL COVER PLATES, GRILLES, AND FIXTURES TO BE WHITE UNCO. 31. EXHAUST FAN SHALL PROVIDE MINIMUM EXHAUST RATE PER CMC TABLE 403.7... 32. GENERAL LIGHTING FOR KITCHEN AND BATHROOMS MUST BE 25 LUMENS /WATT OR GREATER... 33. ALL HANDRAILS SHALL BE 34" MIN-36" MAX... 34. ALL OPEN GUARDRAILS AND STAIR RAILINGS SHALL HAVE INTERMEDIATE RAILS... 35. FIREPLACE GAS VALVES MUST BE LOCATED NOT MORE THAN 6 FT. UNLESS LISTED FOR INSTALLATION IN THE FIREPLACE PER CGC 1212.6... 36. ALL UTILITY SERVICES LOCATED WITHIN THE PROPERTY LINES SHALL BE INSTALLED UNDERGROUND... 37. MOOD FRAMING MEMBERS, INCLUDING MOOD SHEATHING, THAT REST ON EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8 INCHES FROM EXPOSED EARTH SHALL BE OF NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD... 38. ELECTRICAL SYSTEM GROUND TO BE PROVIDED PER NEC 210-8

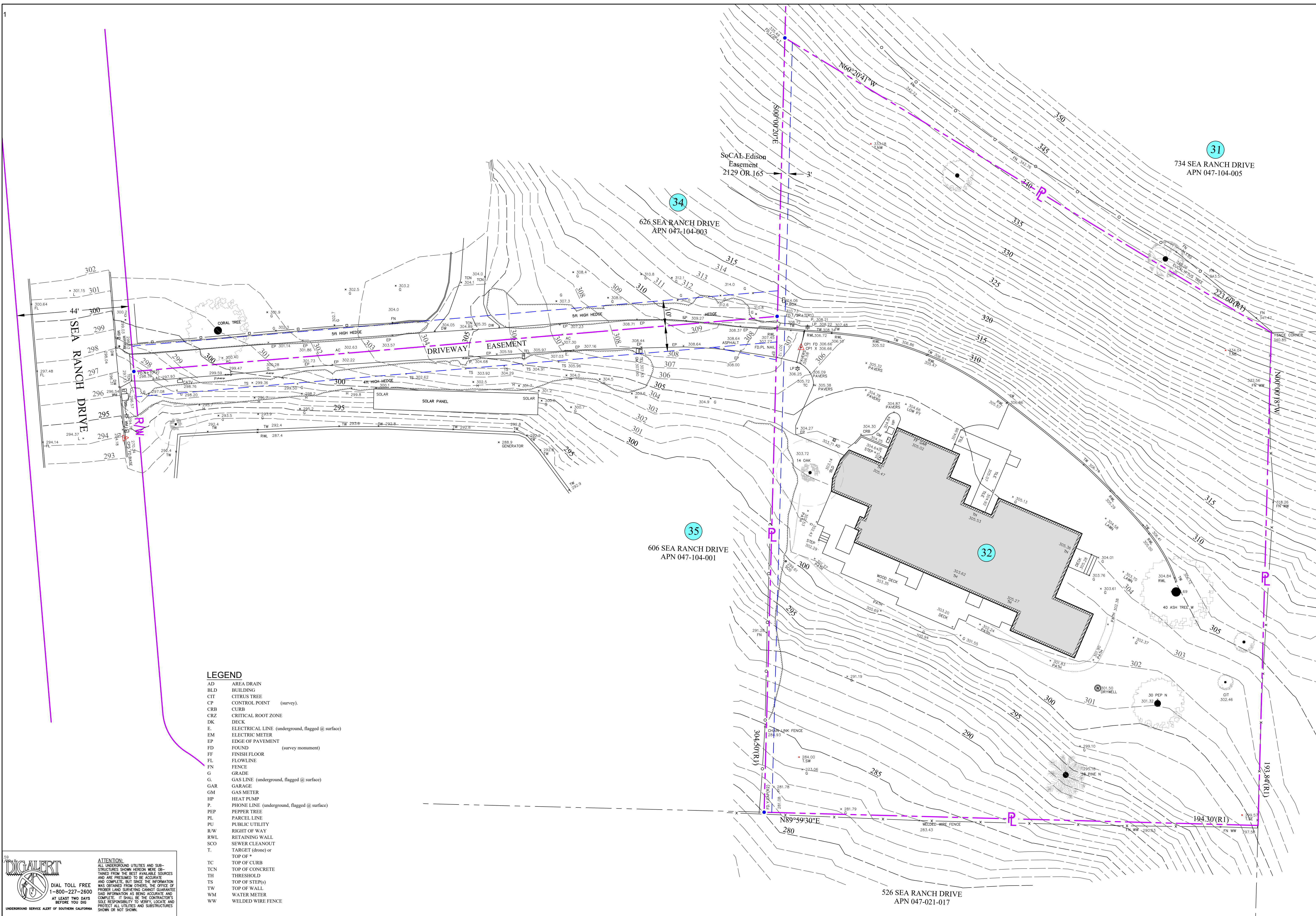
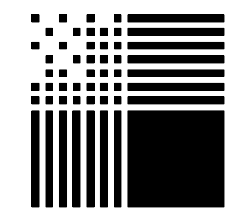
KEYNOTES

- M1. MISCELLANEOUS... M2. ALL PLUMBING FIXTURES BY KOHLER OR APPROVED EQUAL... M3. GUTTERS: 30 GZL COPPER GUTTER AND DOWNSPOUT TO SPLASH BLOCK OR HARD PIPED TO UNDERGROUND DRAINAGE SYSTEM... M4. INDIVIDUAL SHOWER AND TUB-SHOWER COMBINATION CONTROL VALVES... M5. SHOWER COMPARTMENTS: SHOWER COMPARTMENTS, REGARDLESS OF SHAPE... M6. APPLIANCES TO BE SELECTED AND APPROVED BY OWNER... M7. NEARLY INSTALLED PLUMBING FIXTURES SHALL BE WATER-CONSERVING... M8. NEARLY INSTALLED KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE... M9. TONEL BAR AS SELECTED BY OWNER... M10. HANDRAIL... M11. GUARDS... M12. ISOKERN® STAKE DOME COMPONENTS... M13. SUPERIOR MODEL VRT82042 PRO SERIES WOOD BURNING FIREPLACE... M14. HEARTH EXTENSION THICKNESS... M15. CHIMNEY CAP... M16. INSULATION... M17. ROOF / CEILING AREAS

KEYNOTES

- C. CEILING... C1. 1/2" GYPSUM BOARD, SPRAYED TEXTURE FINISH COATING... C2. 5/8" TYPE 'X' GYPSUM BOARD, SPRAYED TEXTURE FINISH COATING... C3. TILE: TILE O/POLYMER MODIFIED THINSET MORTAR BOND COAT O/CEMENTITIOUS BACKER UNIT 'CBU' O/WATERPROOF MEMBRANE (6 MIL POLYETHYLENE FILM)... CF: CABINET / COUNTER FINISHES... CF1- COUNTERTOP AND SPLASH AS SELECTED BY OWNER... CF2- QUARTZ SLAB COUNTER TOP AND BACK SPLASH... CF3- TILE COUNTER TOP AND SPLASH O/POLYMER MODIFIED THINSET MORTAR BOND COAT O/WATERPROOF MEMBRANE... CF4- CABINETS: ARCHITECTURAL GRADE FRAME EUROPEAN CONSTRUCTION... DW: DOORS AND WINDOWS... DW1- MOOD FRAME DOORS... DW2- ALUMINUM HINGED DOORS... DW3- ALUMINUM HINGED DOOR W/ FIXED SIDELET... DW4- ALUMINUM SLIDING GLASS DOORS... DW5- ALUMINUM SLIDING GLASS DOOR W/ FIXED TRANSOM... DW6- ALUMINUM SLIDING GLASS DOOR W/ FIXED TRANSOM... DW7- ALUMINUM SLIDING GLASS DOOR W/ FIXED TRANSOM... DW8- ALUMINUM SLIDING GLASS DOOR W/ FIXED TRANSOM... DW9- ALUMINUM SLIDING GLASS DOOR W/ FIXED TRANSOM... DW10- ALUMINUM SLIDING GLASS DOOR W/ FIXED TRANSOM... DW11- ALUMINUM SLIDING GLASS DOOR W/ FIXED TRANSOM... DW12- ALUMINUM SLIDING GLASS DOOR W/ FIXED TRANSOM... DW13- ALUMINUM SLIDING GLASS DOOR W/ FIXED TRANSOM... DW14- ALUMINUM SLIDING GLASS DOOR W/ FIXED TRANSOM... DW15- ALUMINUM SLIDING GLASS DOOR W/ FIXED TRANSOM... EX: EXTERIOR FINISHES... EX1- FLAT ROOF... EX2- TYP. EXTERIOR PLASTER... EX3- EXTERIOR SOFFIT... EX4- ADHERED STONE VENEER... EX5- TILE DECK... EX6- REINFORCED CAST IN PLACE CONCRETE FOUNDATION... F: FLOORING... F1- CARPET AND PAD... F2- TILE: TILE O/ BOND COAT O/ MORTAR SETTING BED O/ SHOWER PAN... F3- TILE: TILE O/ BOND COAT O/ REINF. MORTAR BED... F4- NO-MAX CUSHION VINYL RESILIENT FLOOR... F5- WOOD FLOORING... F6- LAMINATE FLOORING... F7- 4" CONCRETE SLAB... G: GLAZING... WF: WALL FINISH... WF1- 1/2" TYPE 'X' GYPSUM WALLBOARD... WF2- 1/2" TYPE 'X' GYPSUM BOARD... WF3- TILE: TILE O/POLYMER MODIFIED THINSET MORTAR BOND COAT O/CEMENTITIOUS BACKER UNIT 'CBU' O/WATERPROOF MEMBRANE... M: MISCELLANEOUS... M1- INSULATION

Large empty table area for drawing content.



LEGEND

AD	AREA DRAIN
BLD	BUILDING
CTT	CITRUS TREE
CP	CONTROL POINT (survey)
CRB	CURB
CRZ	CRITICAL ROOT ZONE
DK	DECK
E	ELECTRICAL LINE (underground, flagged @ surface)
EM	ELECTRIC METER
EP	EDGE OF PAVEMENT
FD	FOUND (survey monument)
FF	FINISH FLOOR
FL	FLOWLINE
FN	FENCE
G	GRADE
G	GAS LINE (underground, flagged @ surface)
GAR	GARAGE
GM	GAS METER
HP	HEAT PUMP
PL	PHONE LINE (underground, flagged @ surface)
PEP	PEPPER TREE
P	PARCEL LINE
PU	PUBLIC UTILITY
R/W	RIGHT OF WAY
RWL	RETAINING WALL
SCO	SEWER CLEANOUT
T	TARGET (dotted) or TOP OF *
TC	TOP OF CURB
TEN	TOP OF CONCRETE
TH	THRESHOLD
TS	TOP OF STEP(S)
TW	TOP OF WALL
WM	WATER METER
WW	WELDED WIRE FENCE

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AT LEAST TWO DAYS
BEFORE YOU DIG
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

ATTENTION:
ALL UNDERGROUND UTILITIES AND SUB-STRUCTURES SHOWN HEREON WERE OBTAINED FROM THE BEST AVAILABLE SOURCES AND ARE PRESUMED TO BE ACCURATE AND COMPLETE, BUT ONLY THE INFORMATION PROVIDED HEREON IS BEING ACCURATE AND COMPLETE. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY LOCAL AND PRIVATE UTILITIES AND SUBSTRUCTURES SHOWN OR NOT SHOWN.

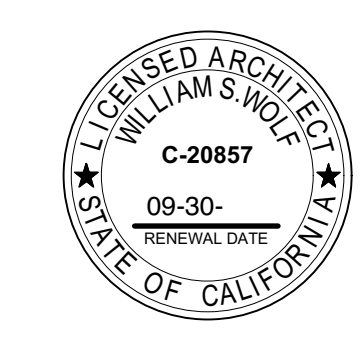
PROBER Land Surveying
645 Flora Vista Drive, SB, CA 93109
(805) 452-9690, pbls@prober.net
www.proberlandsurveying.com

PROF. LAND SURVEYOR
K. PROBER
No. 8101
12-31-21
STATE OF CALIFORNIA

616 Sea Ranch Drive
Santa Barbara, CA
Topographic Survey

Surveyor's Notes:
1. BOUNDARY DATA: CAMPANELLI HILL LINE TWO BK. TA. 1913 (R/L) & RECORD OF SURVEY BK. 315 (P. 76) 2. VERTICAL DATA: NAVD83 INITIAL STA. SMARTNET RICH ID 3229, ELEV. = 1811.1 @ PHASE CENTER 3. EASIMENTS: FIDELITY TITLE CO. TR. 18A, FSA-420211099-SA DATED AUG. 10, 2021 PHOTO DATE 10-27-2021 4. EASIMENTS: FIDELITY TITLE CO. TR. 18A, FSA-420211099-SA DATED AUG. 10, 2021 5. EASIMENTS: FIDELITY TITLE CO. TR. 18A, FSA-420211099-SA DATED AUG. 10, 2021 6. ORTHOMOSAIC: 7. 1" = 54.4" S. 111° 09' 42" W. 109.49' AL. S. 00° 00' 12" W. 109.90' (R) 8. ROTATION TO GRID: 111° 09' 54" S. 111° 09' 42" W. 109.49' AL. S. 00° 00' 12" W. 109.90' (R)

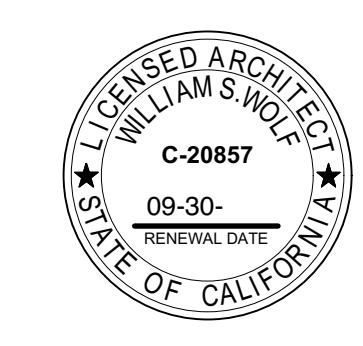
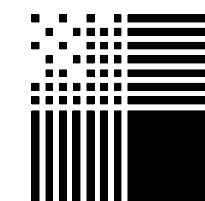
Drawn By: JOP
Field Work Performed: 10-27-2021
Title Report / Easements Plotted: 6-10-2022
driveway survey: 3 Oct 23
Scale: 1 inch = 16 ft.



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Revision	Description	Date
1		

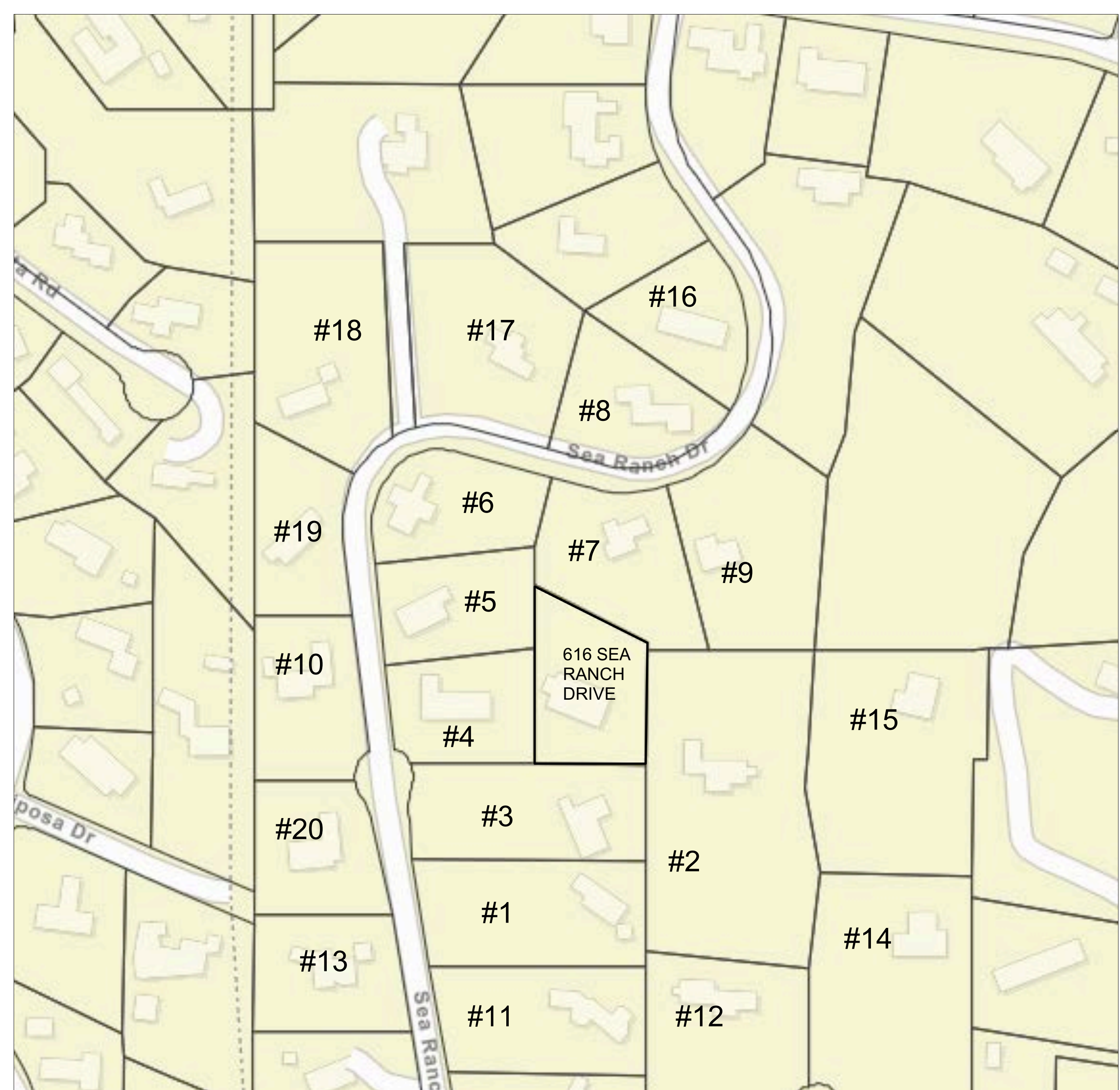
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Date: **7.14.24**



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Date: **7.19.24**



NEIGHBORHOOD FAR STUDY

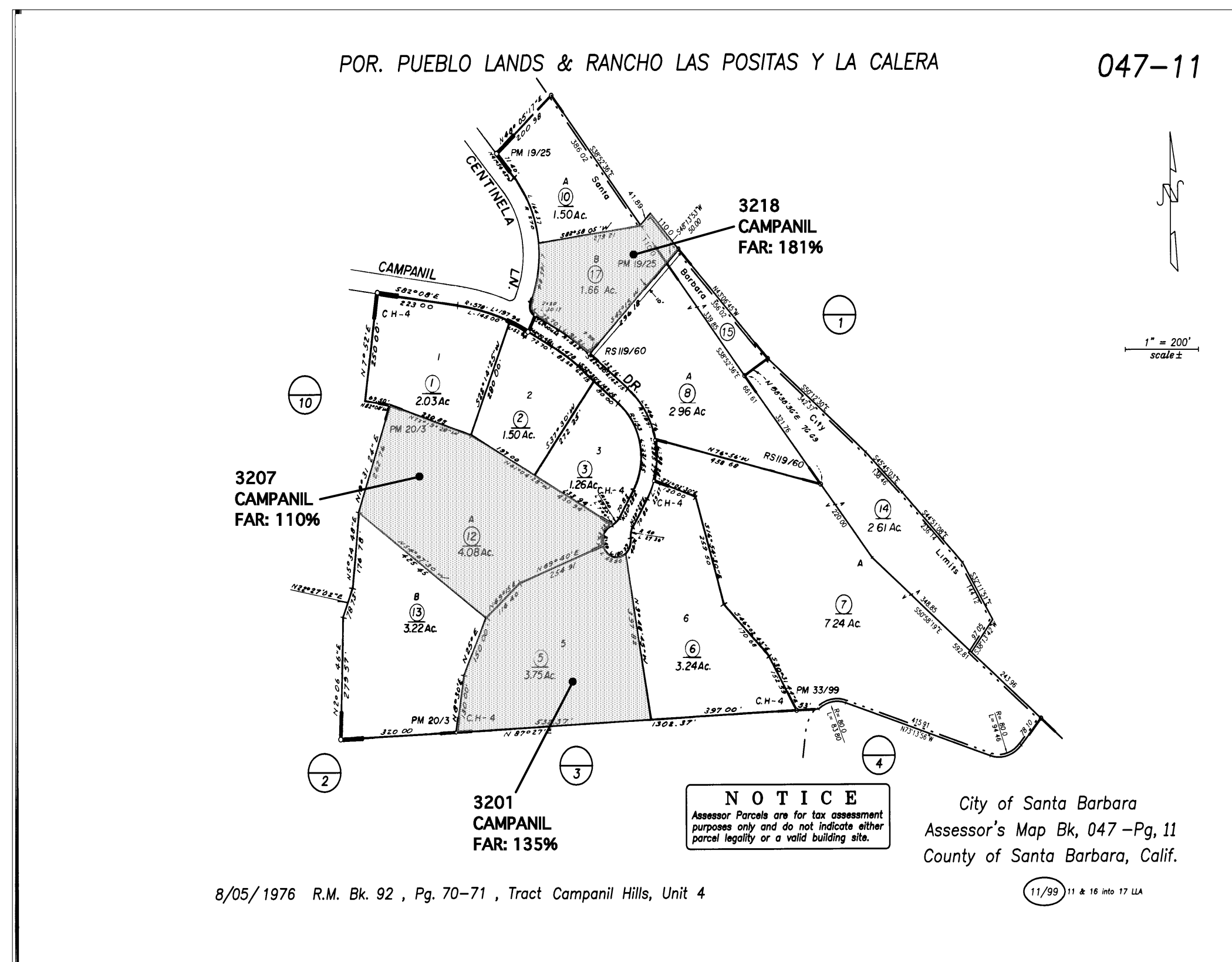
#	ADDRESS	PARCEL NUMBER	ZONE (DESIGNATION)	LOT SIZE (ACREAGE)	BUILDING (SQ. FT.)	GARAGE (SQ. FT.)	FAR	% OF MAX FAR	NUMBER OF STORIES
1.	516 SEA RANCH DRIVE	047-021-016	A-1/S-D-3	1.5	2,420	400	.43	54%	1
2.	525 CALLE LAS GALERAS	047-021-031	A-1/S-D-3	3.36	4,513	1,022	.38	88%	2
3.	526 SEA RANCH DRIVE	047-021-011	A-1/S-D-3	1.05	3,836	550	.46	88%	2
4.	606 SEA RANCH DRIVE	047-104-001	A-1/S-D-3	1	3,413	630	.43	81%	1
5.	626 SEA RANCH DRIVE	047-104-003	A-1/S-D-3	1.06	2,399	483	.66	58%	1
6.	646 SEA RANCH DRIVE	047-104-004	A-1/S-D-3	1.04	2,336	420	.61	55%	1
7.	734 SEA RANCH DRIVE	047-104-005	A-1/S-D-3	1.36	2,612	526	.53	61%	2
8.	737 SEA RANCH DRIVE	047-103-001	A-1/S-D-3	1.07	3,293	743	.87	81%	1
9.	744 SEA RANCH DRIVE	047-104-006	A-1/S-D-3	1.17	2,652	660	.65	66%	1
10.	801 SEA RANCH DRIVE	047-103-012	A-1/S-D-3	1.18	3,627	704	.84	85%	2
11.	506 SEA RANCH DRIVE	047-021-015	A-1/S-D-3	1.36	3,442	398	.65	74%	1
12.	501 CALLE LAS GALERAS	047-021-030	A-1/S-D-3	1.49	3,127	726	.59	74%	1
13.	515 SEA RANCH DRIVE	047-023-004	A-1/S-D-3	1.11	3,145	550	.76	74%	1
14.	806 SEA RANCH DRIVE	047-104-001	A-1/S-D-3	1.0	3,413	630	.43	81%	1
15.	575 BREMAR RANCH LN.	047-021-035	A-1/S-D-3	2.5	5,196	750	.55	102%	2
16.	801 SEA RANCH DRIVE	047-103-006	A-1/S-D-3	1.0	2,669	800	.8	70%	1
17.	711 SEA RANCH DRIVE	047-103-008	A-1/S-D-3	1.83	2,480	440	.37	54%	1
18.	645 SEA RANCH DRIVE	047-103-010	A-1/S-D-3	1.81	2,030	525	.32	47%	1
19.	631 SEA RANCH DRIVE	047-103-011	A-1/S-D-3	1.06	2,523	462	.65	60%	1
20.	525 SEA RANCH DRIVE	047-023-005	A-1/S-D-3	1.14	2,852	576	.69	68%	1

SUBJECT PROPERTY (EXISTING CONDITIONS)
 SUBJECT PROPERTY (WITHOUT BASEMENT, GARAGE, GARAGE STORAGE) OR PORTE COCHER
 SUBJECT PROPERTY/STANDARD FAR DETERMINATION

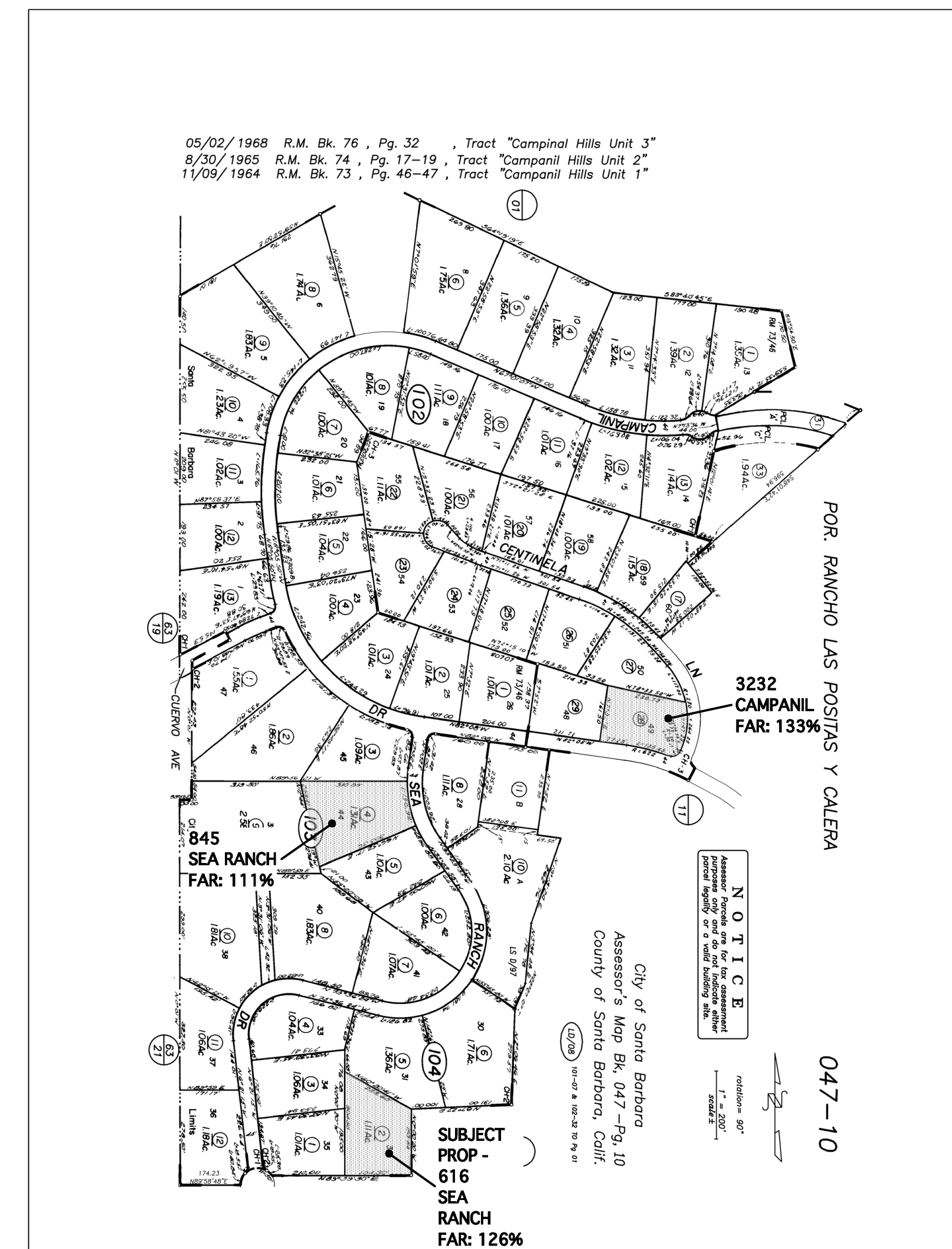
→	616 SEA RANCH DRIVE	047-104-002	A-1/S-D-3	1.11	3,296	611	.81	78%	1
→	616 SEA RANCH DRIVE	047-104-002	A-1/S-D-3	1.11	4,920		.102	98%	1
→	616 SEA RANCH DRIVE	047-104-002	A-1/S-D-3	1.11	5,238	712	.123	105%	1

NEIGHBORHOOD F.A.R. COMPARISON STUDY

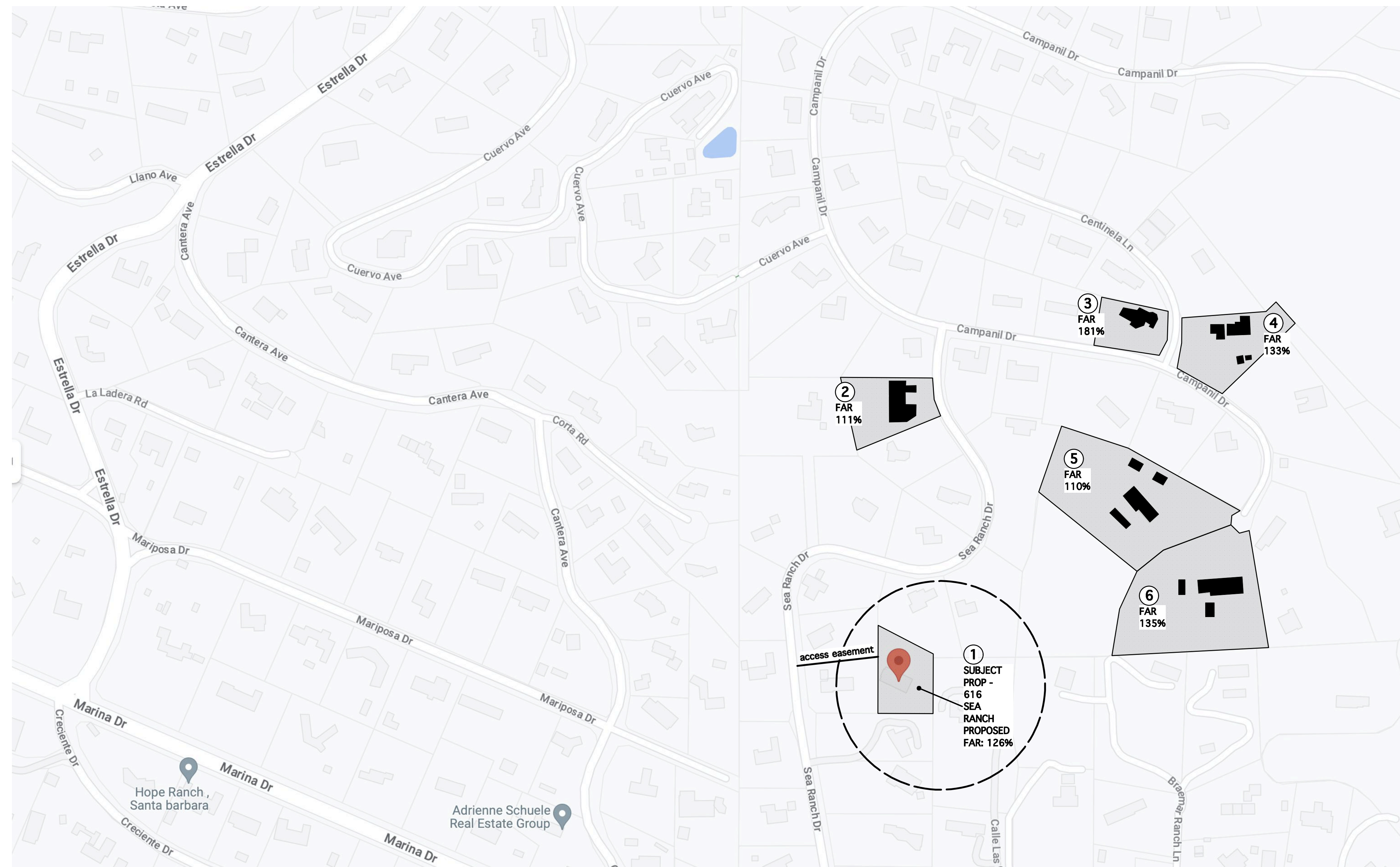
KEY	ADDRESS	APN#	SITE AREA	BUILDING AREA	FAR
1	616 SEA RANCH DR (SUBJECT PROPERTY - PROPOSED)	047-104-002	1.1 AC/ 48,351 SF	5,645 SF	112%
2	845 SEA RANCH DR	047-103-004	1.31 AC/ 57,063 SF	5,696 SF	111%
3	3232 CAMPANIL DR	047-102-028	.88 AC/ 38,332 SF	6,544 SF	133%
4	3218 CAMPANIL DR	047-110-011	1.61 AC/ 70,340	9,666 SF	181%
5	3207 CAMPANIL DR	047-110-012	4.08 AC/ 17,772 SF	7,378 SF	110%
6	3201 CAMPANIL DR	047-110-005	3.75 AC/ 163,350	8,788 SF	134%



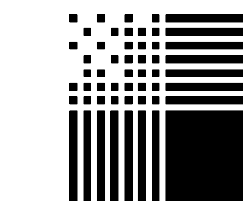
APN MAP 1



APN MAP 2



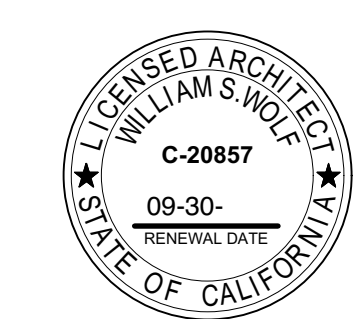
VICINITY MAP



PACIFIC ARCHITECTS

1117 COAST VILLAGE RD.
MONTECITO, CA 93108
8 0 5 5 6 5 3 6 4 0

616 SEA RANCH ROAD
SANTA BARBARA, CA

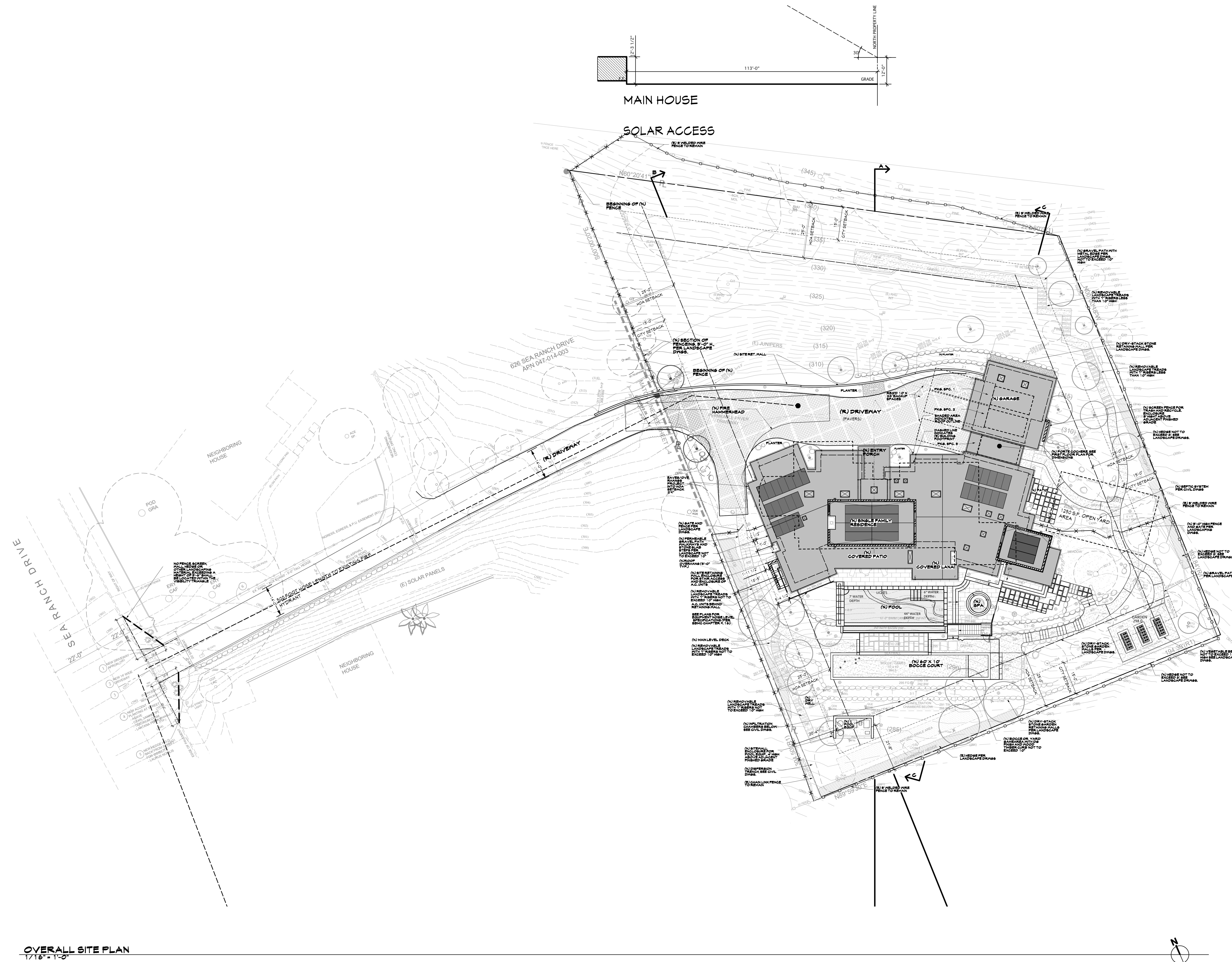


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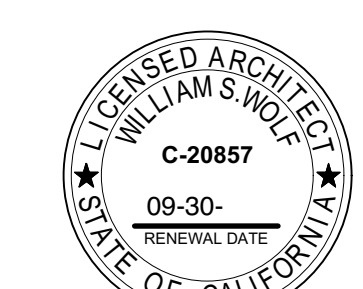
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AO.4



616 SEA RANCH DRIVE
SANTA BARBARA, CA



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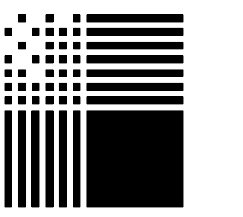
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OVERALL SITE PLAN
1/16" = 1'-0"

A1.0

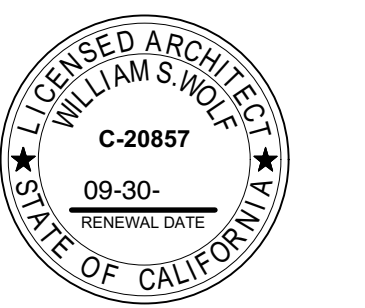
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PACIFIC ARCHITECTS

1117 COAST VILLAGE RD. MONTECITO, CA 93108 805.566.3640

616 SEA RANCH DRIVE SANTA BARBARA, CA



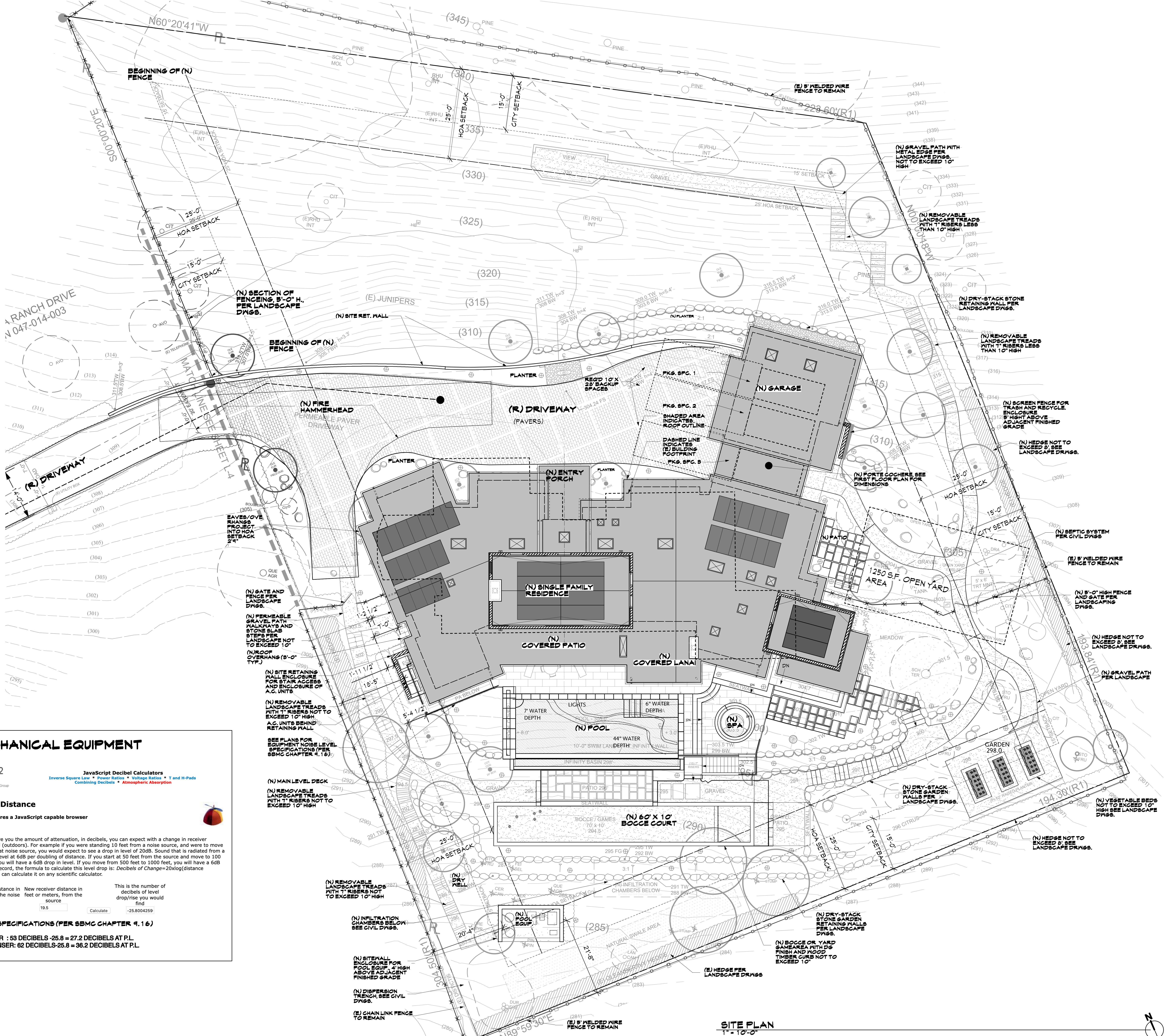
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MECHANICAL EQUIPMENT

JavaScript Decibel Calculators
Inverse Square Law • Power Ratios • Voltage Ratios • T and H-Pads
Combining Decibels • Atmospheric Absorption

Decibels and Distance
This calculator requires a JavaScript capable browser

This calculation will give you the amount of attenuation, in decibels, you can expect with a change in receiver distance, in a free field (outdoors). For example if you were standing 10 feet from a noise source, and were to move 100 feet away from that noise source, you would expect to see a drop in level of 20dB. Sound that is radiated from a point source drops in level at 6dB per doubling of distance. If you start at 50 feet from the source and move to 100 feet from the source you will have a 6dB drop in level. If you move from 500 feet to 1000 feet, you will have a 6dB drop in level. For the record, the formula to calculate this level drop is: $\text{Decibels of Change} = 20 \times \log(\text{distance 1} / \text{distance 2})$, and you can calculate it on any scientific calculator.

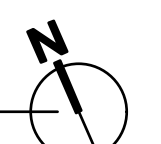
Reference listening distance in feet or meters, from the noise source:

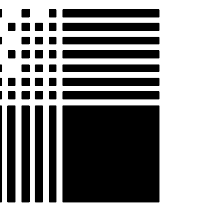
New receiver distance in feet or meters, from the source:

This is the number of decibels of level drop/rise you would find:

EQUIPMENT SPECIFICATIONS (PER SBMC CHAPTER 9.16)
AC CONDENSER : 53 DECIBELS -25.8 = 27.2 DECIBELS AT P.L.
H.W.H. CONDENSER: 62 DECIBELS-25.8 = 36.2 DECIBELS AT P.L.

SITE PLAN
1"=10'-0"

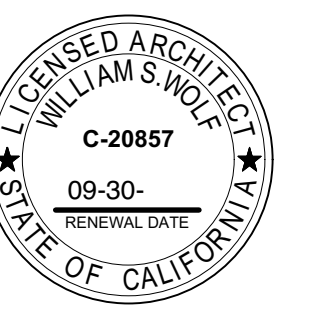
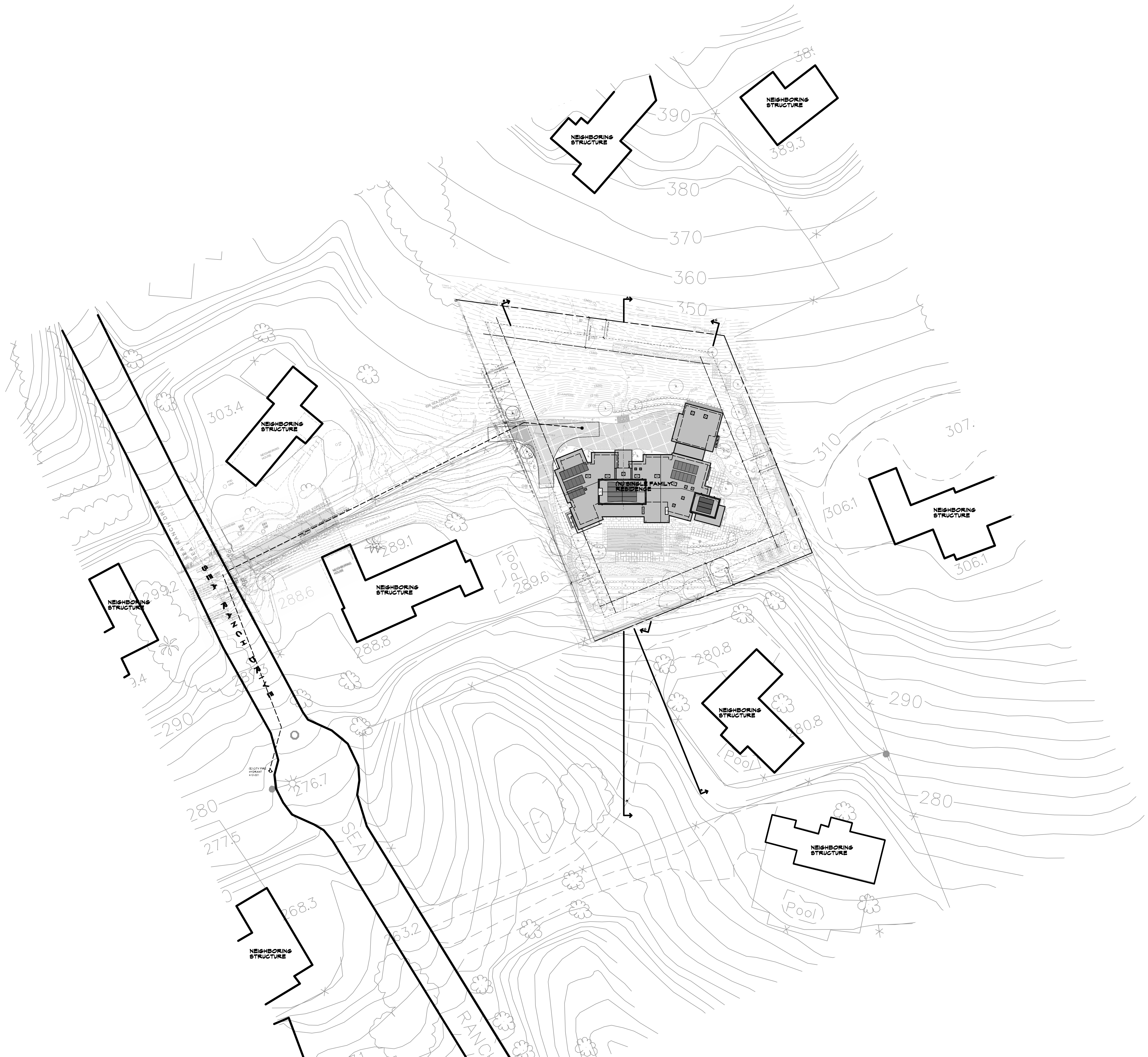




PACIFIC ARCHITECTS

1117 COAST VILLAGE RD.
MONTECITO, CA 93108
805.565.3640

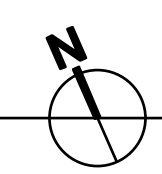
616 SEA RANCH DRIVE
SANTA BARBARA, CA

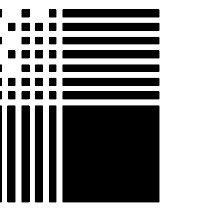


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Date: **7.14.24**

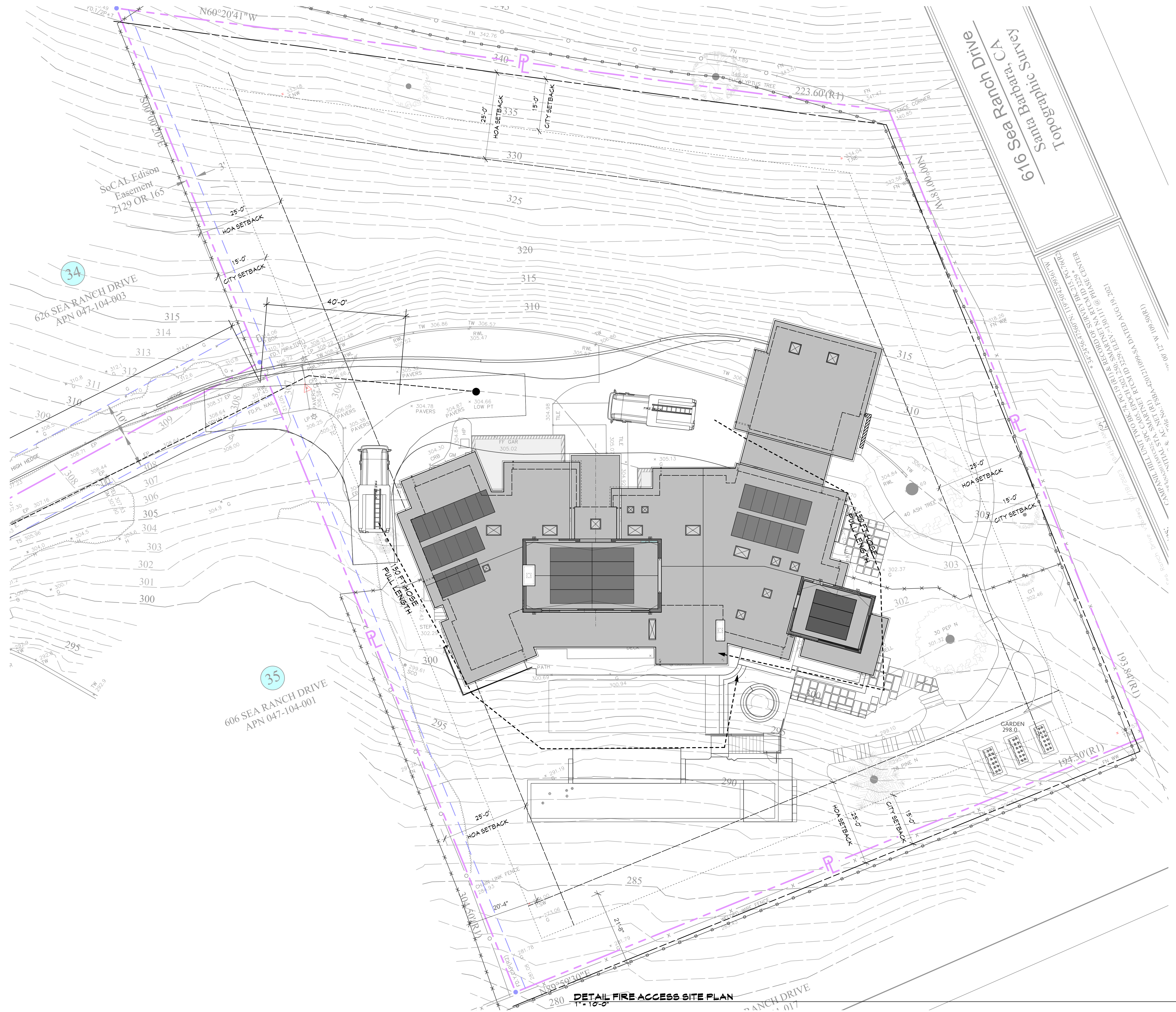




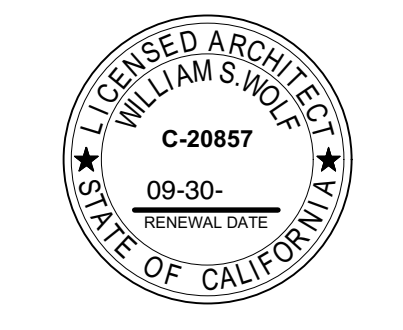
PACIFIC ARCHITECTS

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616 SEA RANCH DRIVE
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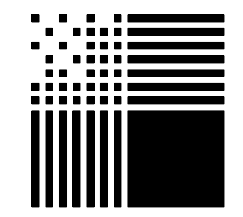
DETAIL FIRE ACCESS SITE PLAN
1" = 10'-0"



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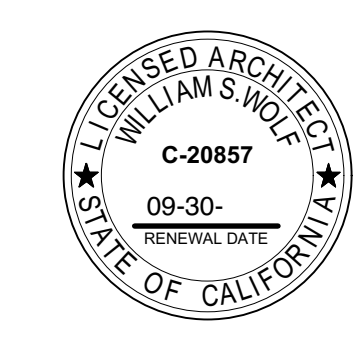
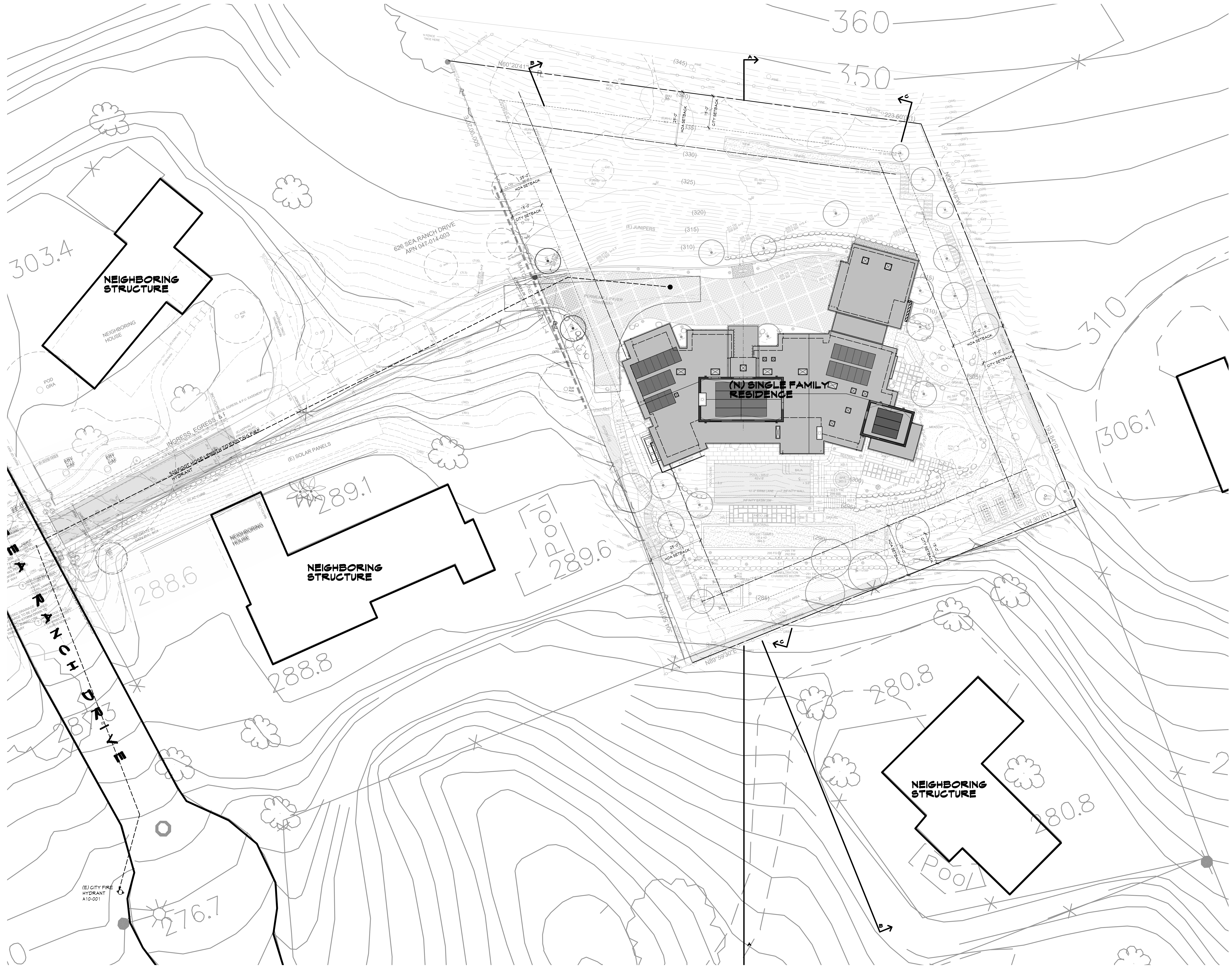
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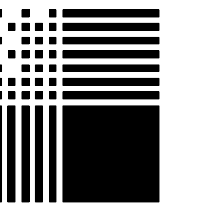


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Date: **7.14.24**

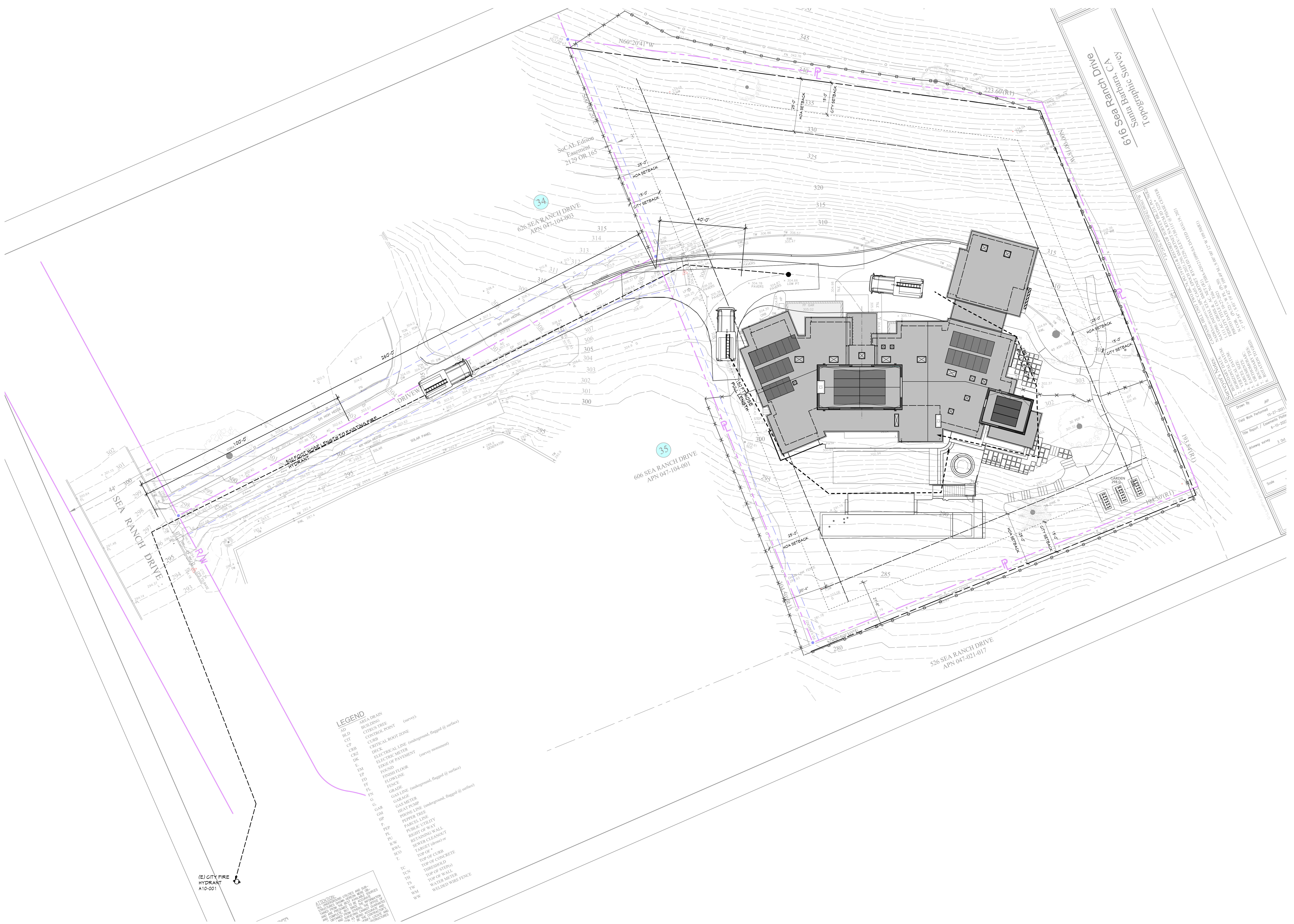
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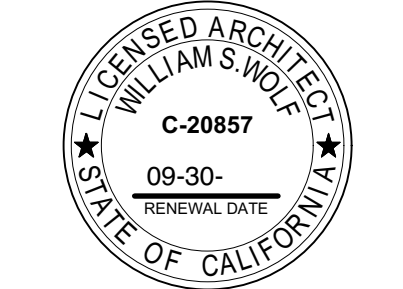
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- LEGEND**
- AD AREA DRAIN
 - BLD BUILDING
 - BLD CITRUS TREE (survey)
 - CP CONTROL POINT
 - CT CURB
 - CR CRITICAL ROOT ZONE
 - CRB CURB
 - DEE DECK
 - DKZ CRITICAL LINE (underground, flagged @ surface)
 - E ELECTRIC METER
 - EM EDGE OF PAVEMENT (survey monument)
 - EM FOUND
 - FF FINISH FLOOR
 - FF FOUND
 - FK FENCE
 - G GAS LINE (underground, flagged @ surface)
 - G GAR
 - GA GARAGE
 - GM GAS METER
 - GM GAS METER (underground, flagged @ surface)
 - HP HEAT PUMP
 - HP PHONE LINE
 - HP POWER TREE
 - P PARCELINE
 - PE PARCELINE UTILITY
 - PEL PARCELINE
 - PEL RIGHT OF WAY
 - PU PERMITS
 - RW RETAINING WALL
 - RW SEWER CLEANOUT
 - RWL TARGET (dimes) or
 - SCD TARGET
 - T TOP OF CURB
 - T TOP OF CONCRETE
 - TC THRESHOLD
 - TEN THRESHOLD
 - TH TOP OF STYRE
 - TS TOP OF SMALL
 - TW WATER METER
 - NW WELDED WIRE FENCE

ATTENTION: ALL DIMENSIONS, PERMITS AND SPECIFICATIONS ARE TO BE CHECKED AGAINST THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE AND THE CALIFORNIA FIRE CODE. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING.

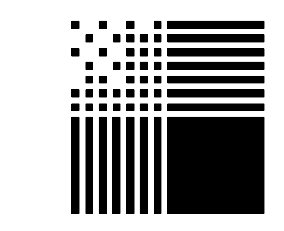
DATE: 7.14.24
 DRAWN BY: JAC
 CHECKED BY: JAC
 TITLE: CONTEXT FIRE ACCESS SITE PLAN
 SCALE: AS SHOWN
 SHEET NO.: 1.4



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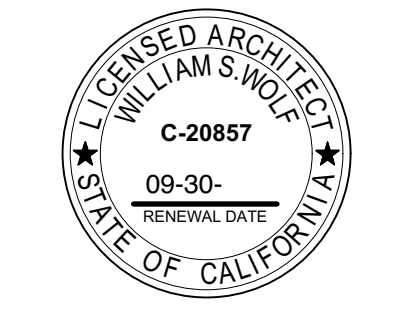
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Date: 7.14.24



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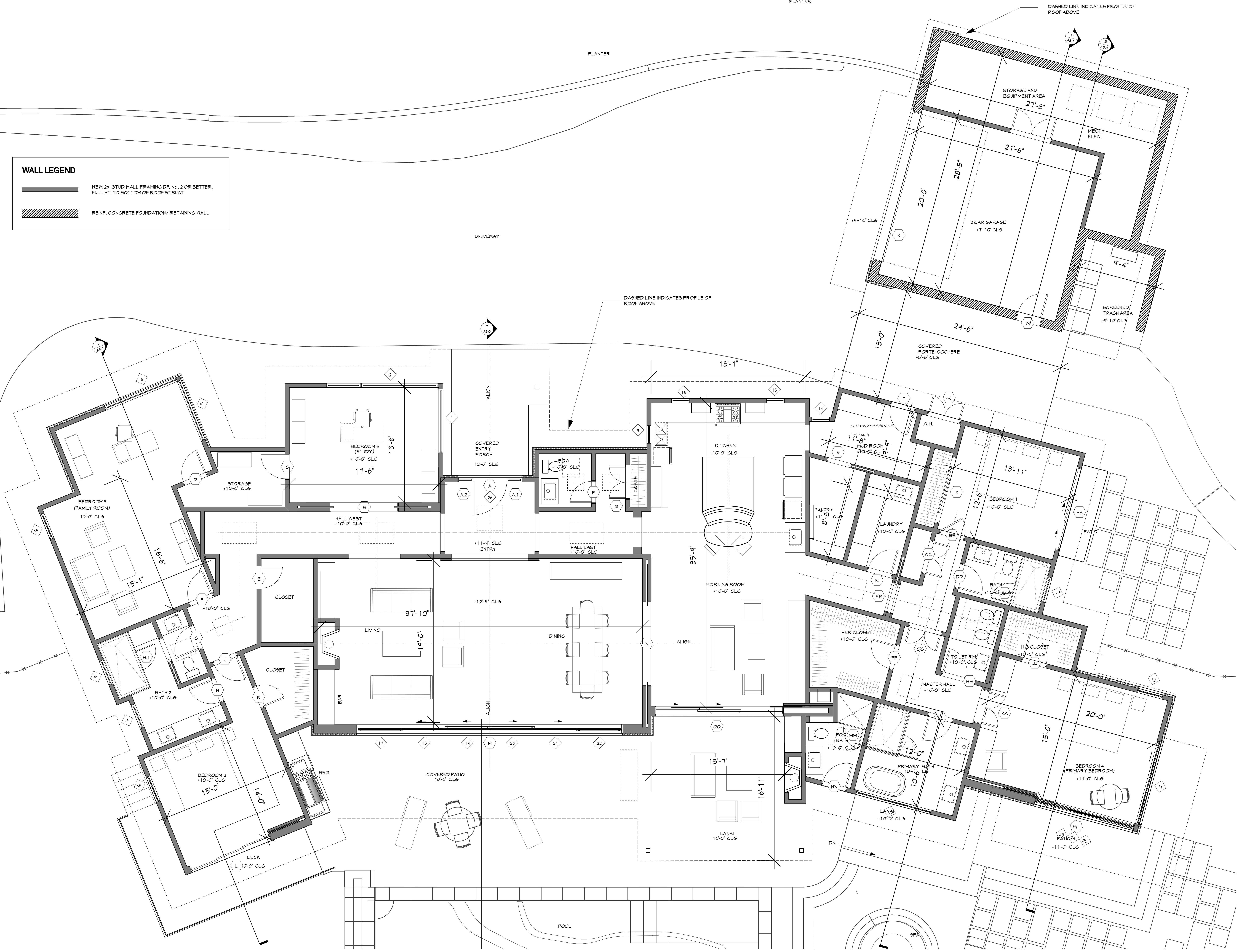
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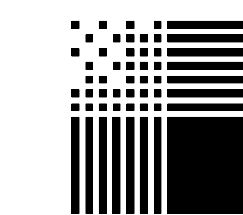
WALL LEGEND

— NEM 2x STUD WALL FRAMING DF. No. 2 OR BETTER, FULL HT. TO BOTTOM OF ROOF STRUCT.

▨ REINF. CONCRETE FOUNDATION/RETAINING WALL.



MAIN LEVEL FLOOR PLAN
1/4" = 1'-0"

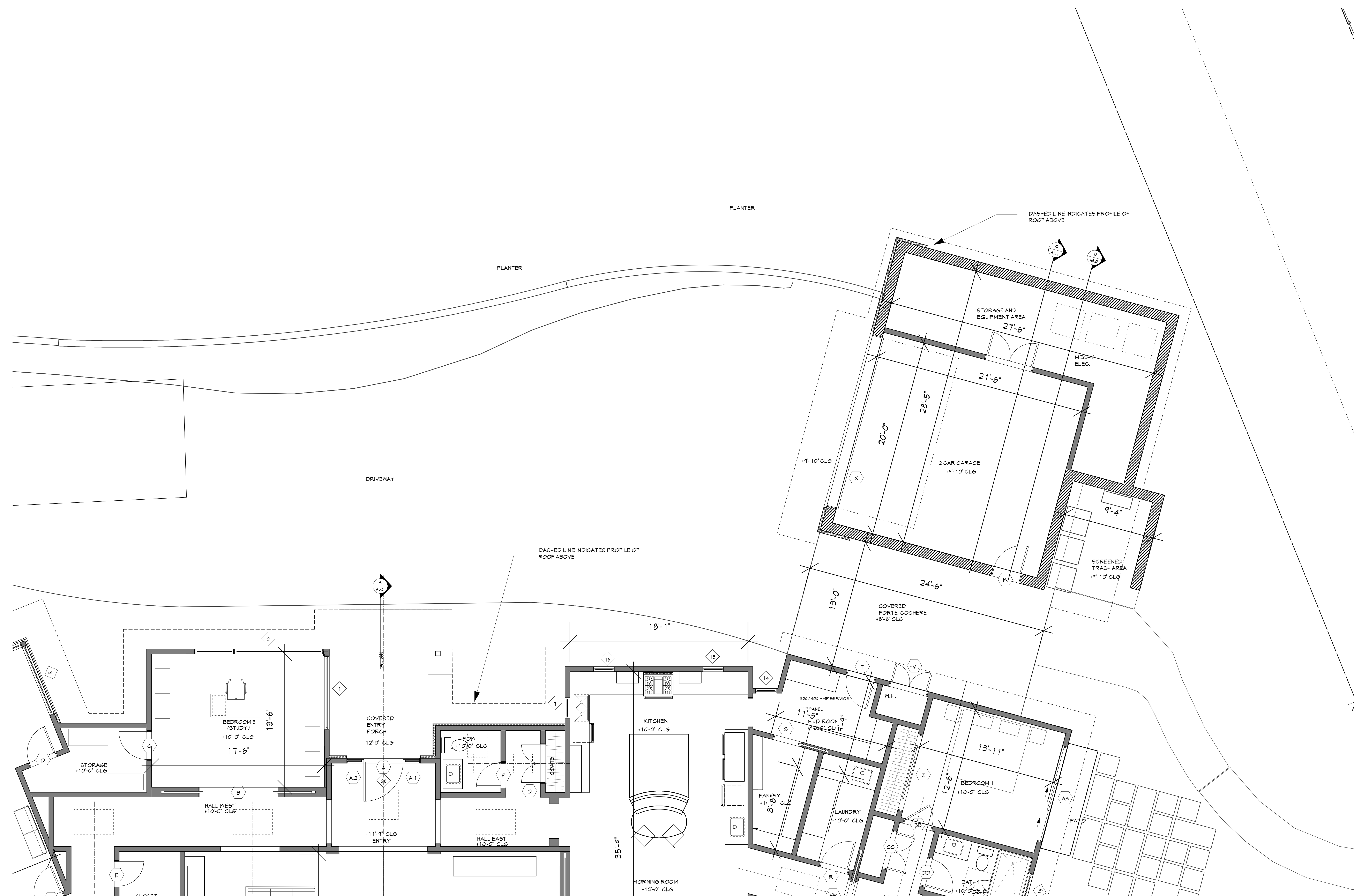


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WALL LEGEND	
	NEW 2x STUD WALL FRAMING DF, No. 2 OR BETTER, FULL HT. TO BOTTOM OF ROOF STRUCT
	REINF. CONCRETE FOUNDATION/RETAINING WALL

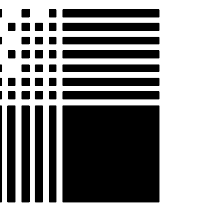


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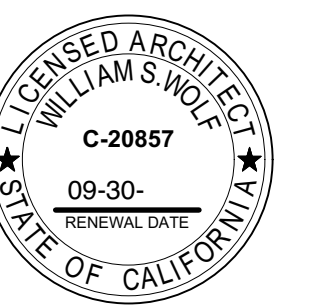
GARAGE FLOOR PLAN
1/4" = 1'-0"



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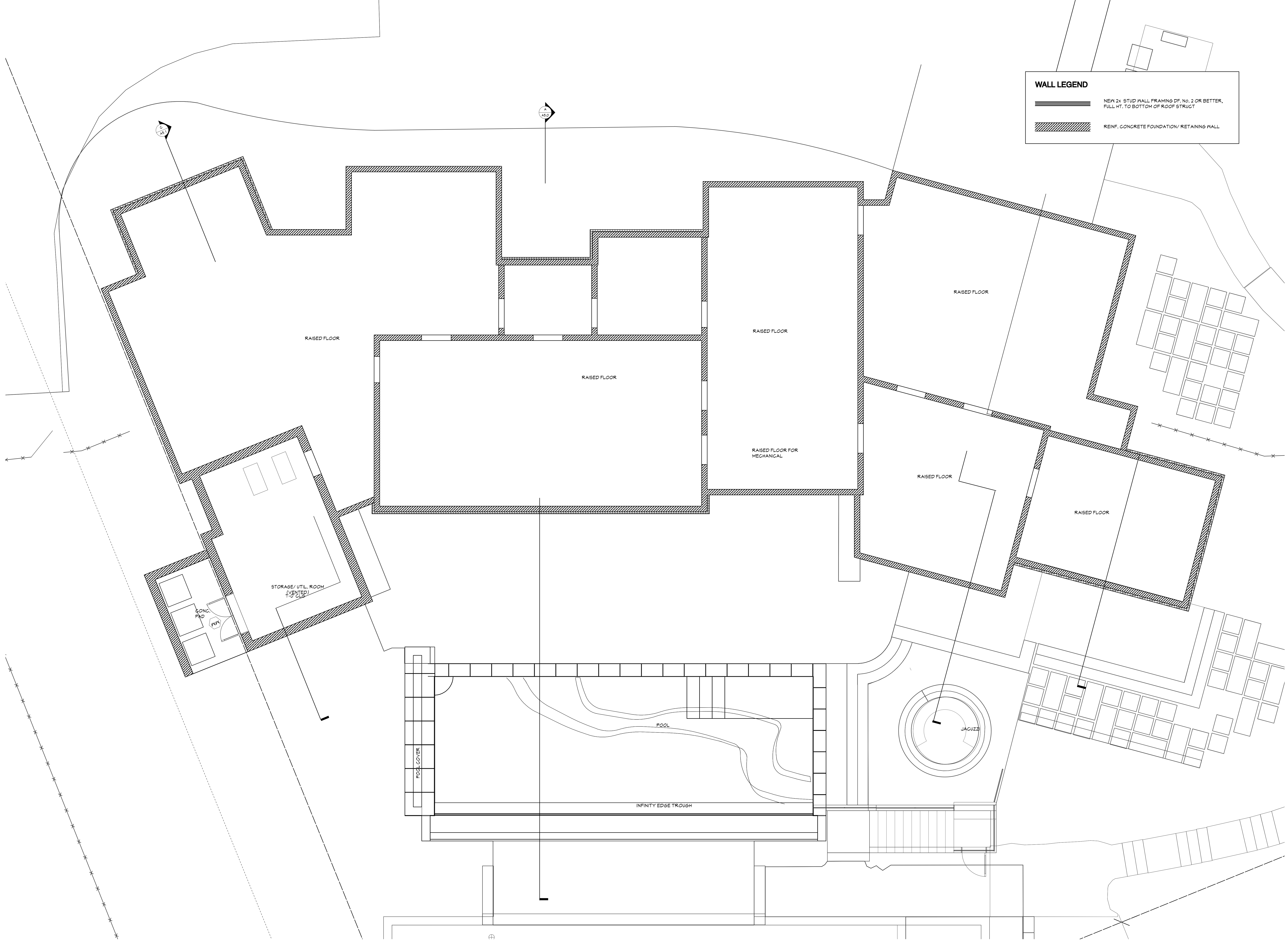
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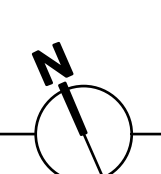
WALL LEGEND

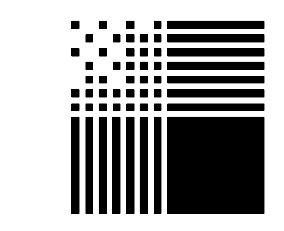
NEW 2x STUD WALL FRAMING DF. No. 2 OR BETTER, FULL HT. TO BOTTOM OF ROOF STRUCT

REINF. CONCRETE FOUNDATION/RETAINING WALL



BASEMENT LEVEL PLAN
1/4" = 1'-0"

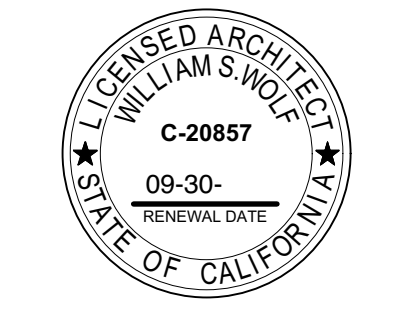




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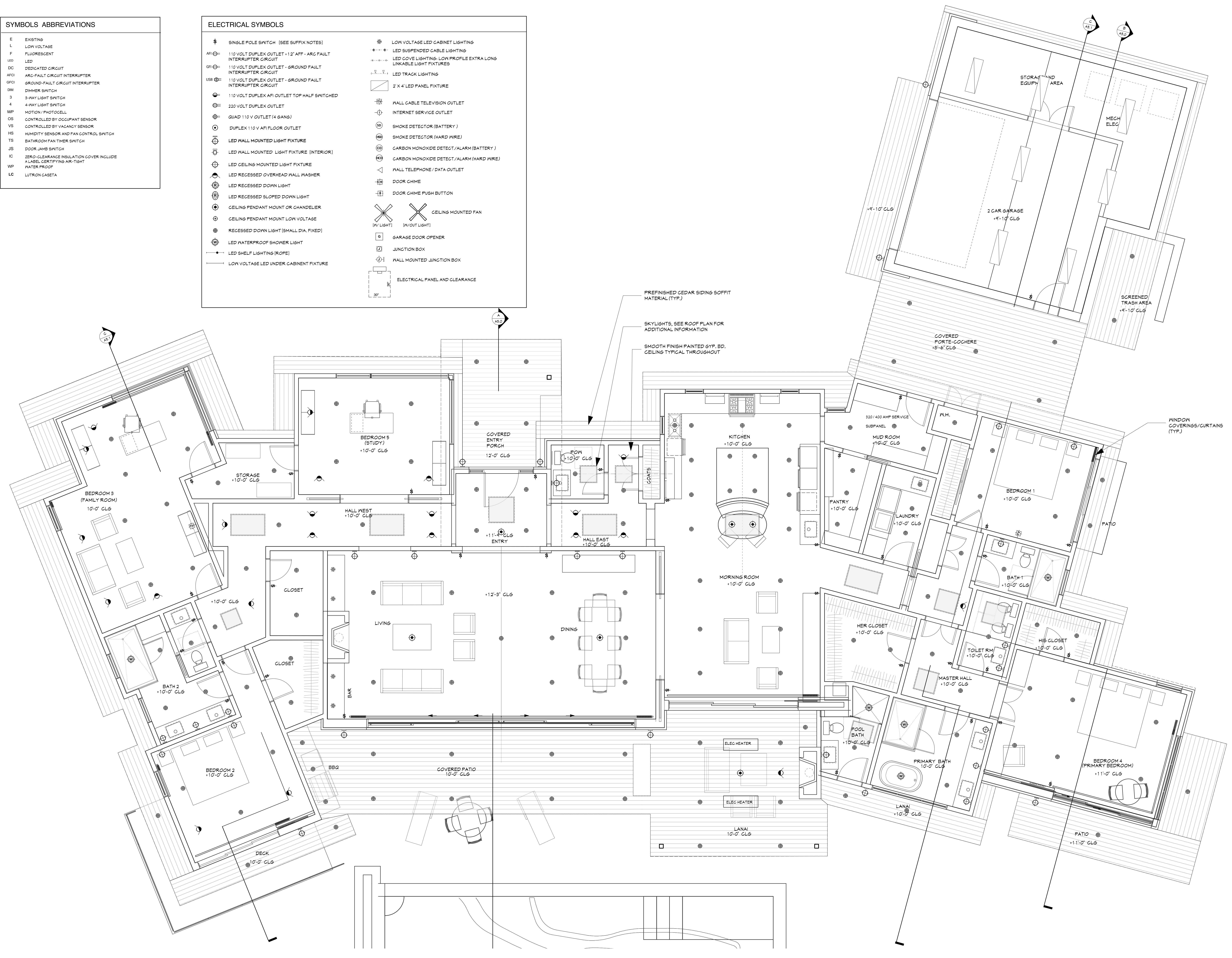
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SYMBOLS ABBREVIATIONS

E	EXISTING
L	LOW VOLTAGE
F	FLUORESCENT
LED	LED
DC	DEDICATED CIRCUIT
AFGI	ARG-Fault CIRCUIT INTERRUPTER
GFDI	GROUND-Fault CIRCUIT INTERRUPTER
DM	DIMMER SWITCH
3	3-WAY LIGHT SWITCH
4	4-WAY LIGHT SWITCH
MP	MOTION/PHOTOCELL
OS	CONTROLLED BY OCCUPANT SENSOR
VBS	CONTROLLED BY VAGRANCY SENSOR
HS	HUMIDITY SENSOR AND FAN CONTROL SWITCH
TS	BATHROOM FAN TIMER SWITCH
JS	DOOR JAMB SWITCH
IC	ZERO-CLEARANCE INSULATION COVER INCLUDE LABEL CERTIFYING AIR-TIGHT
WP	WATER PROOF
LC	LUTRON CASSETA

ELECTRICAL SYMBOLS

\$	SINGLE POLE SWITCH (SEE SUFFIX NOTES)	☉	LOW VOLTAGE LED CABINET LIGHTING
AFI	110 VOLT DUPLEX OUTLET - 12" AFF - ARG FAULT INTERRUPTER CIRCUIT	⋯	LED SUSPENDED CABLE LIGHTING
GFI	110 VOLT DUPLEX OUTLET - GROUND FAULT INTERRUPTER CIRCUIT	⋯	LED COVE LIGHTING, LOW PROFILE EXTRA LONG LINKABLE LIGHT FIXTURES
USI	110 VOLT DUPLEX OUTLET - GROUND FAULT INTERRUPTER CIRCUIT	⋯	LED TRACK LIGHTING
⊖	110 VOLT DUPLEX AFI OUTLET TOP HALF SWITCHED	☐	2 X 4 LED PANEL FIXTURE
⊖	220 VOLT DUPLEX OUTLET	☐	WALL CABLE TELEVISION OUTLET
⊖	QUAD 110 V OUTLET (4 GANG)	⊖	INTERNET SERVICE OUTLET
⊖	DUPLEX 110 V AFI FLOOR OUTLET	☉	SMOKE DETECTOR (BATTERY)
☉	LED WALL MOUNTED LIGHT FIXTURE	☉	SMOKE DETECTOR (HARD WIRE)
☉	LED WALL MOUNTED LIGHT FIXTURE (INTERIOR)	☉	CARBON MONOXIDE DETECT./ALARM (BATTERY)
☉	LED CEILING MOUNTED LIGHT FIXTURE	☉	CARBON MONOXIDE DETECT./ALARM (HARD WIRE)
☉	LED RECESSED OVERHEAD WALL WASHER	☐	WALL TELEPHONE/DATA OUTLET
☉	LED RECESSED DOWN LIGHT	☐	DOOR CHIME
☉	LED RECESSED SLOPED DOWN LIGHT	☐	DOOR CHIME PUSH BUTTON
☉	CEILING PENDANT MOUNT OR CHANDELIER	☐	CEILING MOUNTED FAN (IN LIGHT)
☉	CEILING PENDANT MOUNT LOW VOLTAGE	☐	CEILING MOUNTED FAN (OUT LIGHT)
☉	RECESSED DOWN LIGHT (SMALL DIA. FIXED)	☐	GARAGE DOOR OPENER
☉	LED WATERPROOF SHOWER LIGHT	☐	JUNCTION BOX
☉	LED SHELF LIGHTING (ROPE)	☐	WALL MOUNTED JUNCTION BOX
☉	LOW VOLTAGE LED UNDER CABINET FIXTURE	☐	ELECTRICAL PANEL AND CLEARANCE



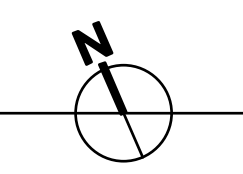
PREFINISHED CEDAR SIDING SOFFIT MATERIAL (TYP.)

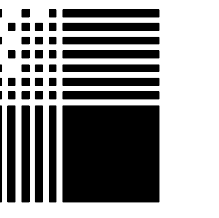
SKYLIGHTS, SEE ROOF PLAN FOR ADDITIONAL INFORMATION

SMOOTH FINISH PAINTED GYP. BD. CEILING TYPICAL THROUGHOUT

WINDOW COVERINGS/GURTAINS (TYP.)

MAIN LEVEL FLOOR PLAN
1/4" = 1'-0"

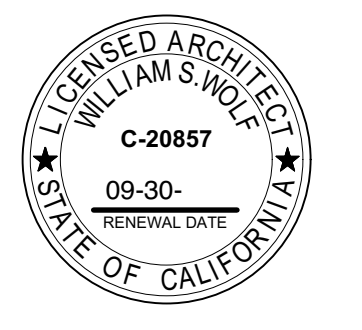
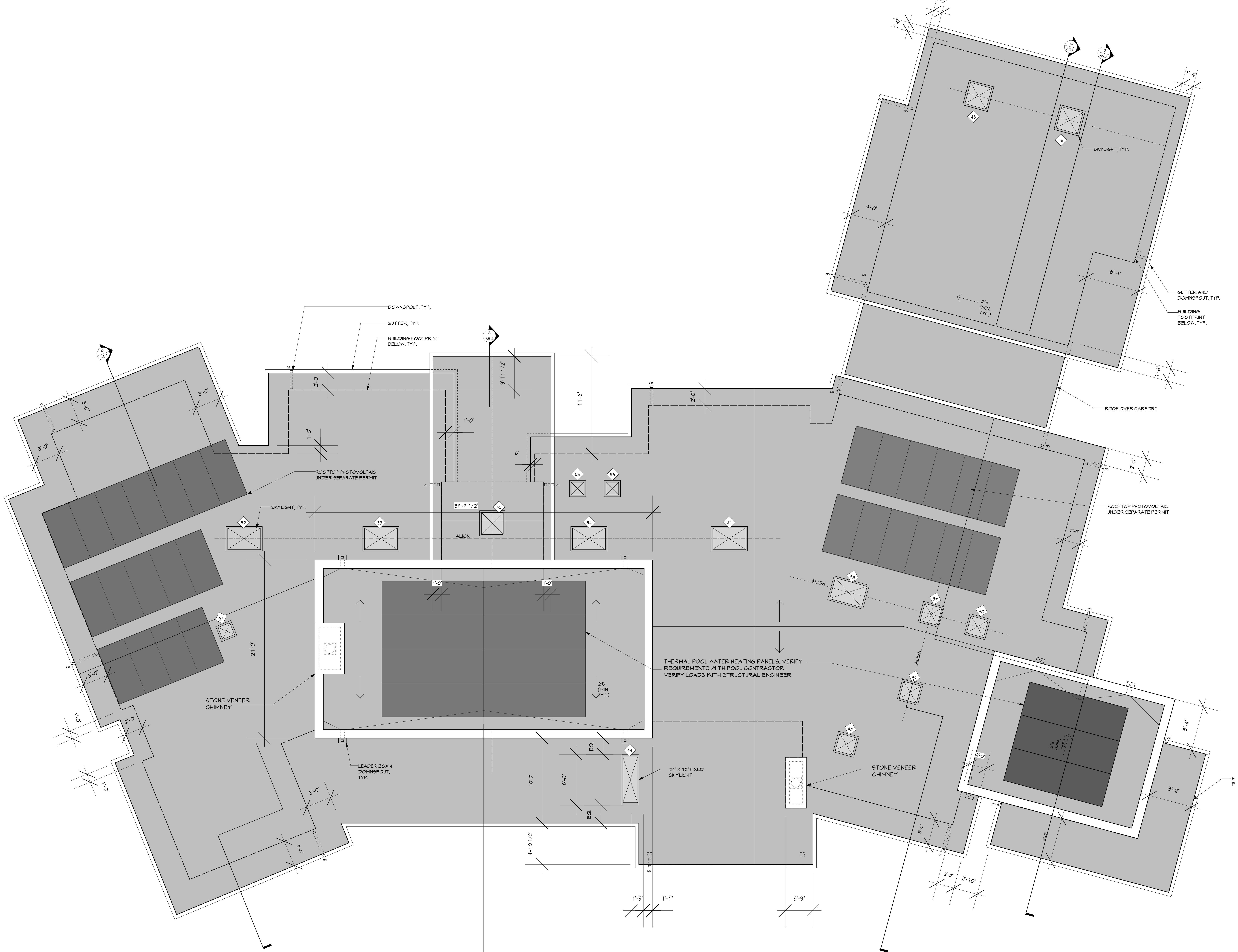




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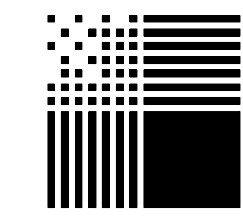
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ROOF PLAN
1/4" = 1'-0"

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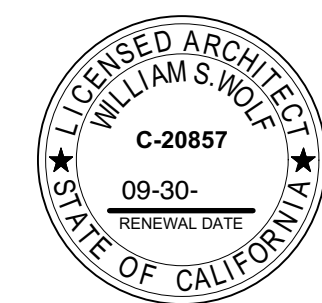
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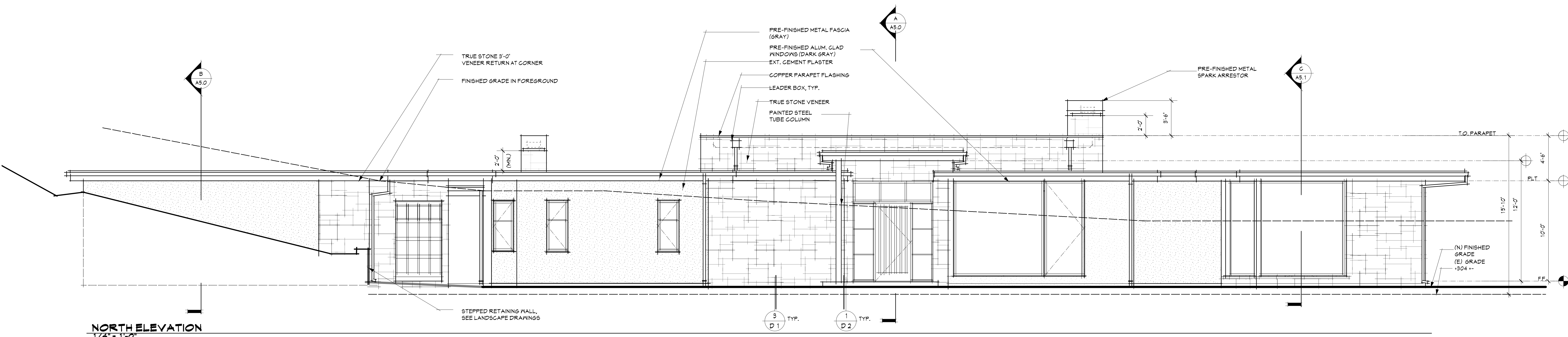
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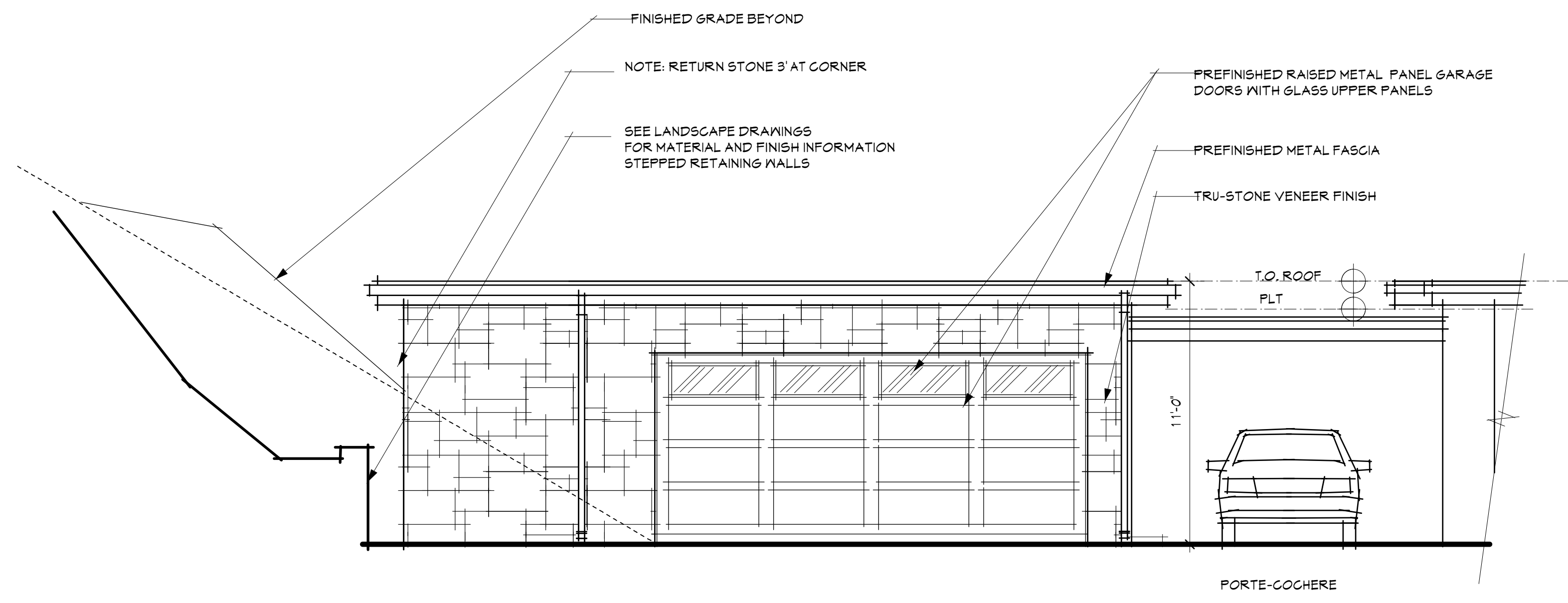
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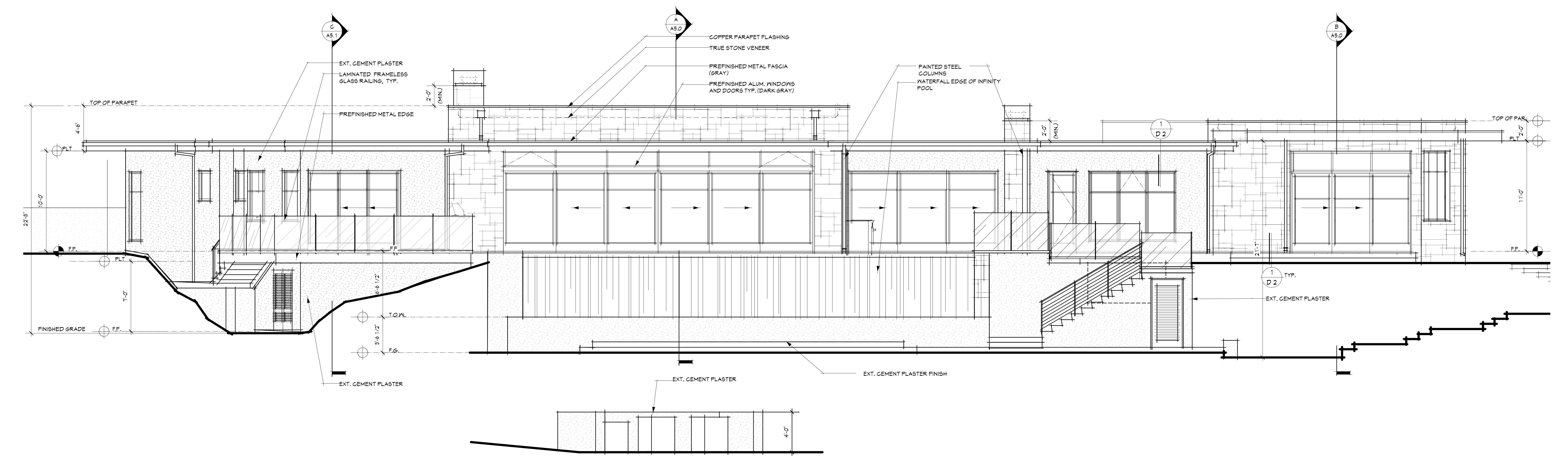
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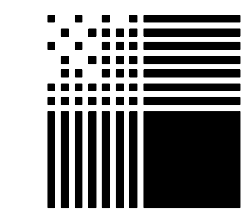
NORTH ELEVATION
1/4" = 1'-0"



NORTH PARTIAL ELEVATION (SECTION THROUGH DRIVEWAY)
1/4" = 1'-0"



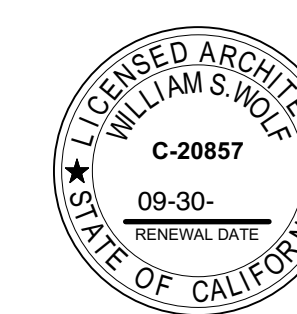
SOUTH ELEVATION
1/4" = 1'-0"



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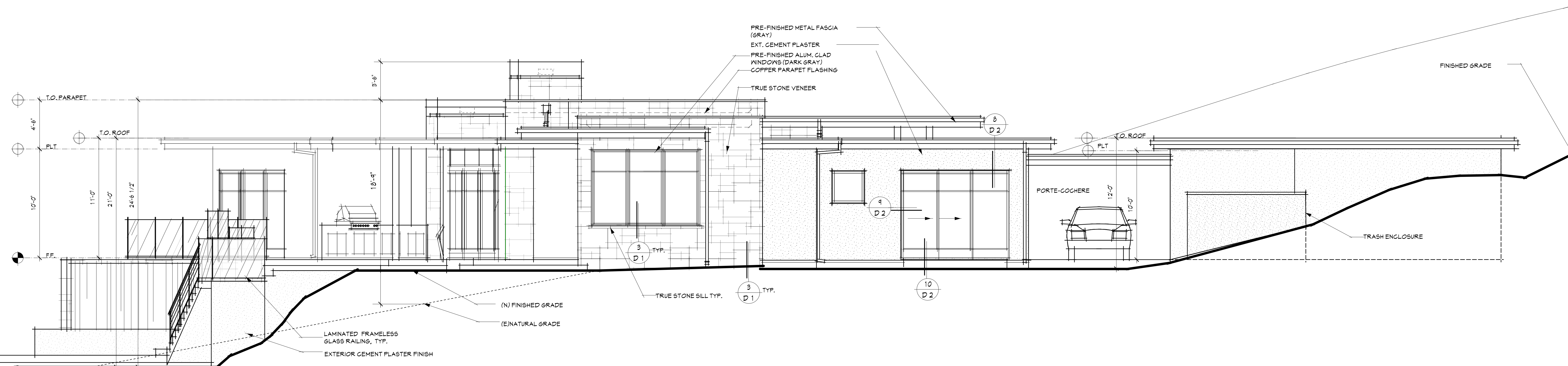
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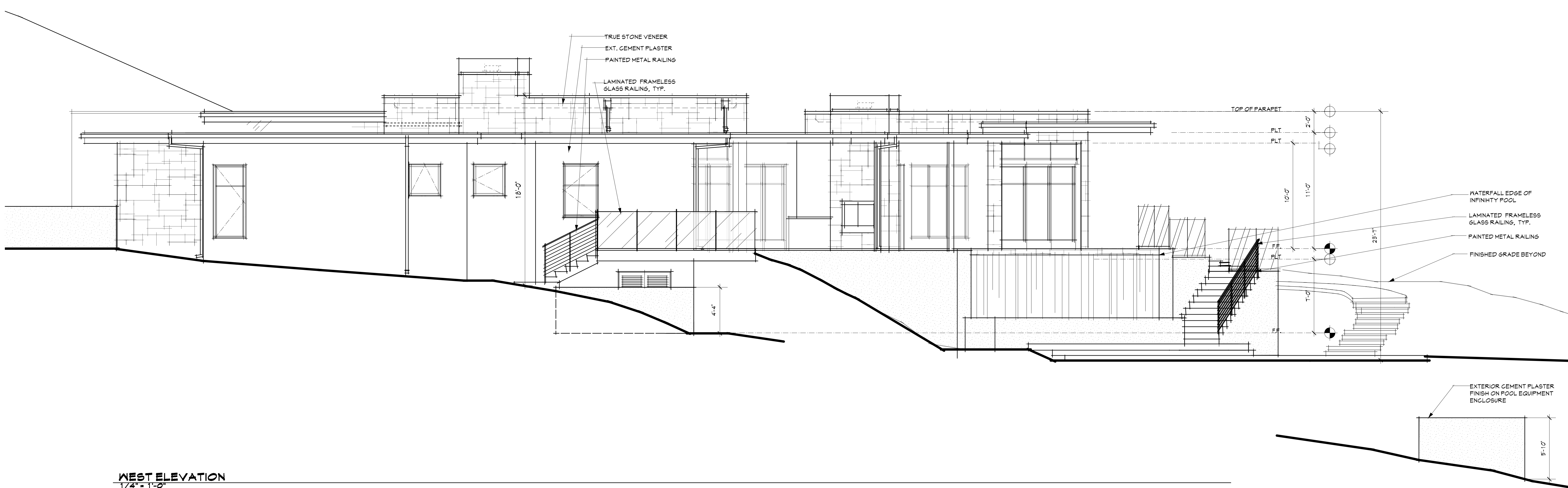
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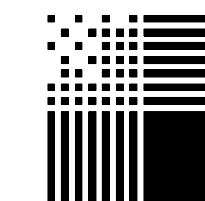
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EAST ELEVATION
1/4" = 1'-0"



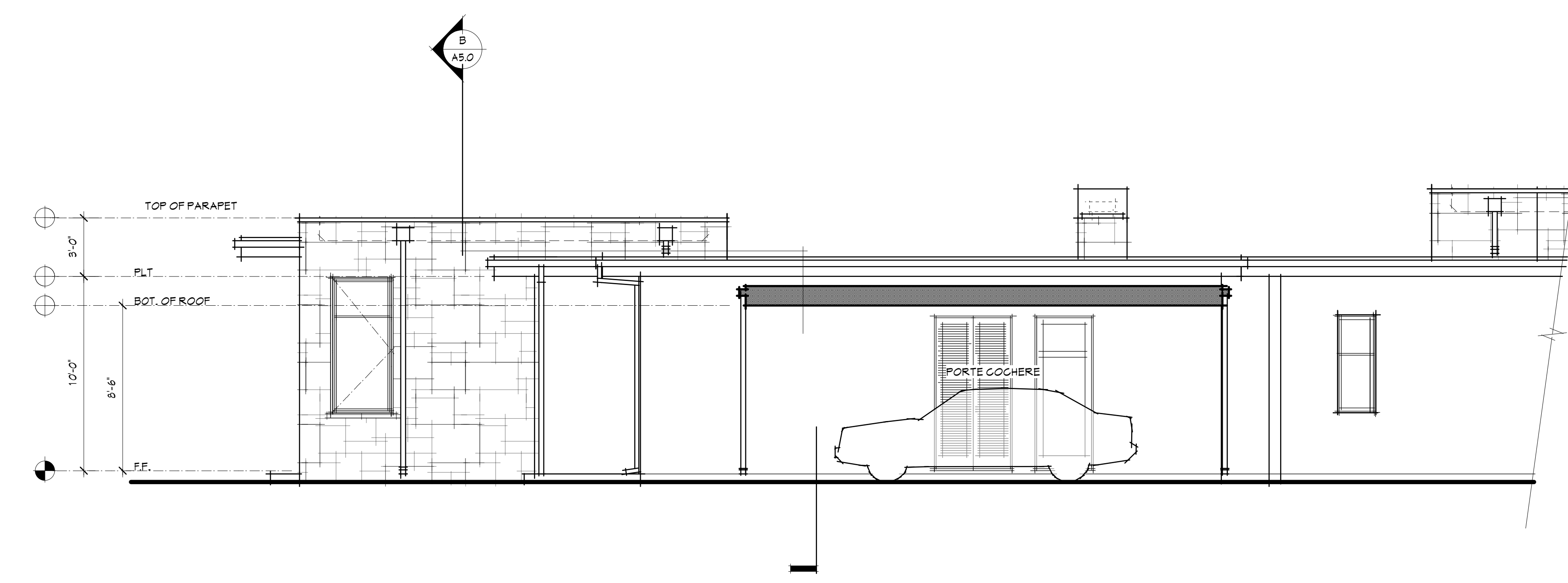
WEST ELEVATION
1/4" = 1'-0"



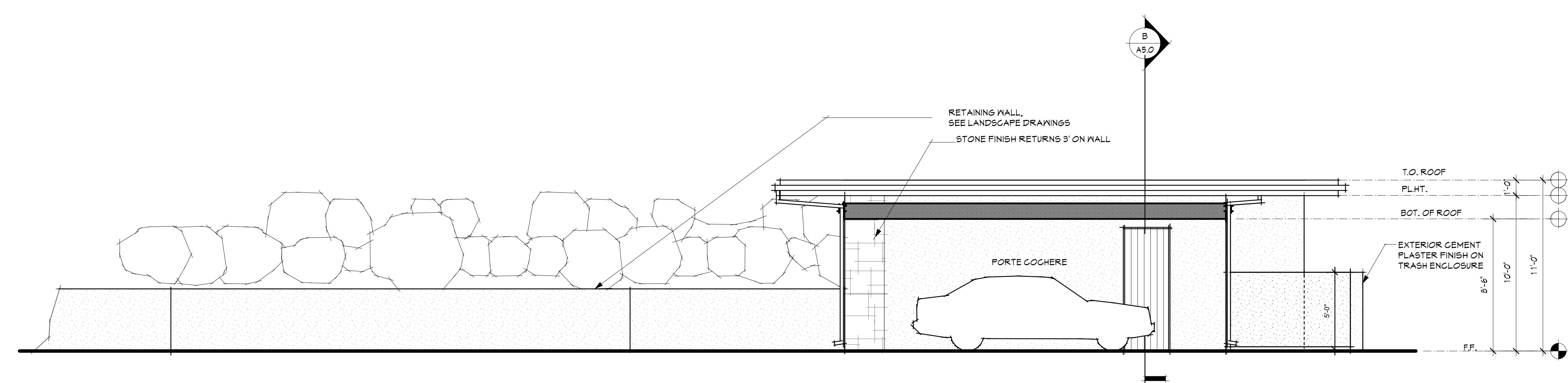
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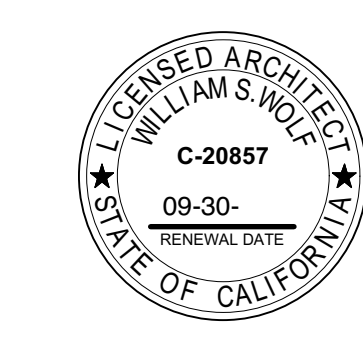
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NORTH SECTION/ PARTIAL ELEVATION
1/4" = 1'-0"



SOUTH SECTION/ PARTIAL ELEVATION
1/4" = 1'-0"

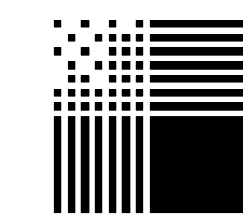


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Revision	Description	Date
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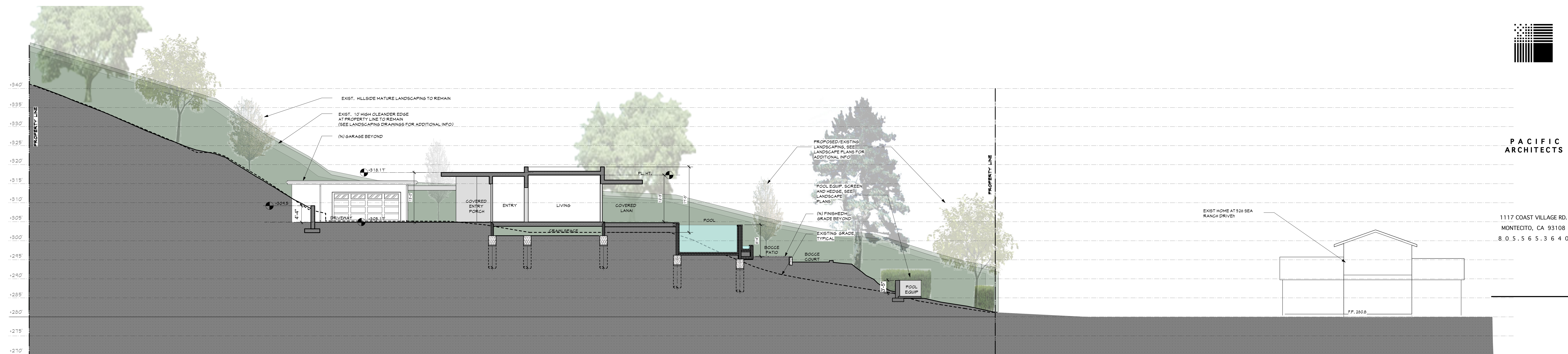
Job Number:
Date: 7.19.24

A4.2

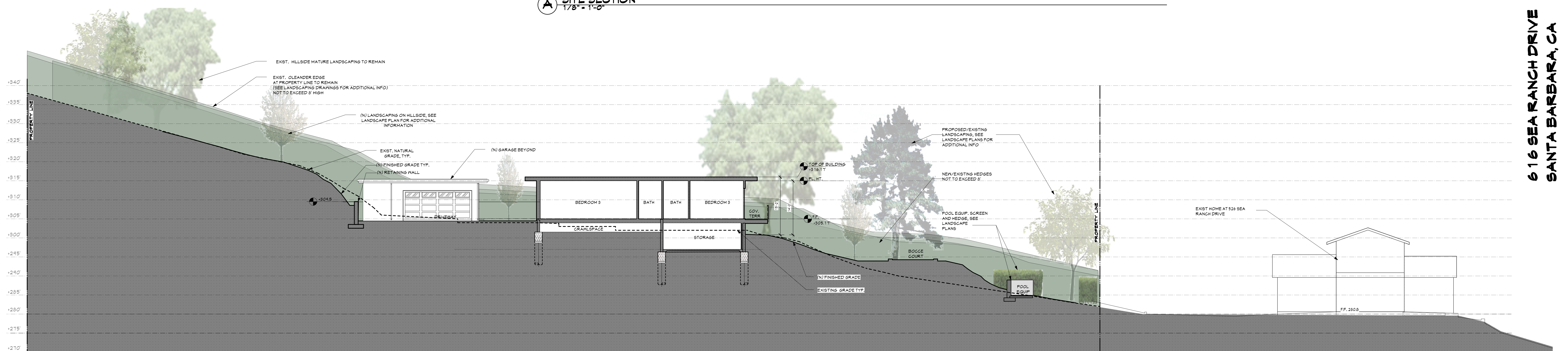


PACIFIC ARCHITECTS

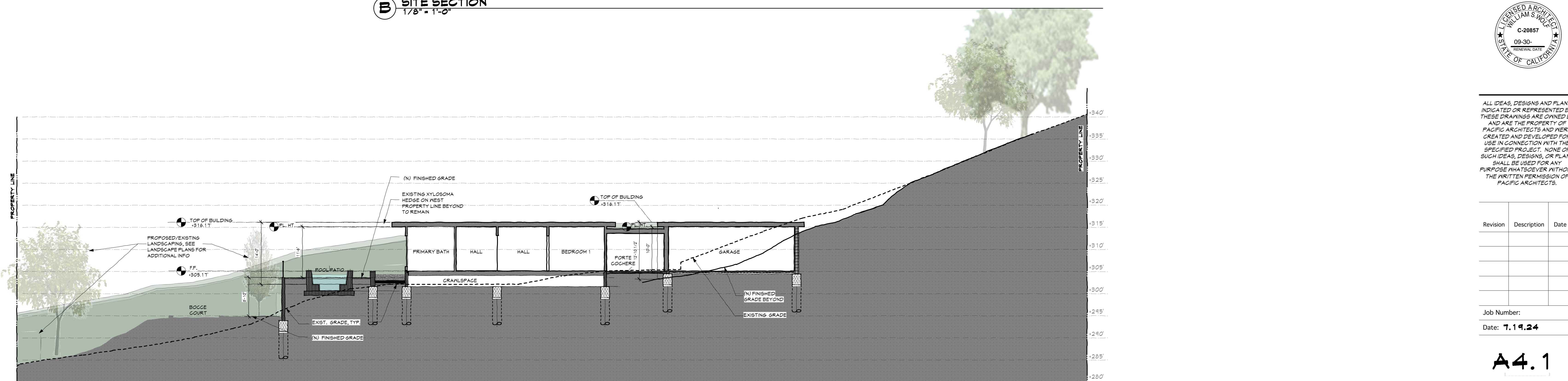
1117 COAST VILLAGE RD.
MONTECITO, CA 93108
8.0.5.5.6.5.3.6.4.0



A SITE SECTION
1/8" = 1'-0"

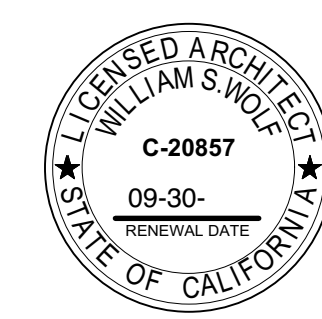


B SITE SECTION
1/8" = 1'-0"



C SITE SECTION
1/8" = 1'-0"

616 SEA RANGH DRIVE
SANTA BARBARA, CA



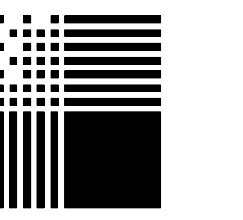
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Revision	Description	Date

Job Number:
Date: **7.19.24**

A4.1

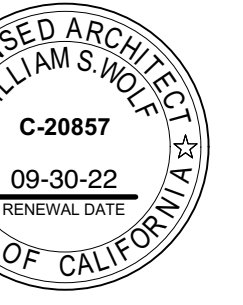
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PACIFIC ARCHITECTS

1117 COAST VILLAGE RD.
MONTECITO, CA 93108
8 0 5 5 6 5 3 6 4 0

6 16 SEA RANCH DRIVE
SANTA BARBARA, CA



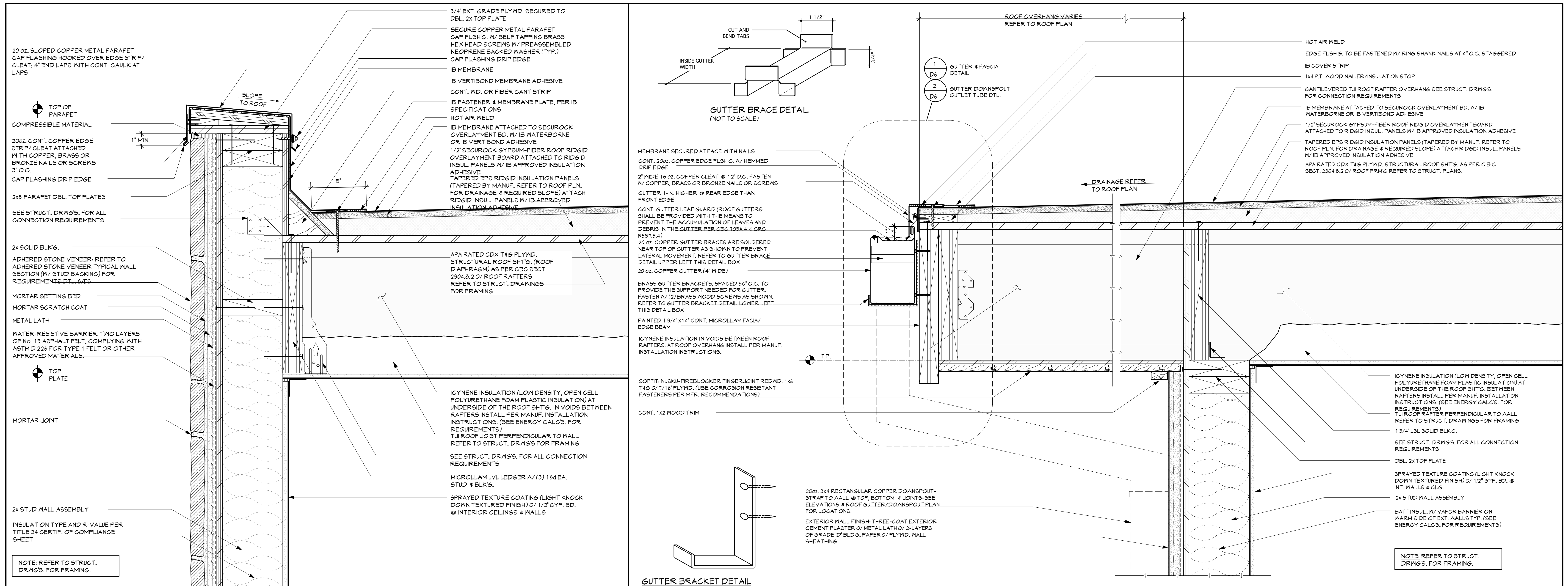
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Revision	Description	Date

Job Number:
Date: **1.14.24**

D4

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SECTION: TOP OF PARAPET WALL (PERPENDICULAR TO ROOF RAFTERS) @ ADHERED STONE VENEER

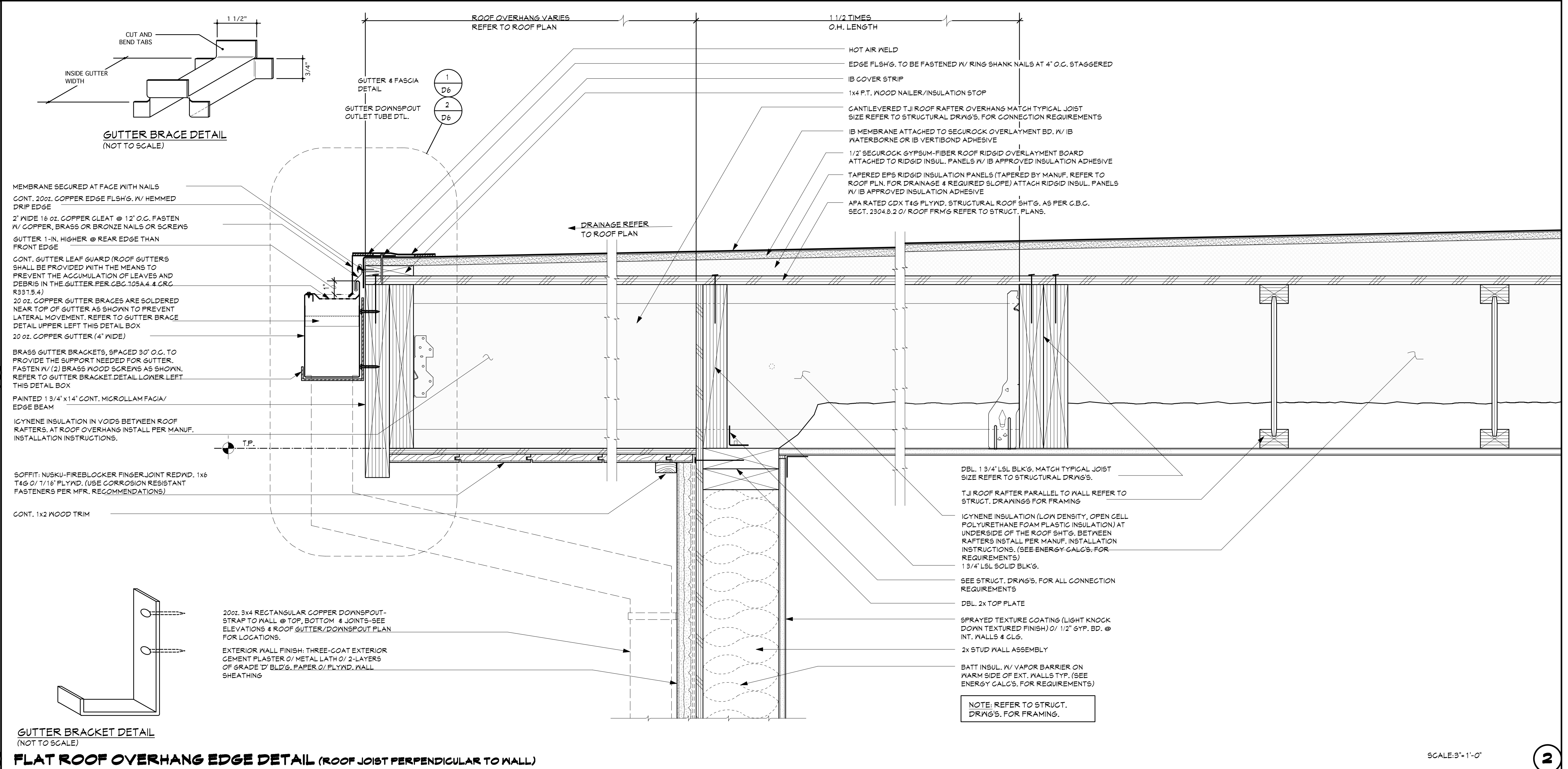
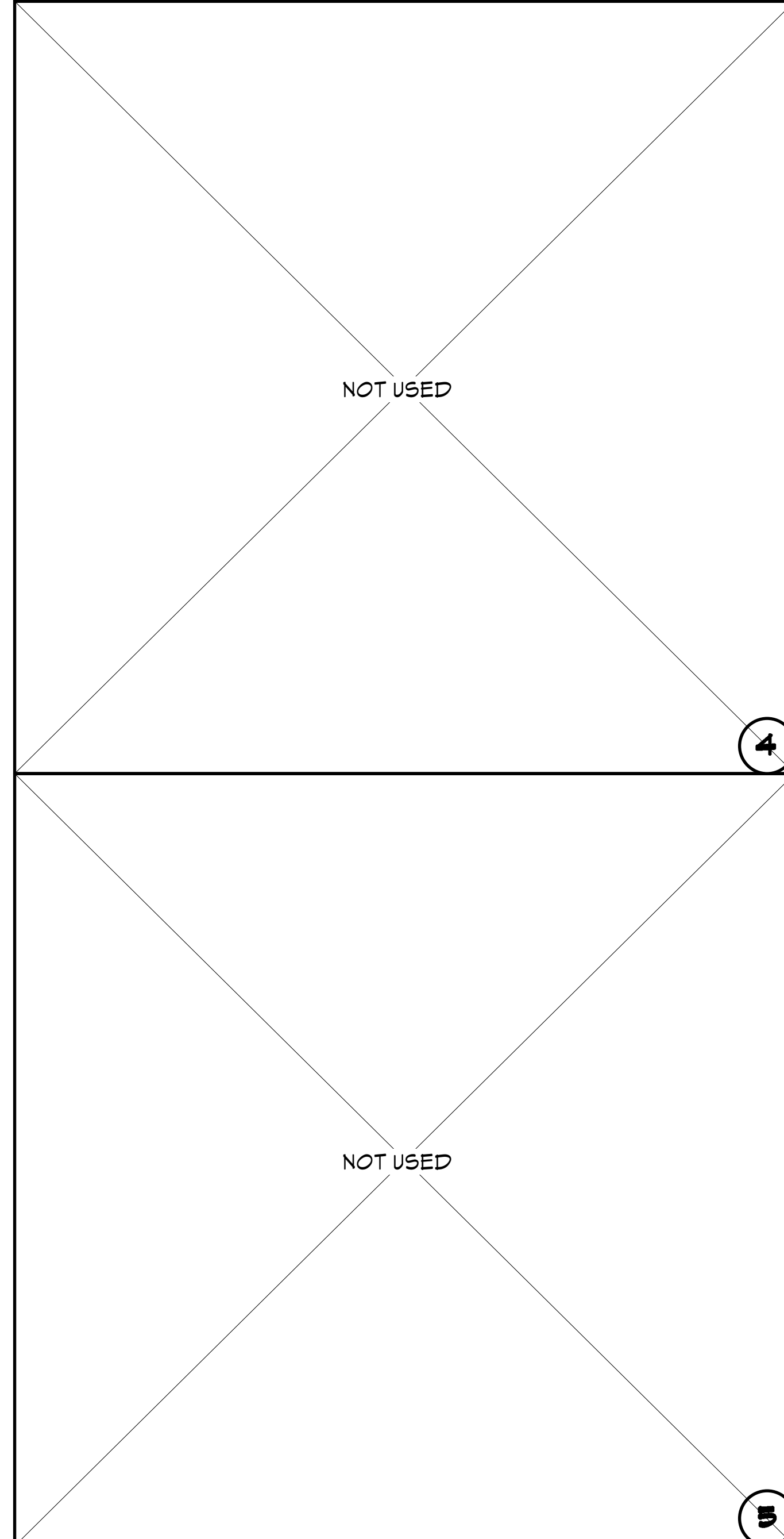
SCALE: 9"=1'-0"

3

FLAT ROOF OVERHANG EDGE DETAIL (ROOF JOIST PERPENDICULAR TO WALL)

9"=1'-0"

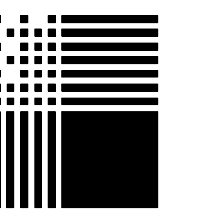
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FLAT ROOF OVERHANG EDGE DETAIL (ROOF JOIST PERPENDICULAR TO WALL)

SCALE: 9"=1'-0"

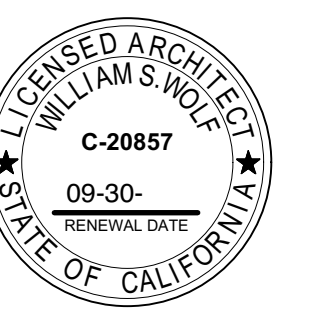
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PACIFIC ARCHITECTS

1117 COAST VILLAGE RD.
MONTECITO, CA 93108
8 0 5 5 6 5 3 6 4 0

616 SEA RANCH DRIVE
SANTA BARBARA, CA



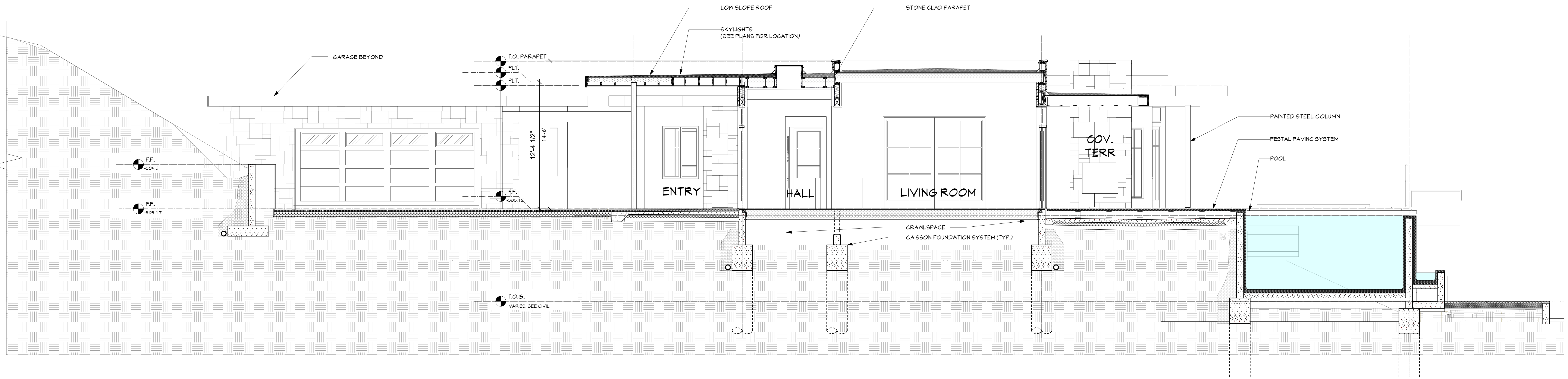
ALL IDEAS, DESIGNS AND PLANS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED BY AND ARE THE PROPERTY OF PACIFIC ARCHITECTS AND WERE CREATED AND DEVELOPED FOR USE IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, OR PLANS SHALL BE USED FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF PACIFIC ARCHITECTS.

Revision	Description	Date

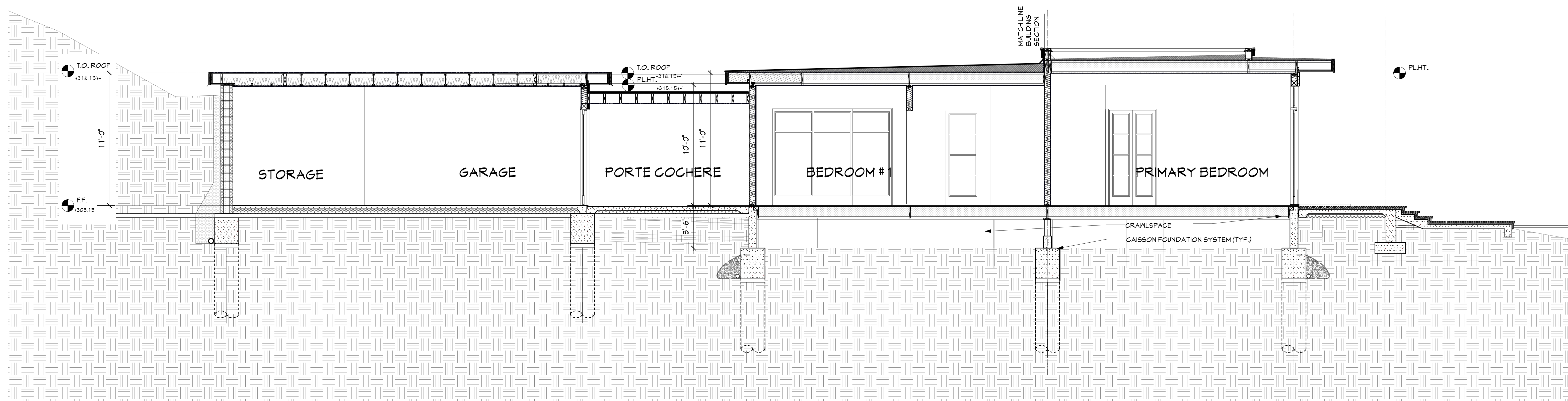
Job Number:
Date: 7.14.24

A5.0

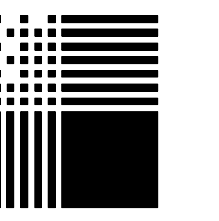
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A BUILDING SECTION
1/4" = 1'-0"



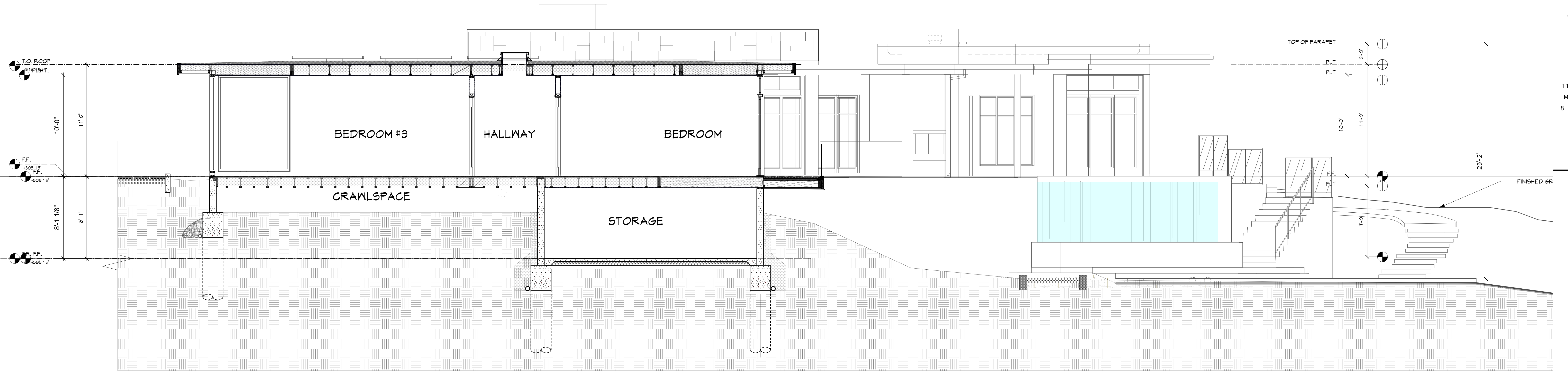
B BUILDING SECTION
1/4" = 1'-0"



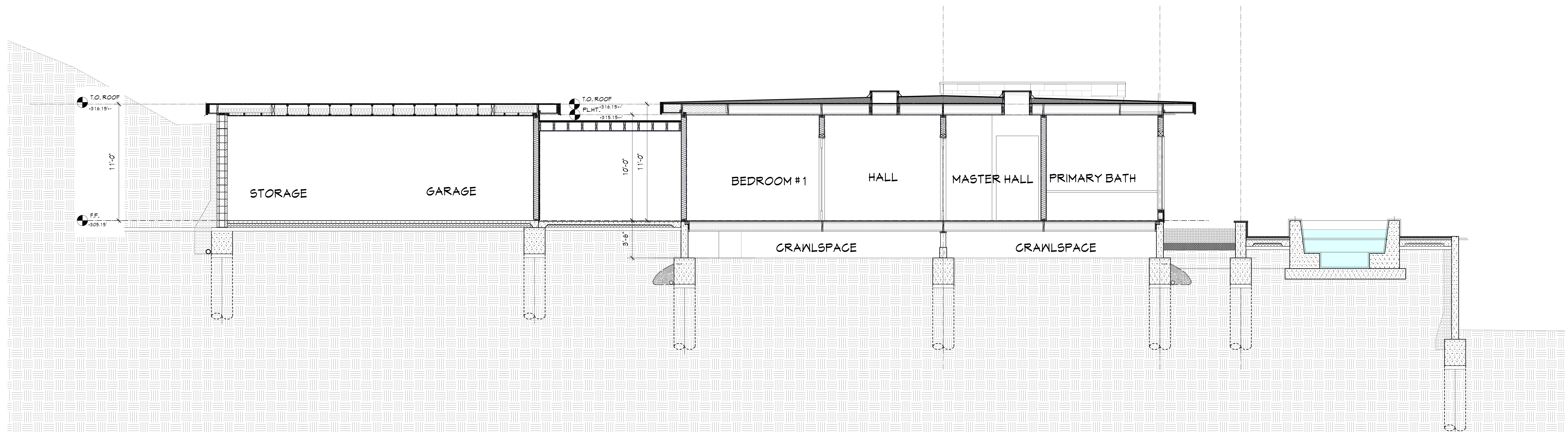
PACIFIC ARCHITECTS

1117 COAST VILLAGE RD.
MONTECITO, CA 93108
805.565.3640

616 SEA RANCH DRIVE
SANTA BARBARA, CA



C BUILDING SECTION
1/4" = 1'-0"



D BUILDING SECTION
1/4" = 1'-0"



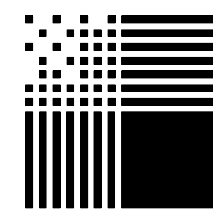
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Revision	Description	Date

Job Number:
Date: 7.19.24

A5.1

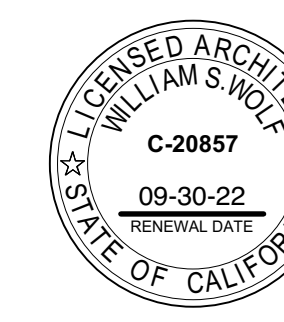
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616 SEA RANCH DRIVE
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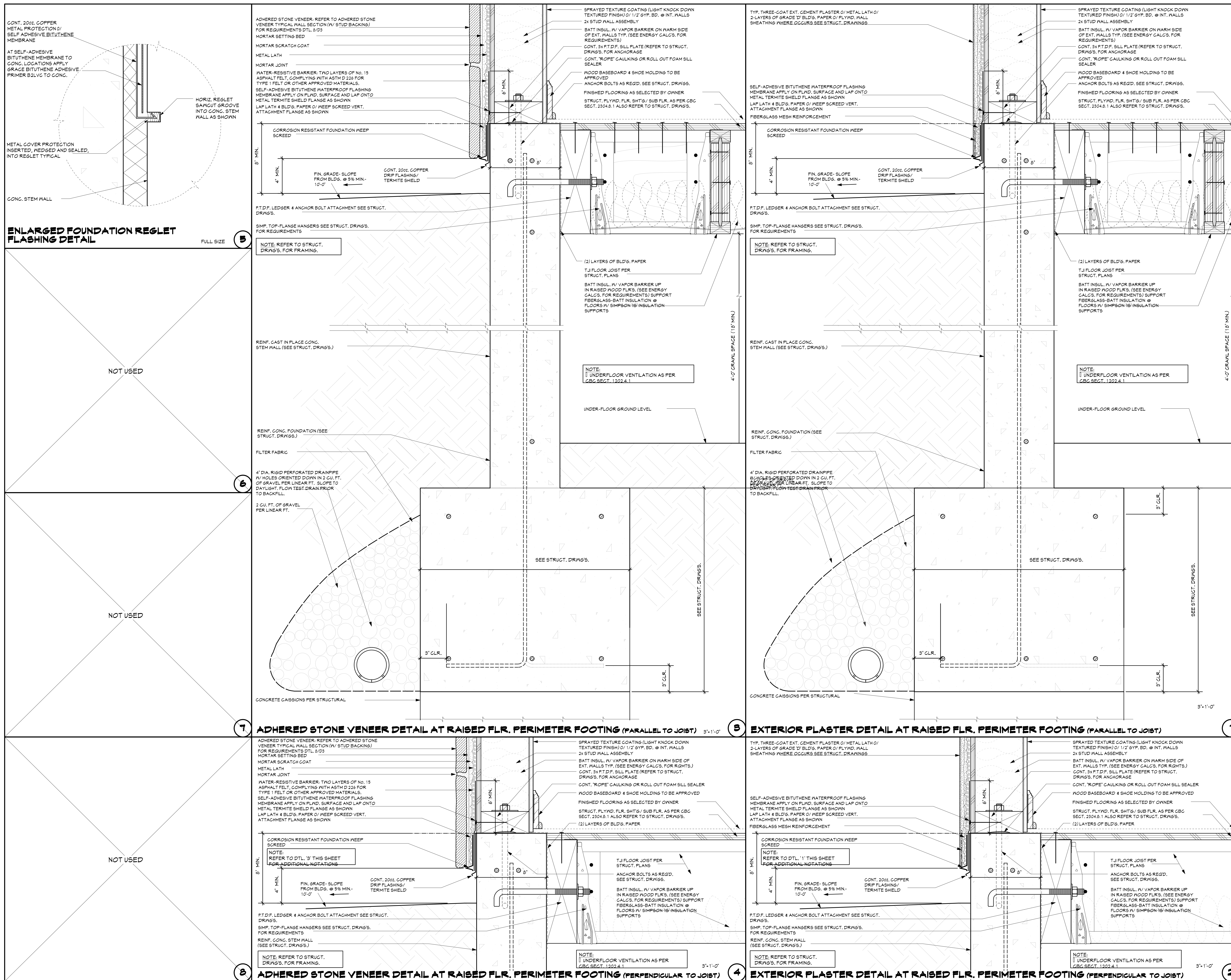
Revision Description Date

Job Number:

Date: 1.14.24

D 1

Sheet of

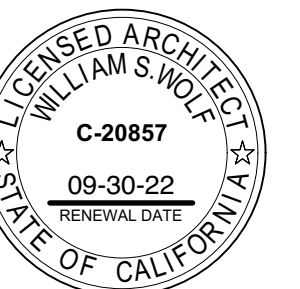
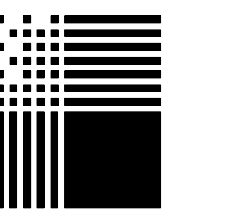


ENLARGED FOUNDATION REGLET FLASHING DETAIL FULL SIZE

NOT USED

NOT USED

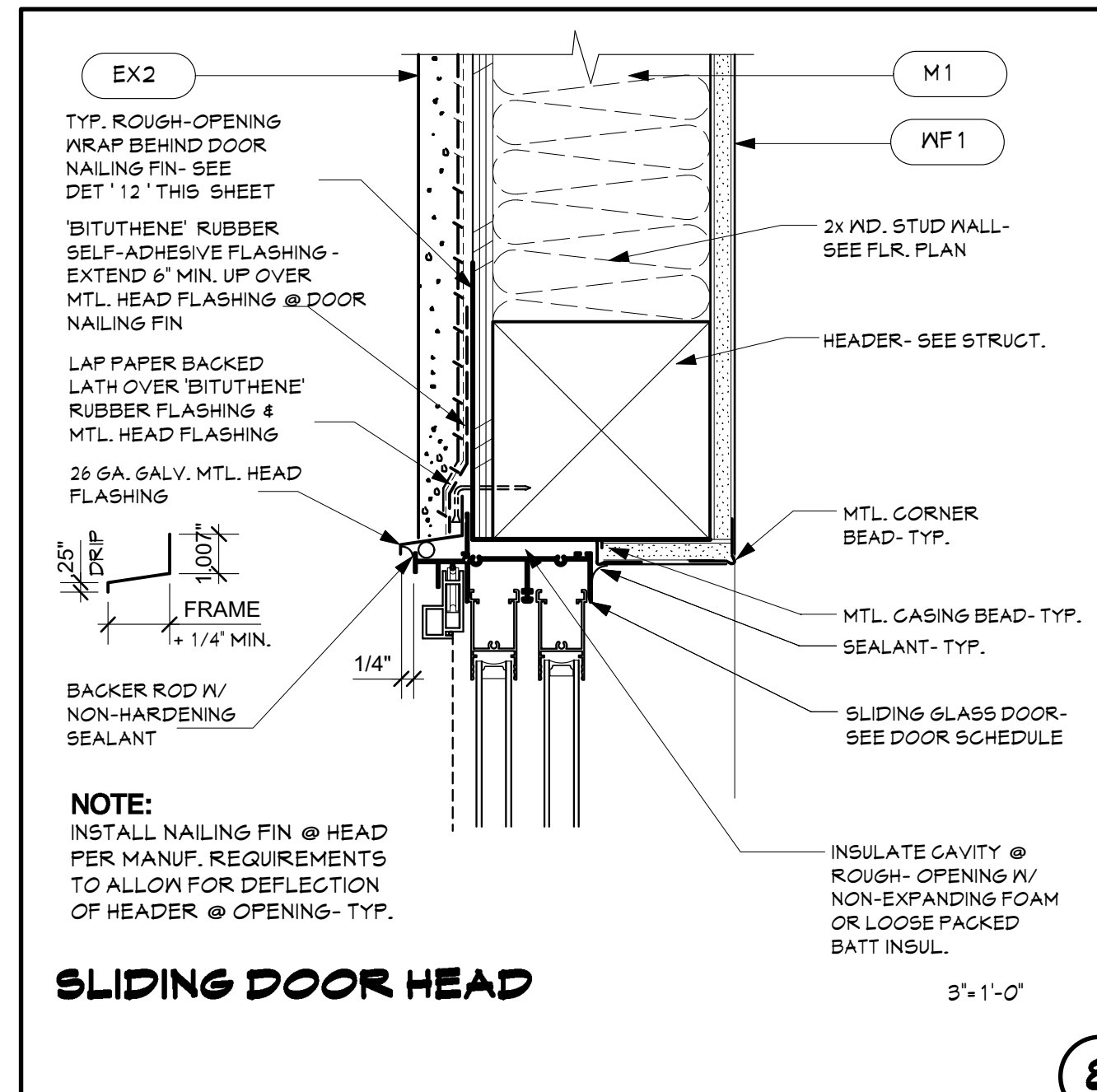
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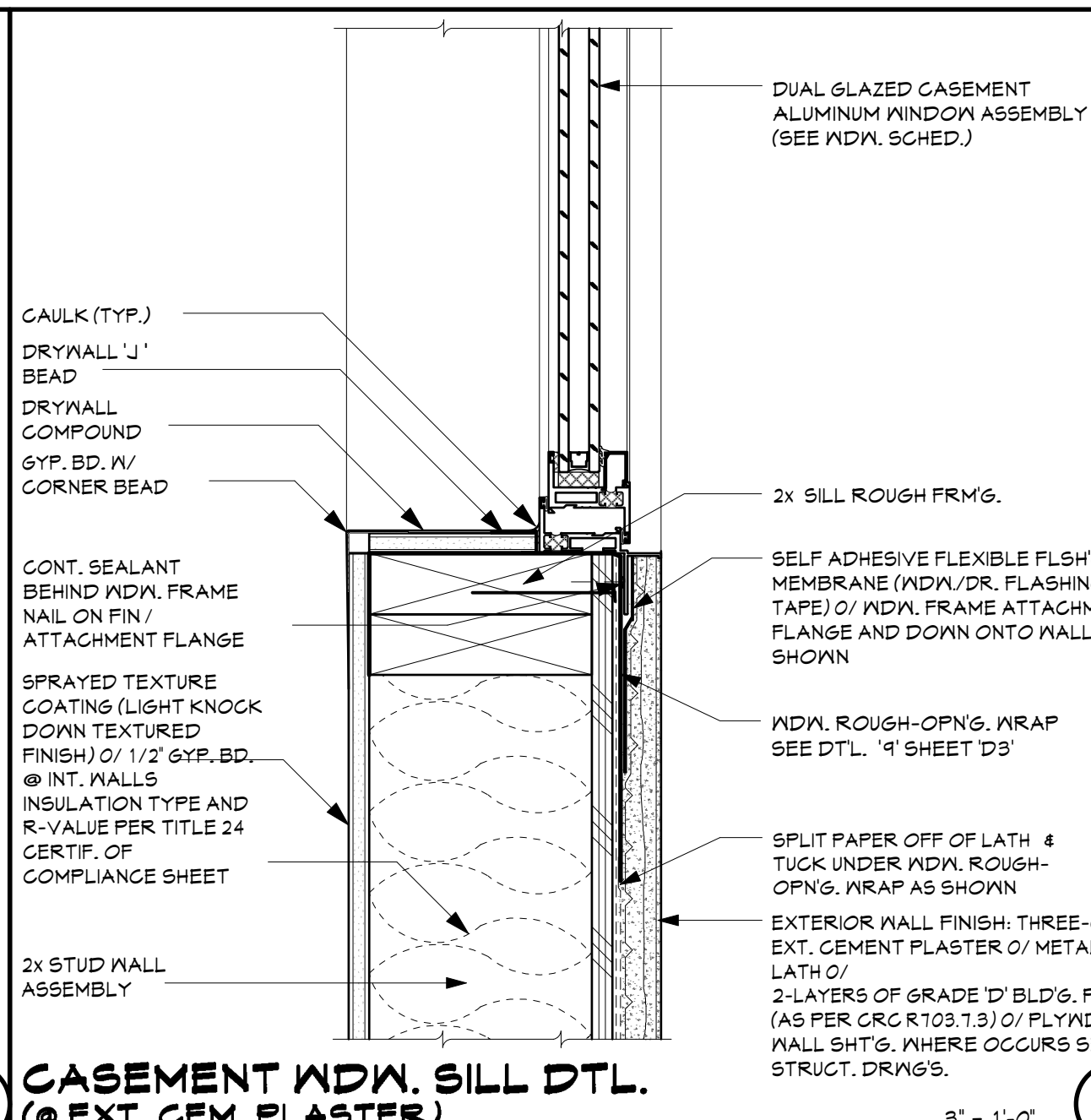
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Revision table with columns: Revision, Description, Date

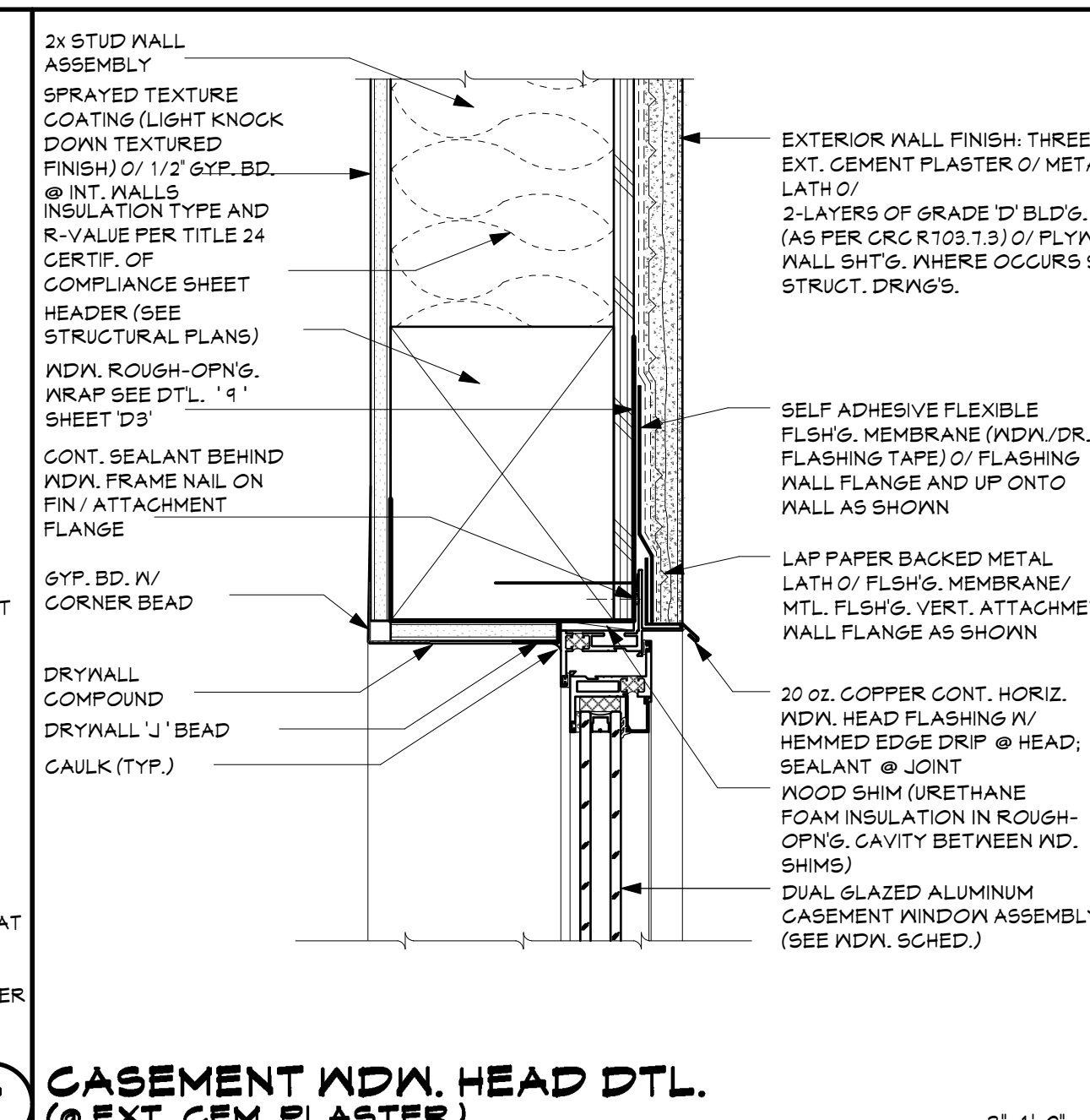
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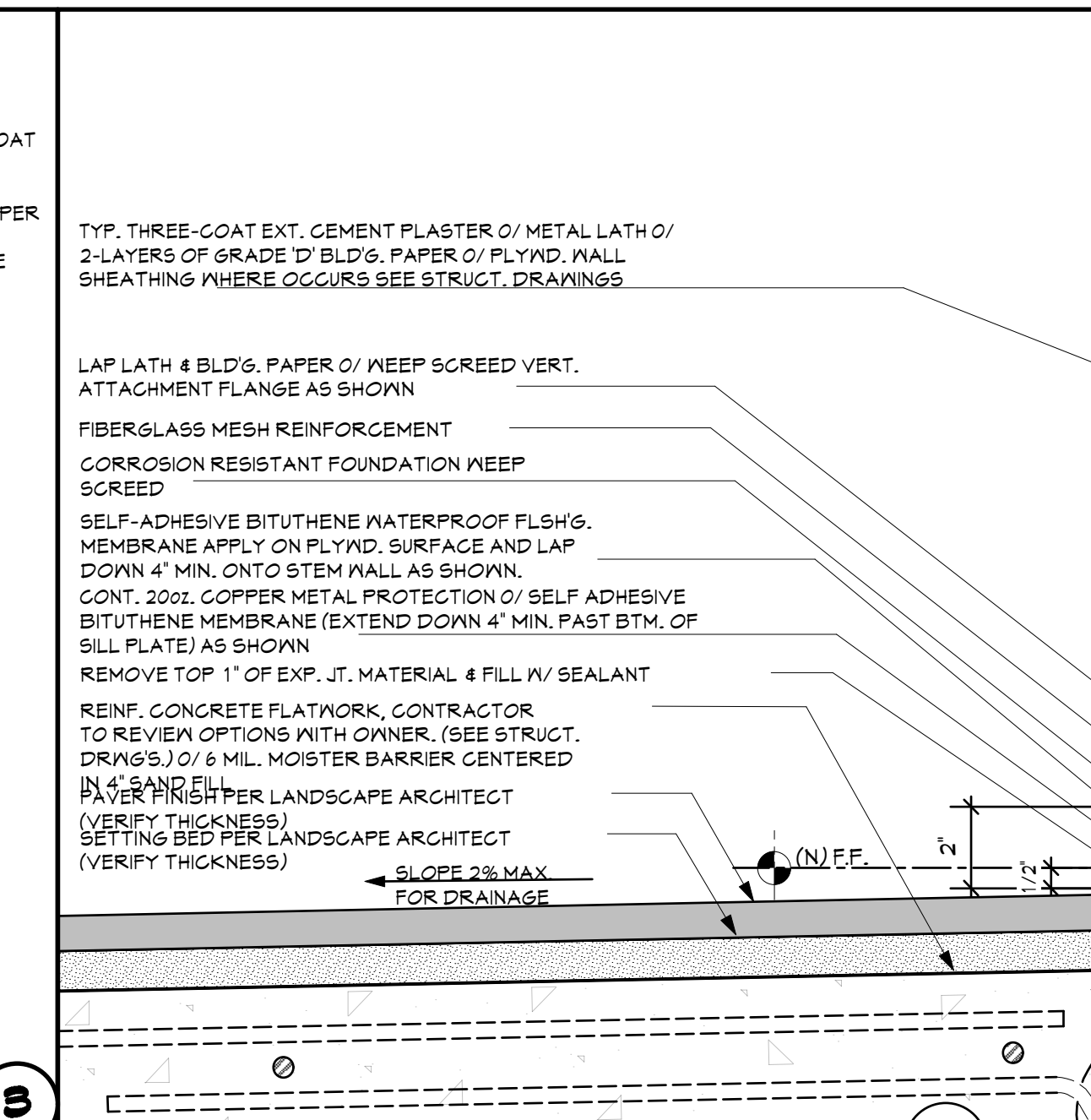
SLIDING DOOR HEAD



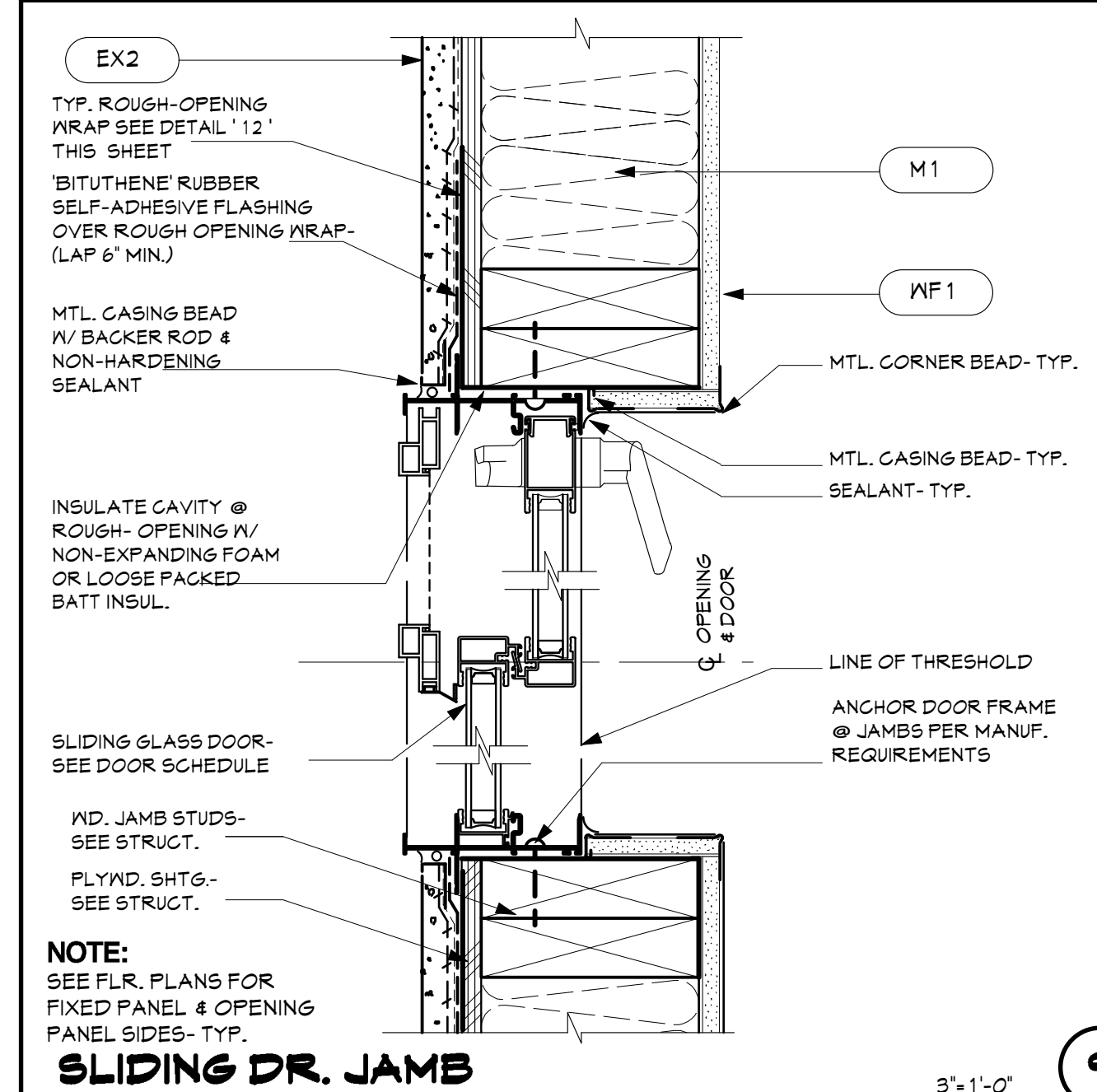
CASEMENT WDW. SILL DTL. (@ EXT. CEM. PLASTER)



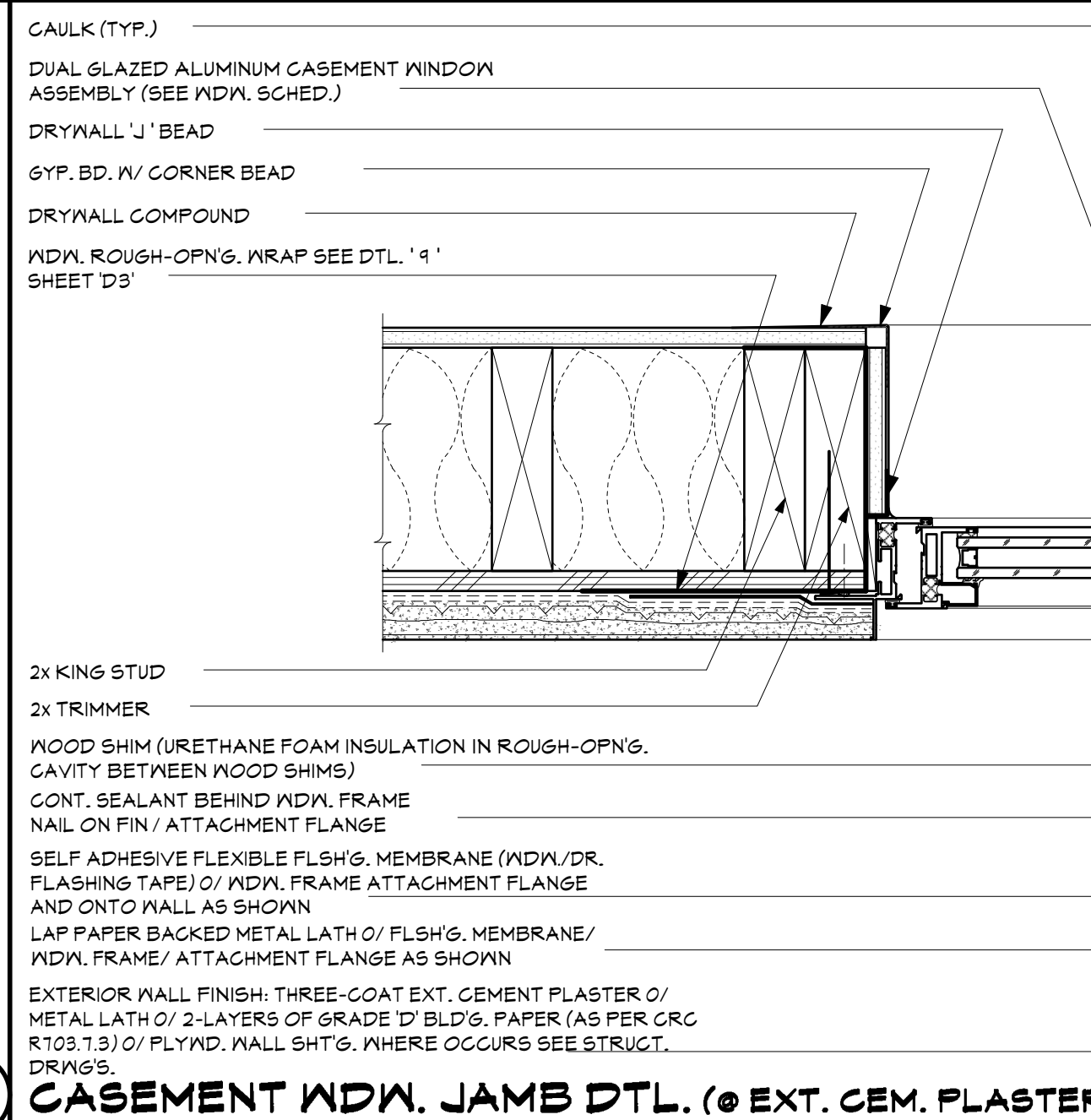
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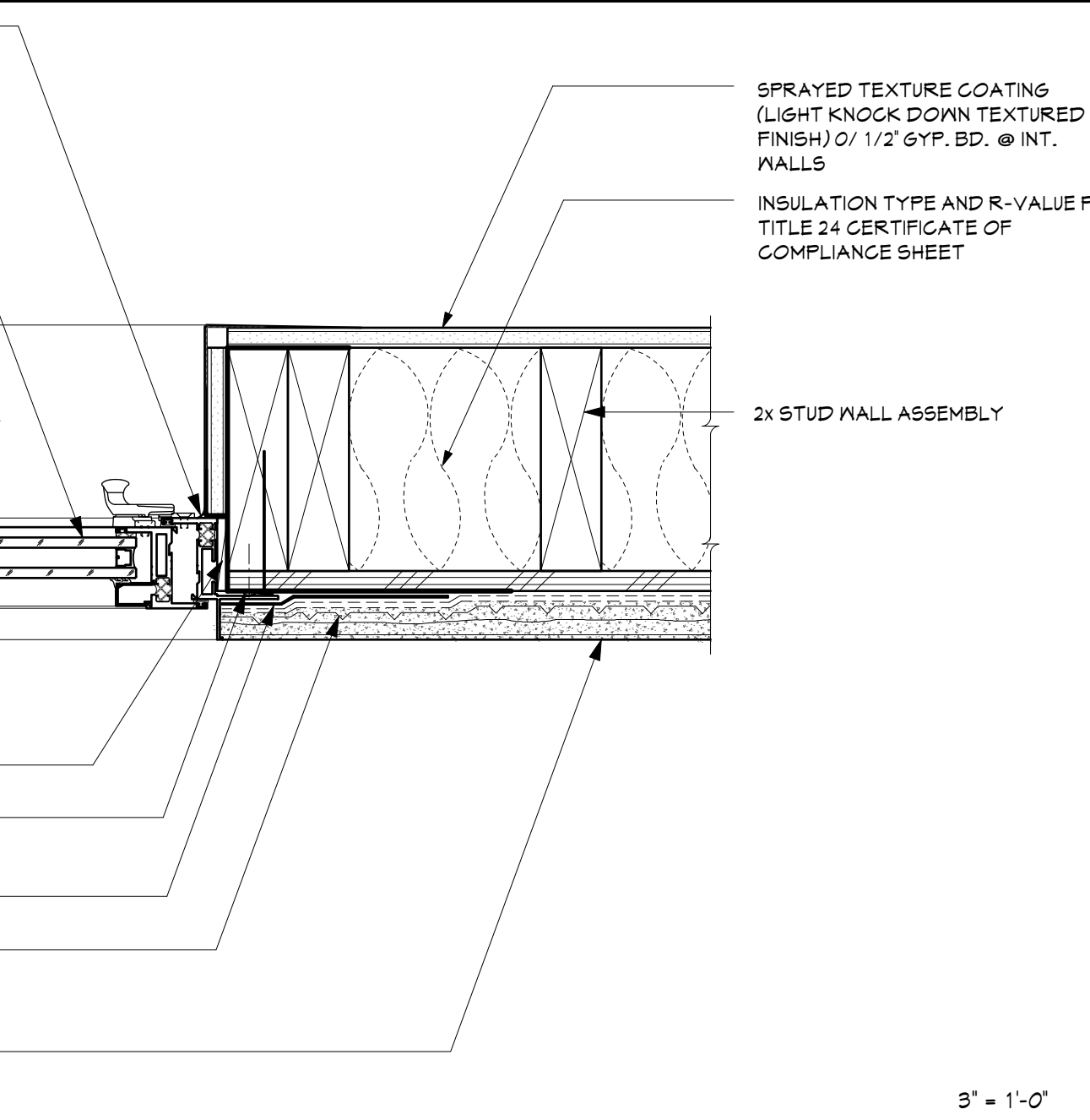
EXTERIOR PLASTER DETAIL @ EXTERIOR CONCRETE SLAB/RAISED FLR. PERIMETER FOOTING (PARALLEL TO JOIST)



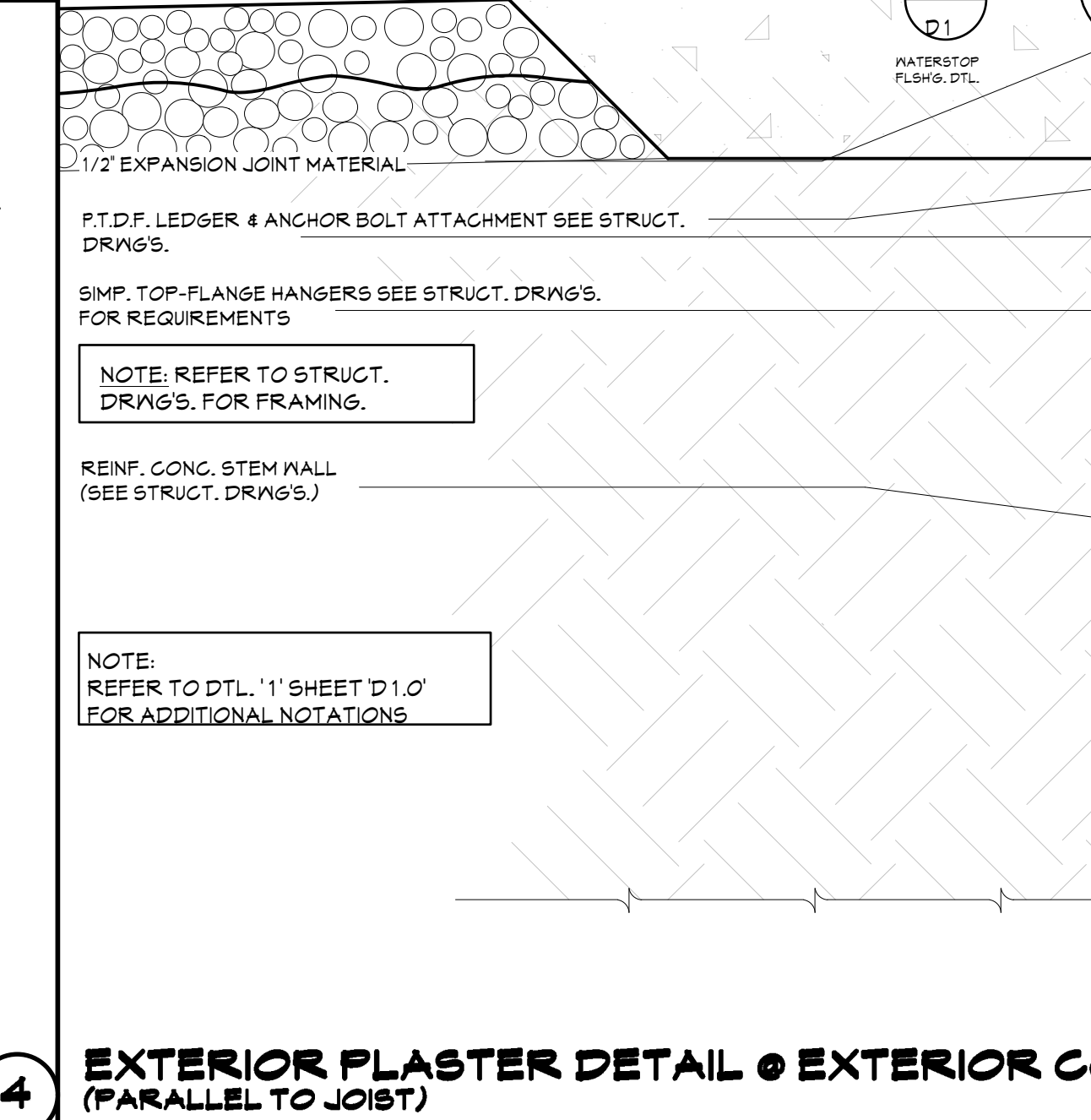
SLIDING DR. JAMB



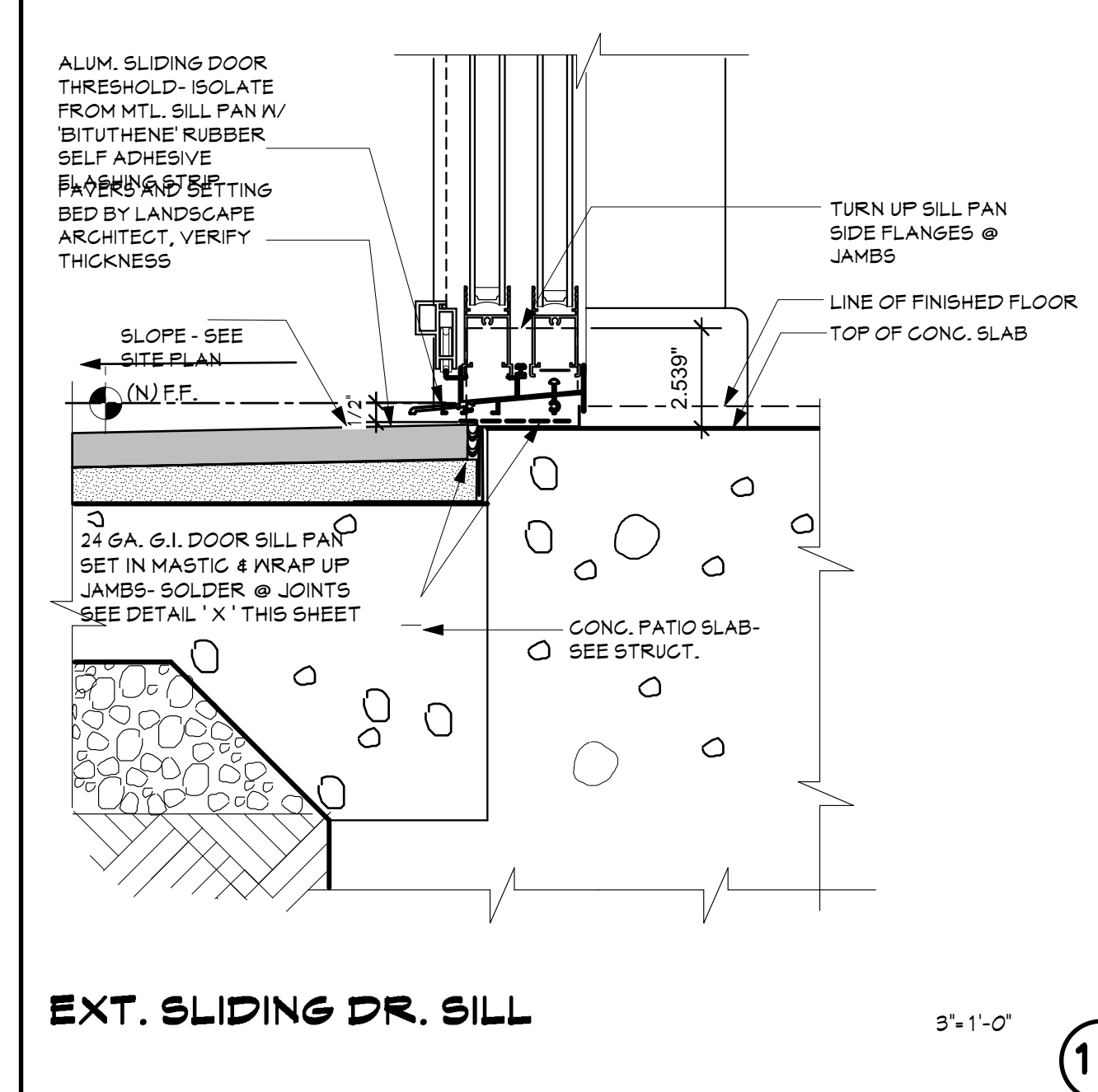
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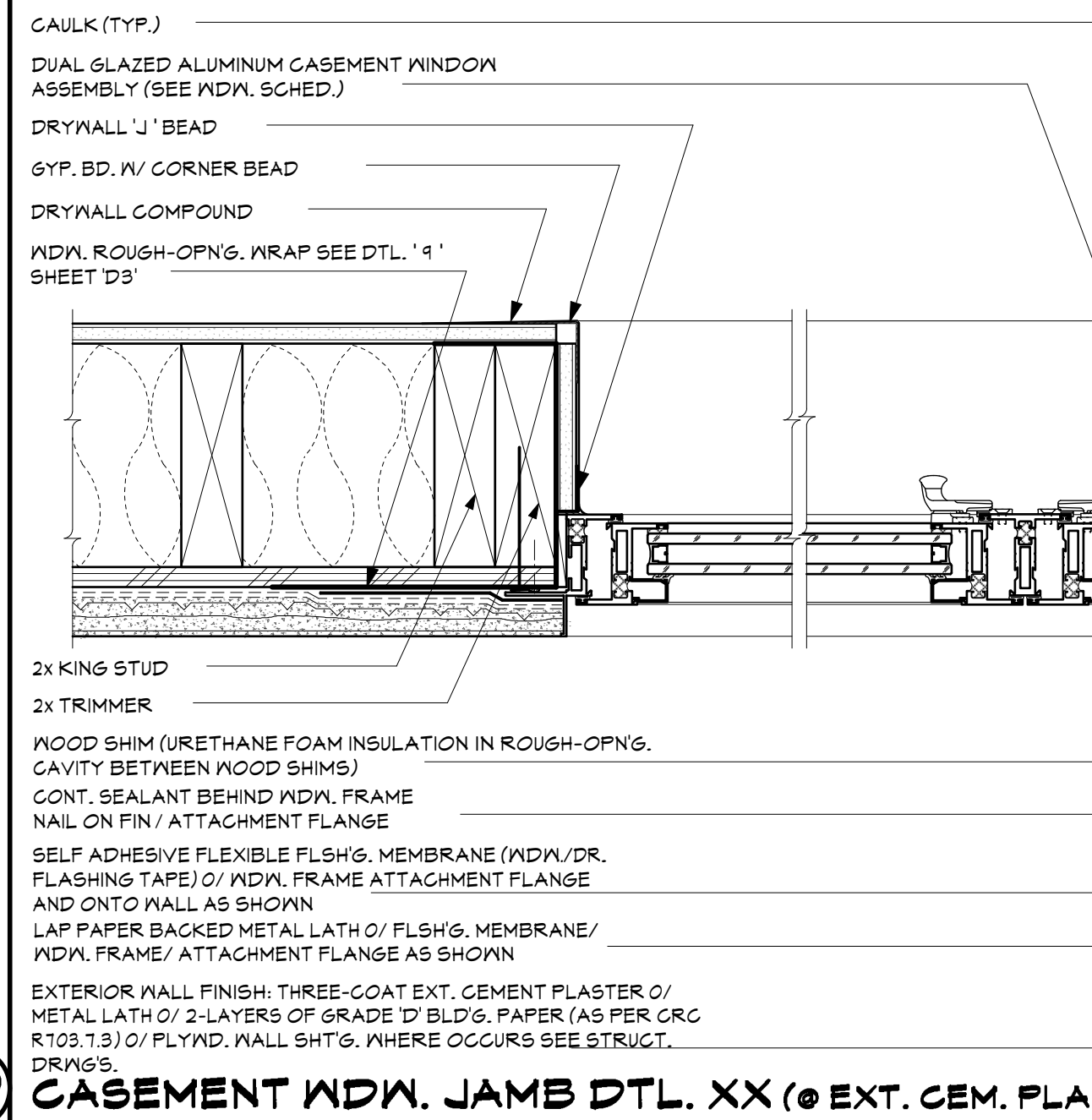
CASEMENT WDW. JAMB DTL. XX (@ EXT. CEM. PLASTER)



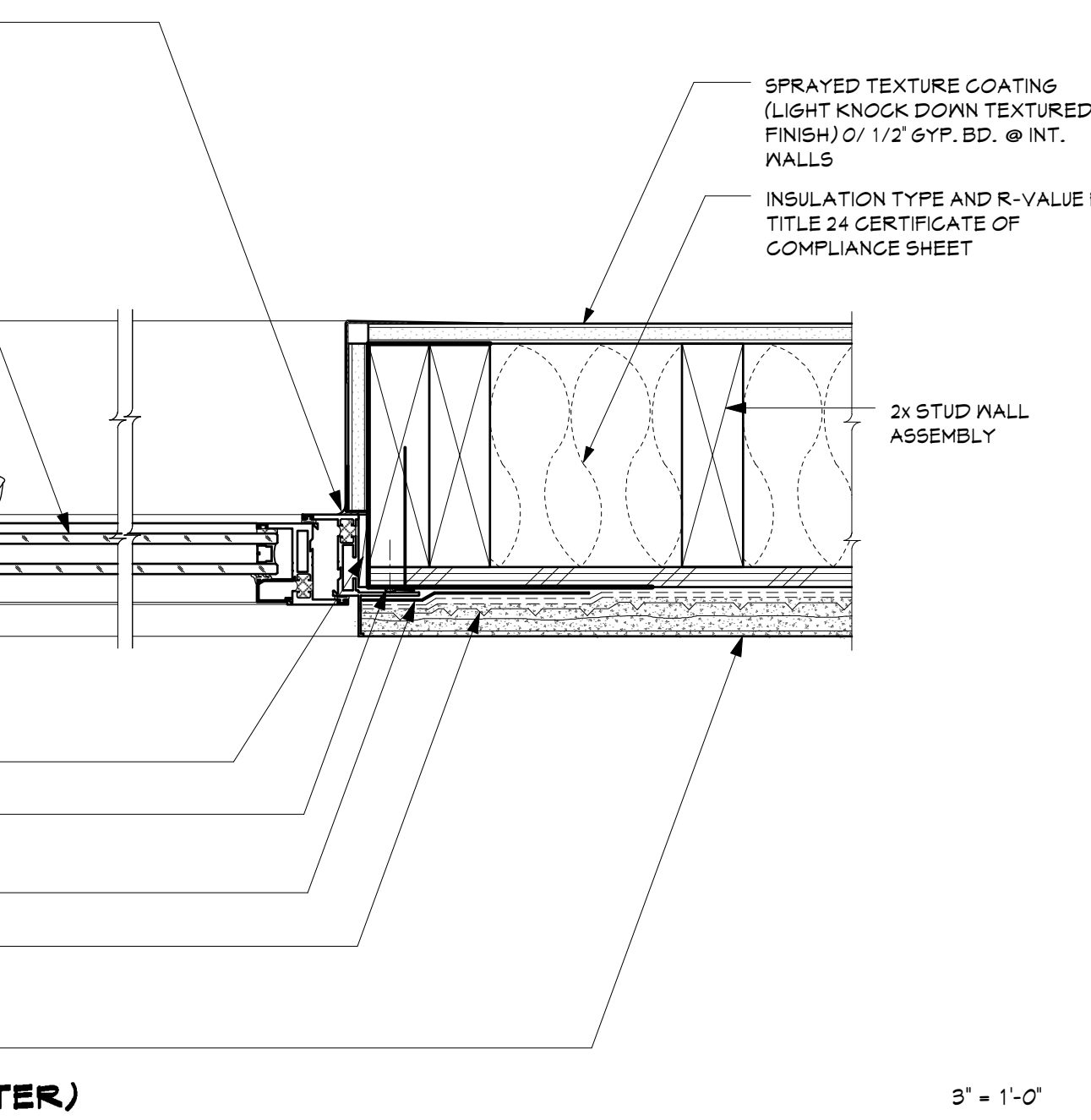
ADHERED STONE VENEER @ EXTERIOR CONCRETE SLAB/RAISED FLR. PERIMETER FOOTING (PERPENDICULAR TO JOIST)



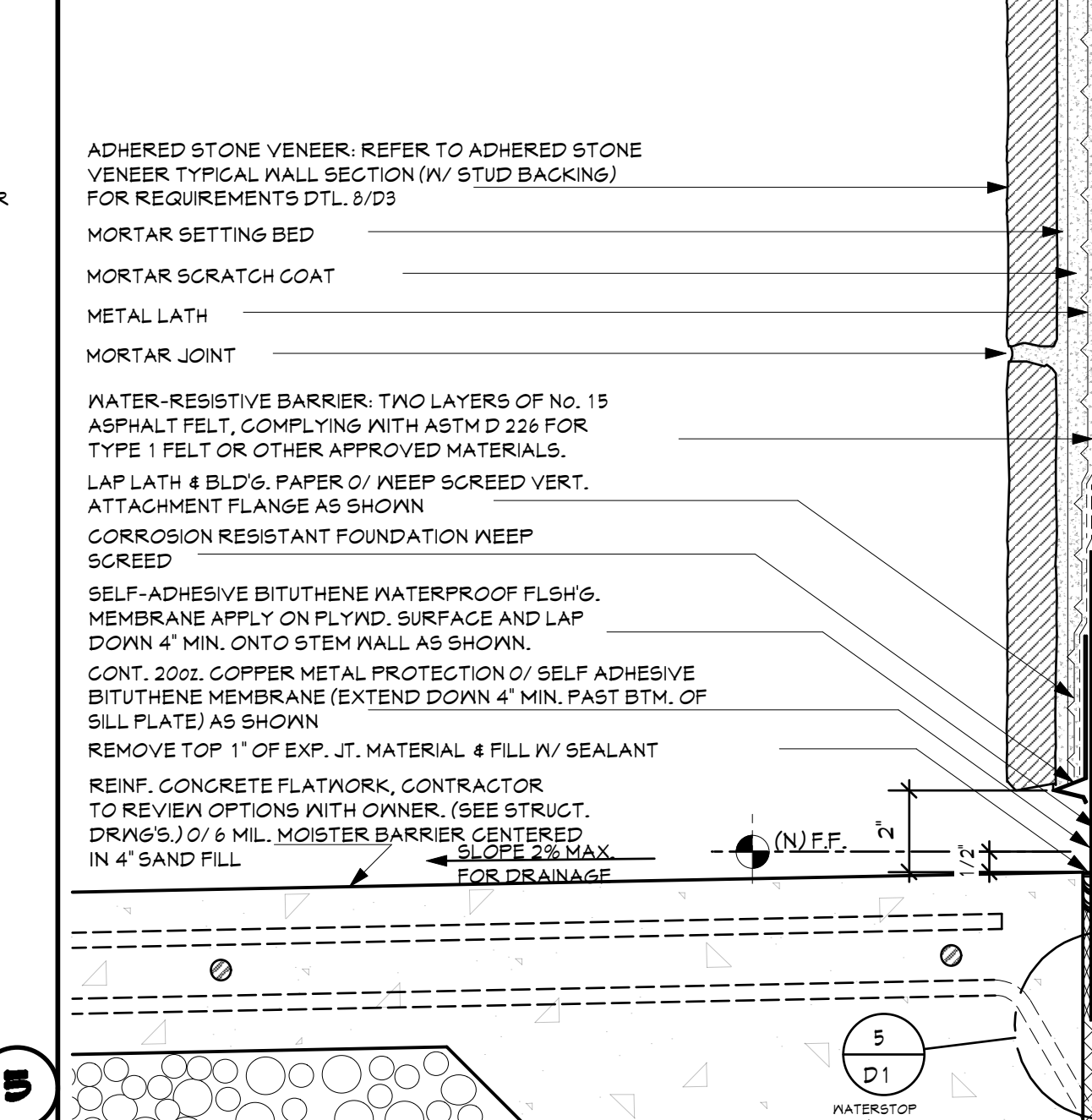
EXT. SLIDING DR. SILL



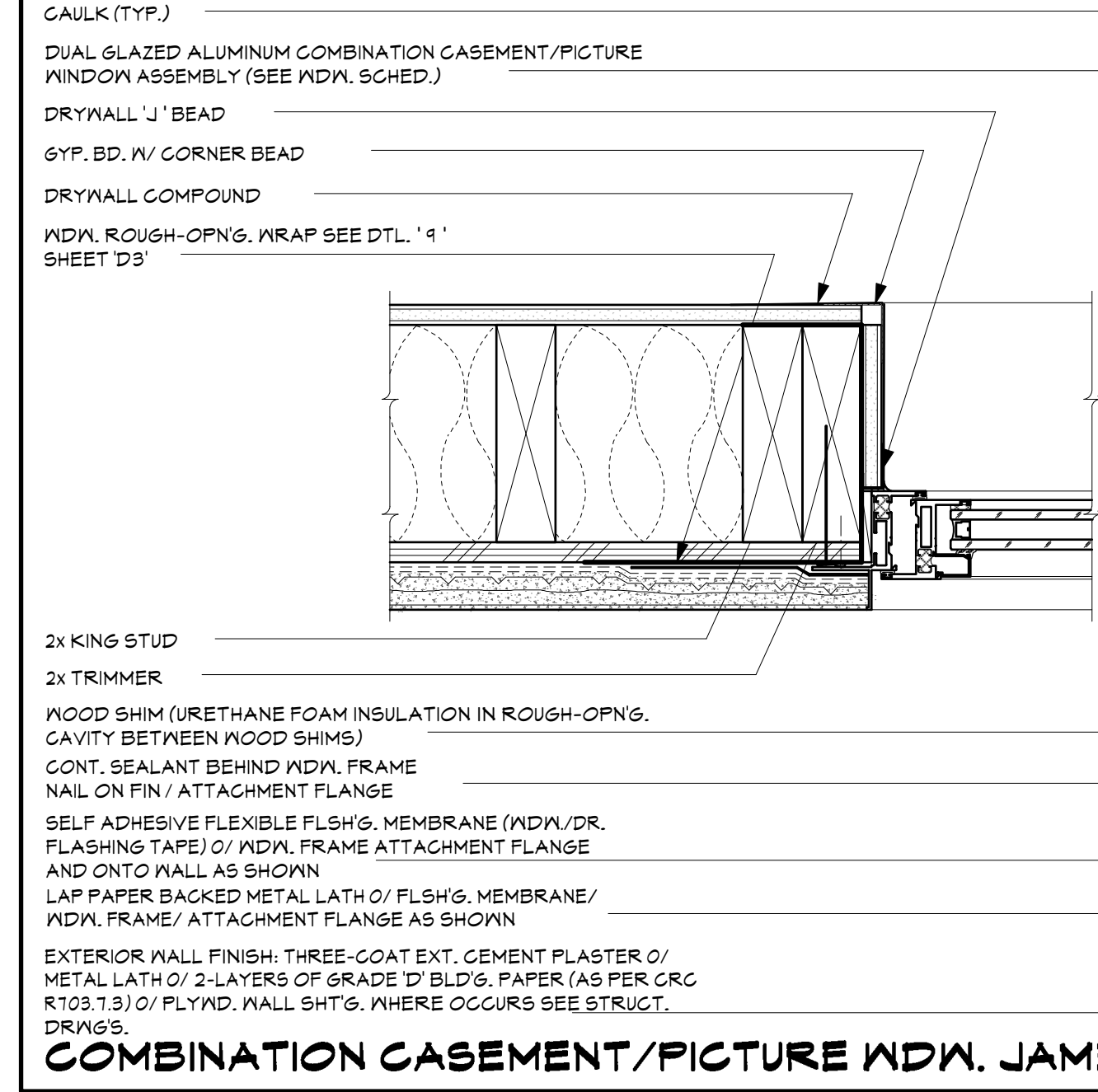
COMBINATION CASEMENT/PICTURE WDW. JAMB DTL. XO (@ EXT. CEM. PLASTER)



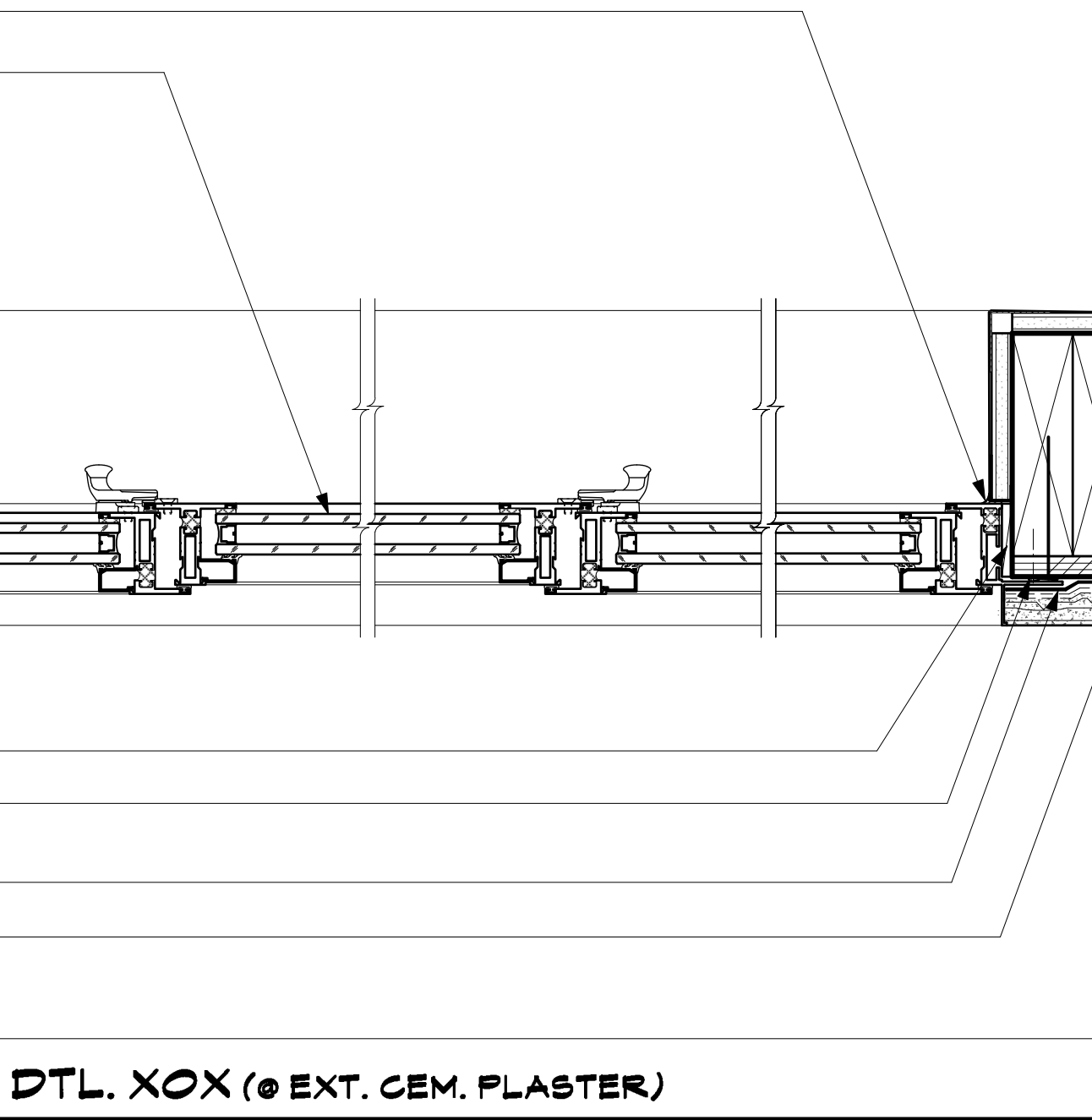
COMBINATION CASEMENT/PICTURE WDW. JAMB DTL. XO (@ EXT. CEM. PLASTER)



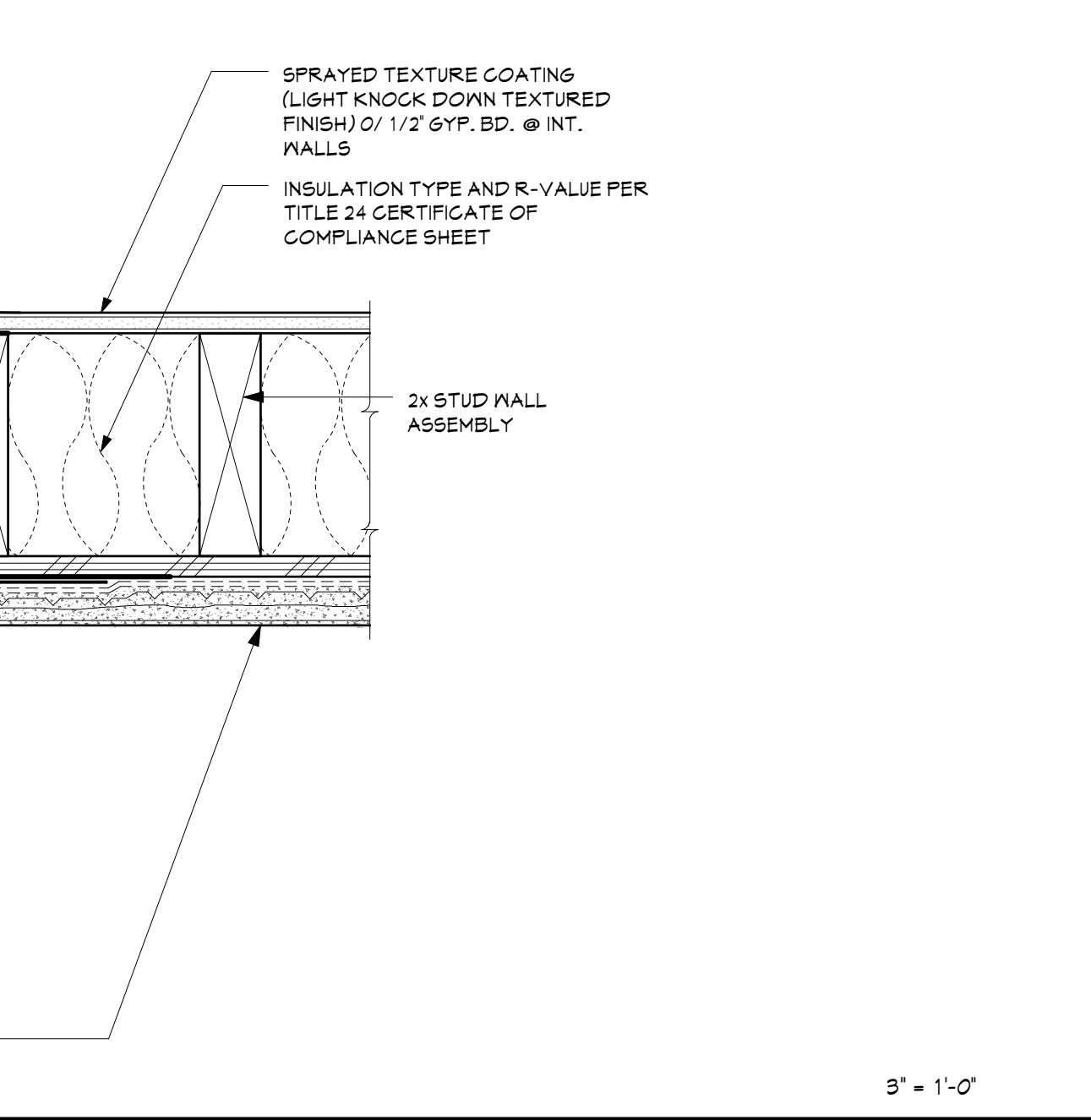
ADHERED STONE VENEER @ EXTERIOR CONCRETE SLAB/RAISED FLR. PERIMETER FOOTING (PERPENDICULAR TO JOIST)



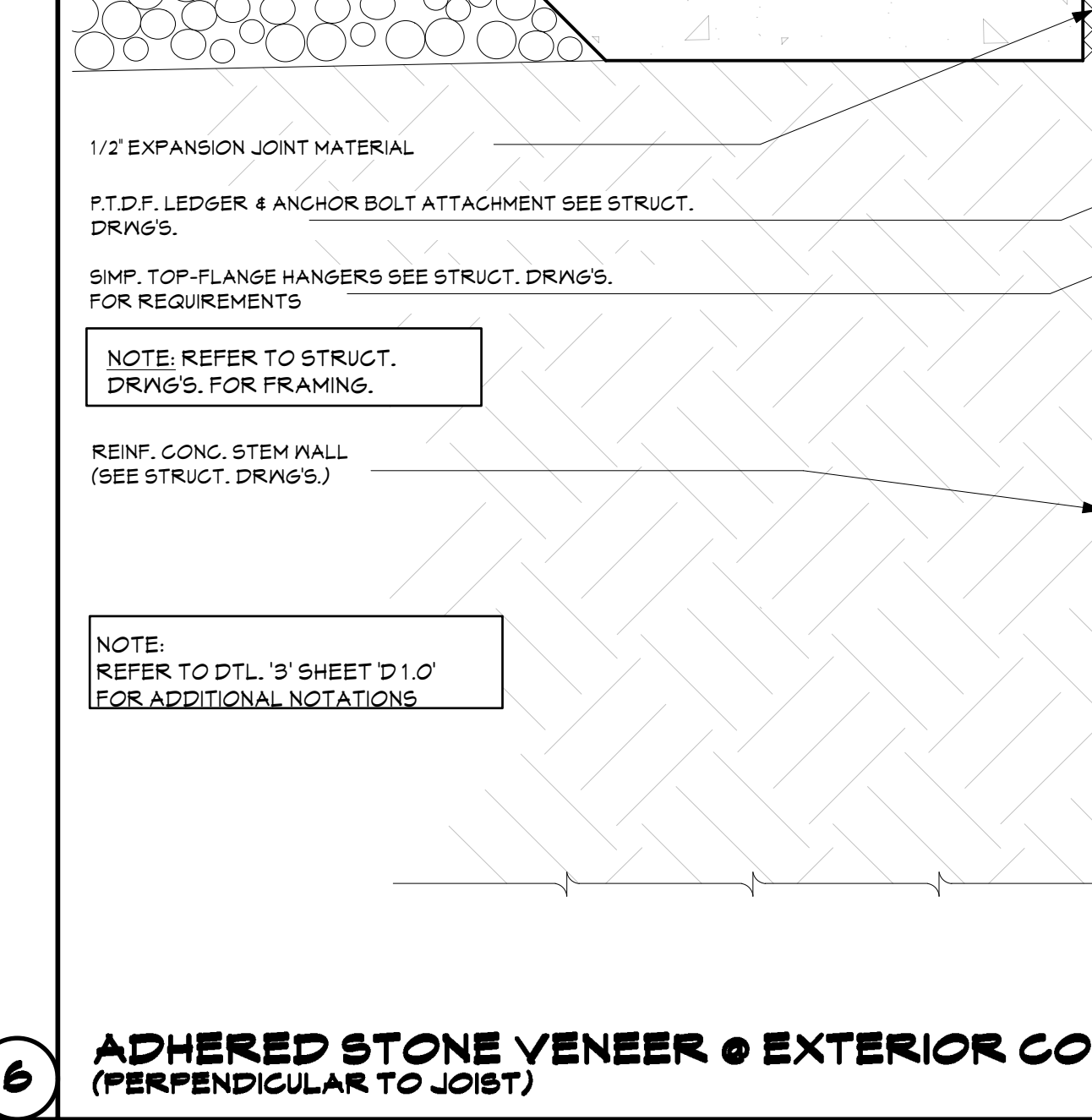
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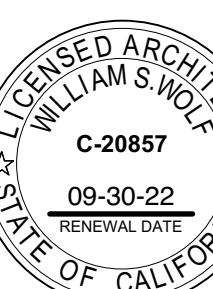
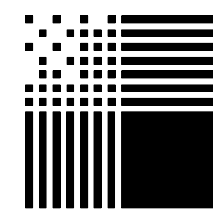
COMBINATION CASEMENT/PICTURE WDW. JAMB DTL. XO (@ EXT. CEM. PLASTER)



COMBINATION CASEMENT/PICTURE WDW. JAMB DTL. XO (@ EXT. CEM. PLASTER)



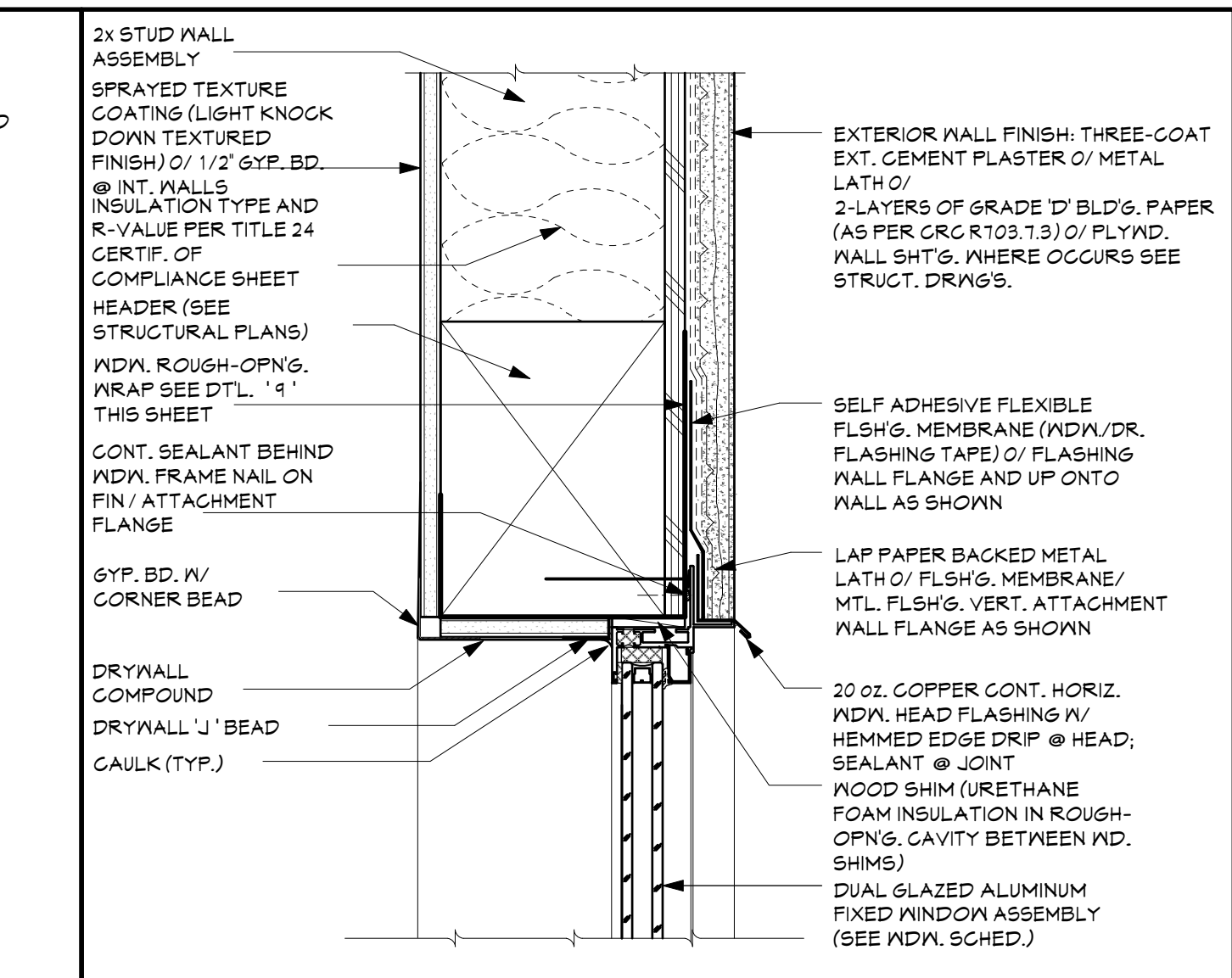
ADHERED STONE VENEER @ EXTERIOR CONCRETE SLAB/RAISED FLR. PERIMETER FOOTING (PERPENDICULAR TO JOIST)



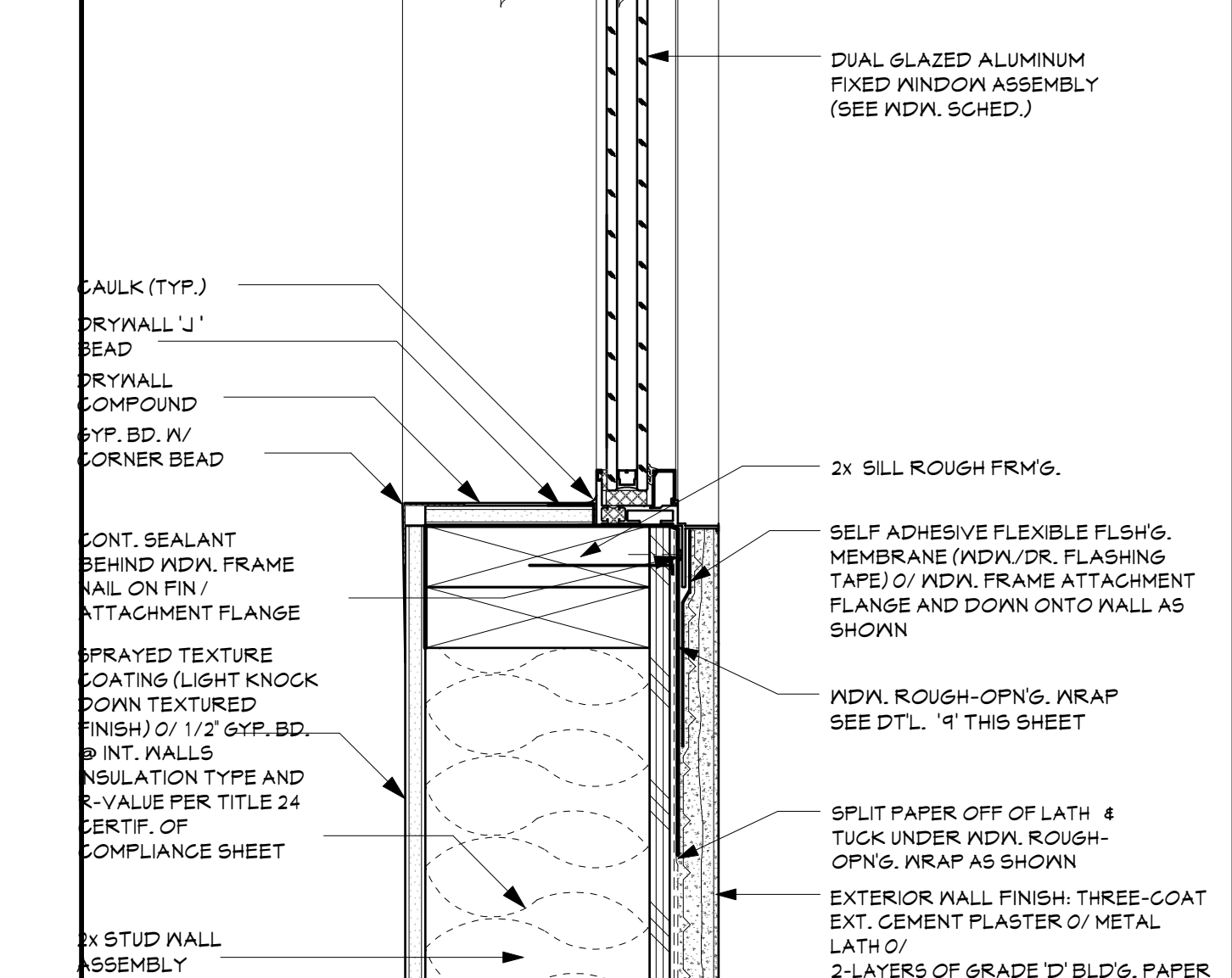
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Table with 3 columns: Revision, Description, Date

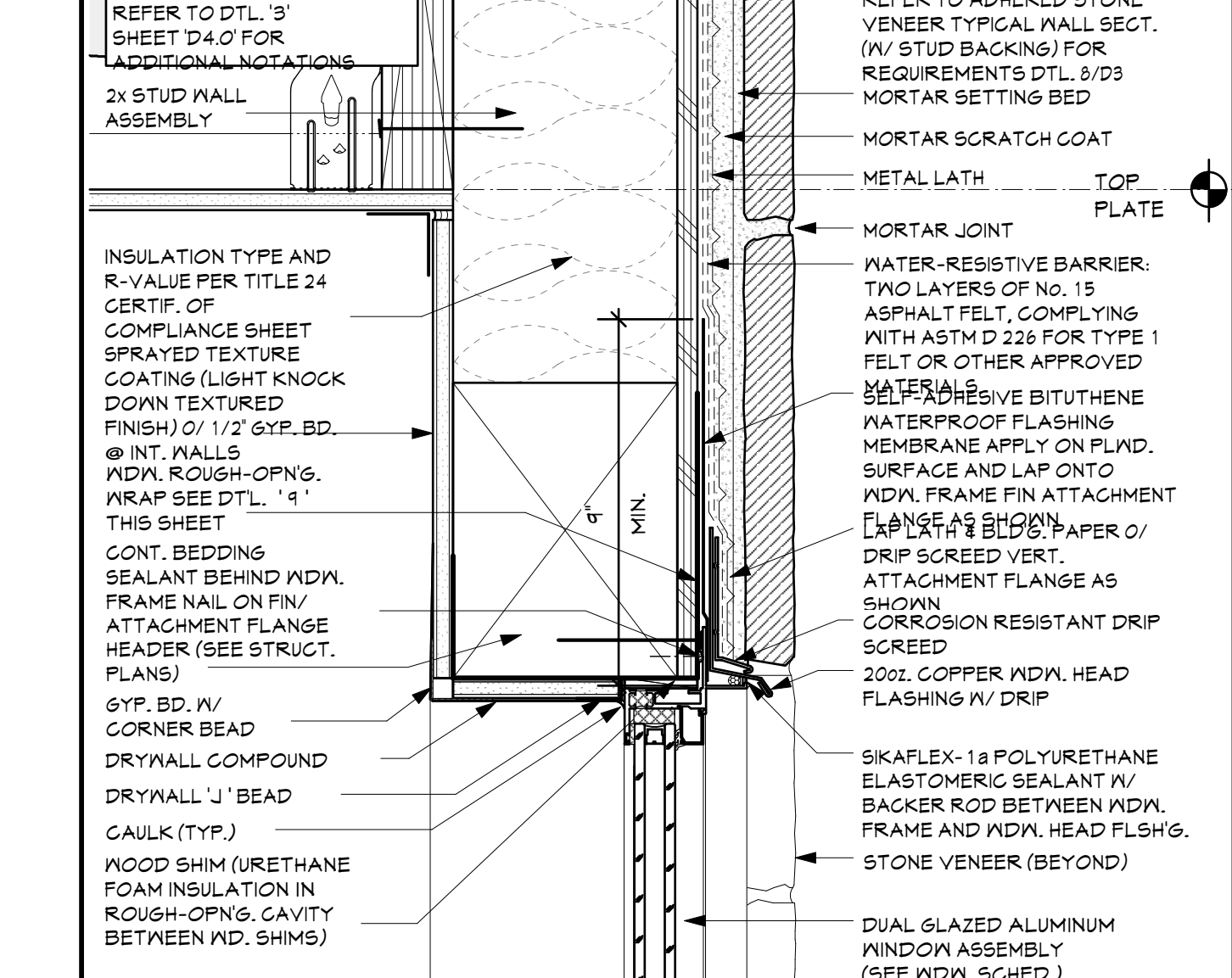
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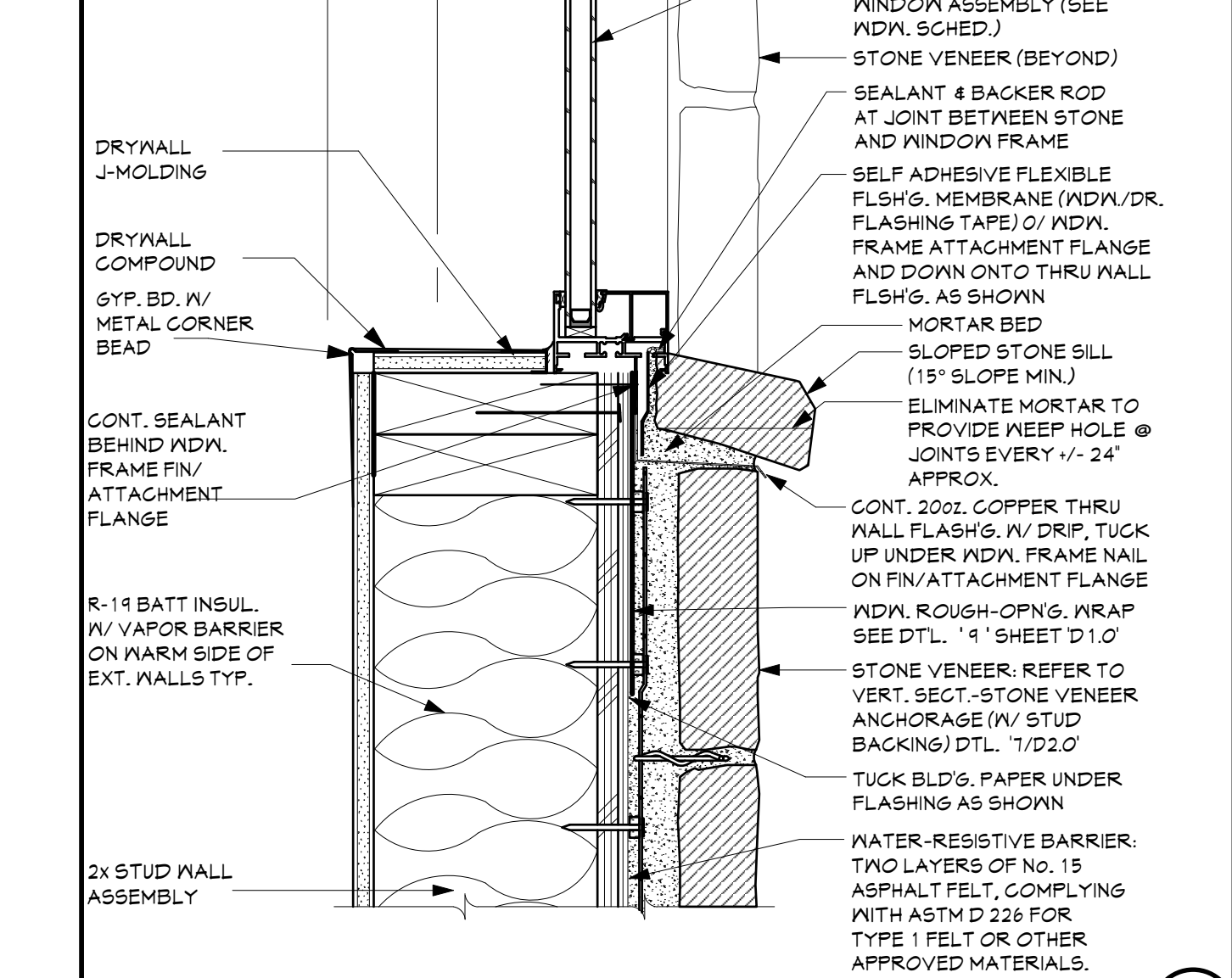
FIXED WDN. HEAD DTL. (EXT. CEM. PLASTER)



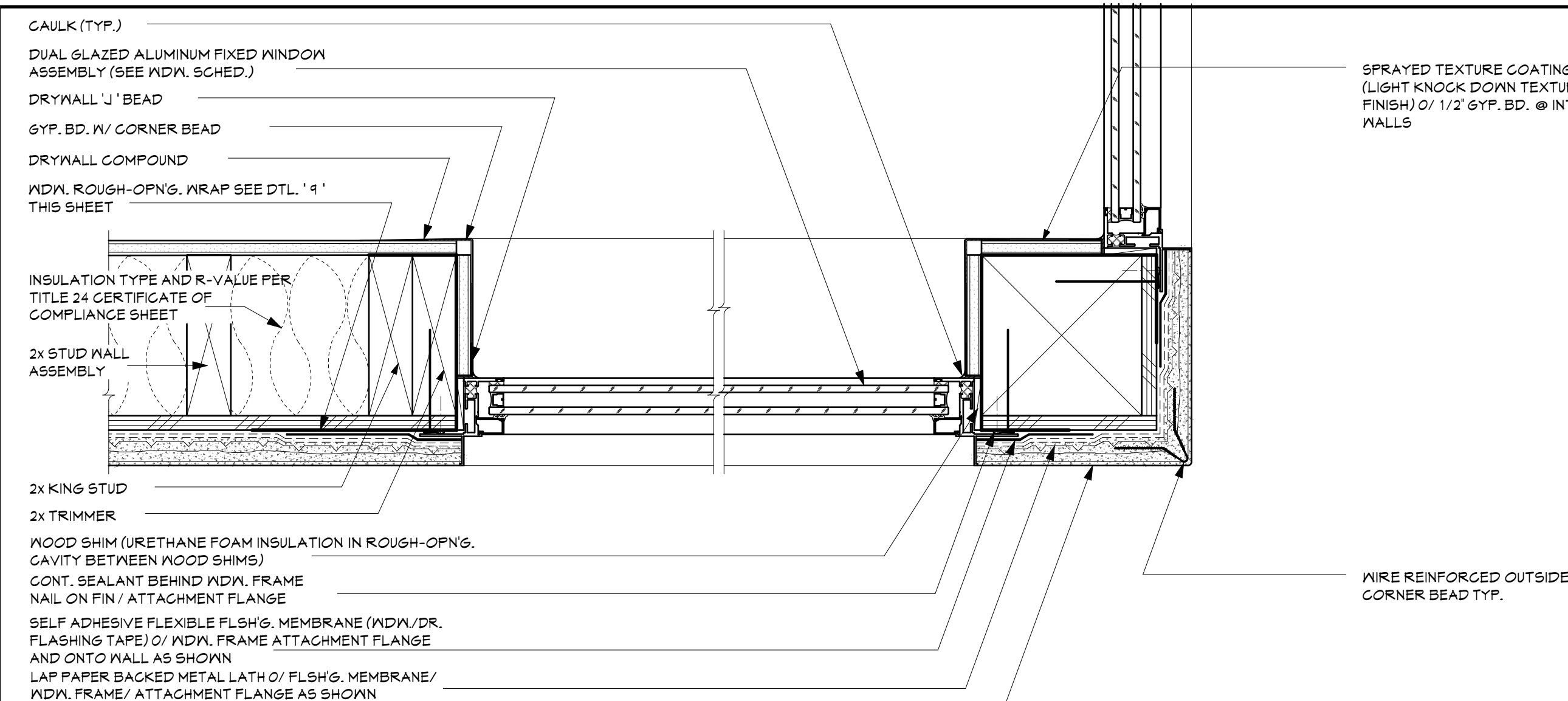
FIXED WDN. SILL DTL. (EXT. CEM. PLASTER)



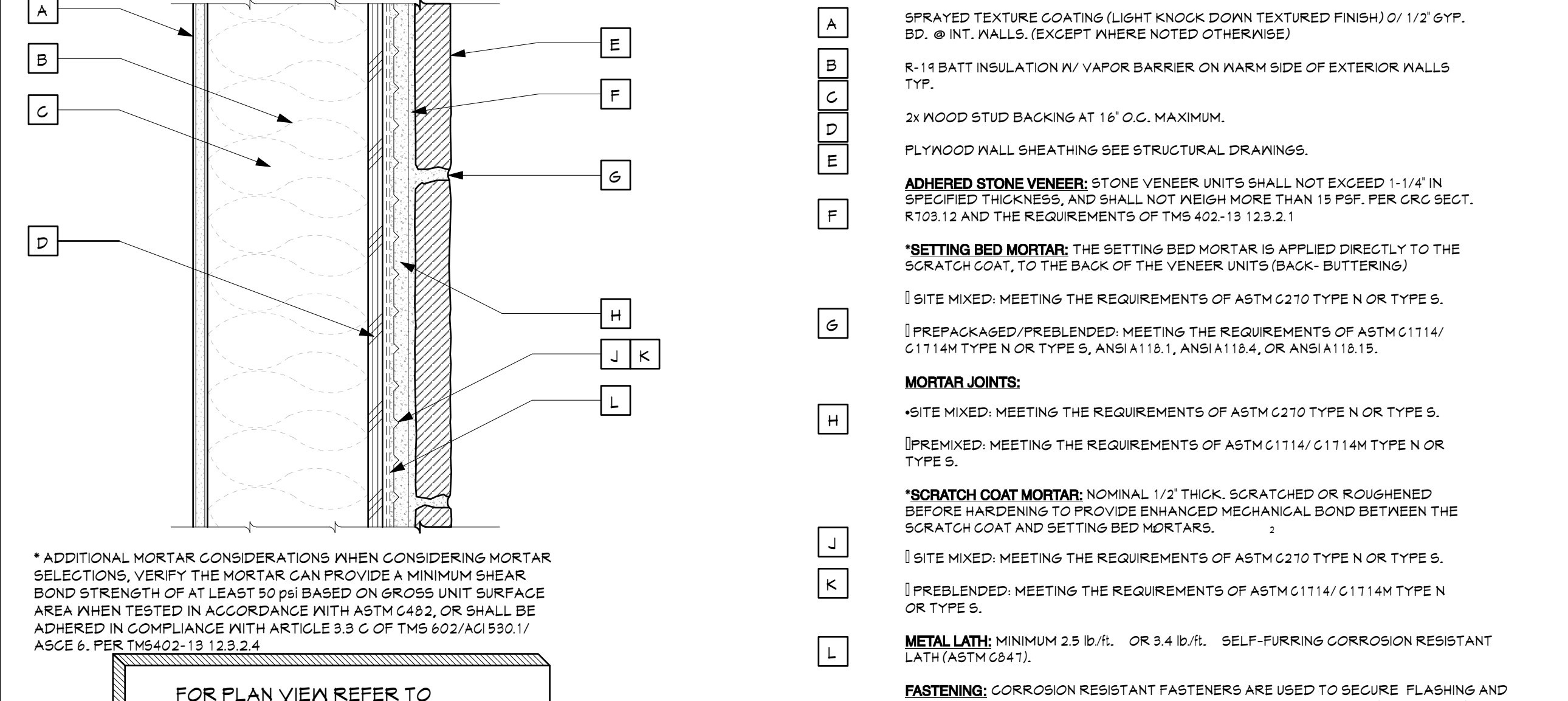
FIXED WDN. HEAD DTL. (AT ADHERED STONE VENEER)



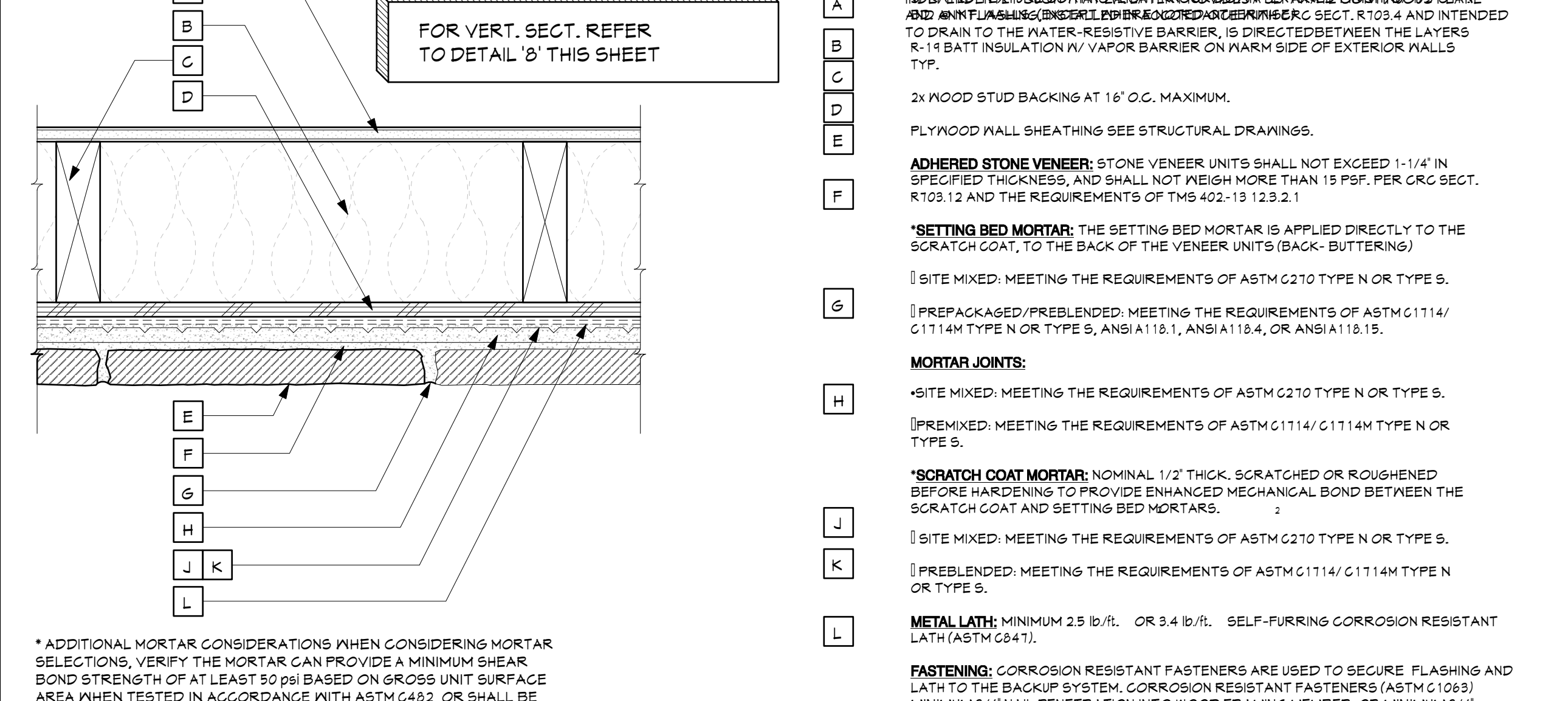
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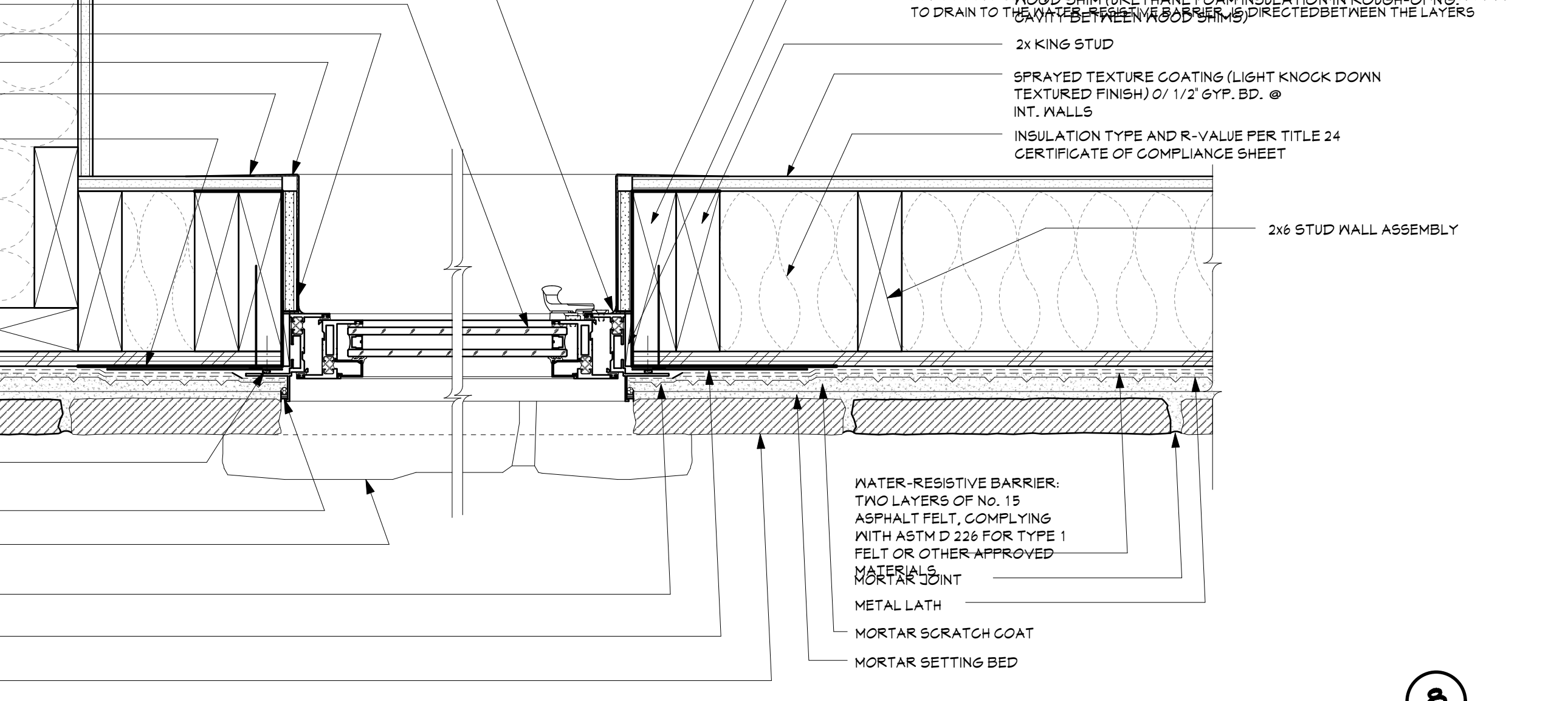
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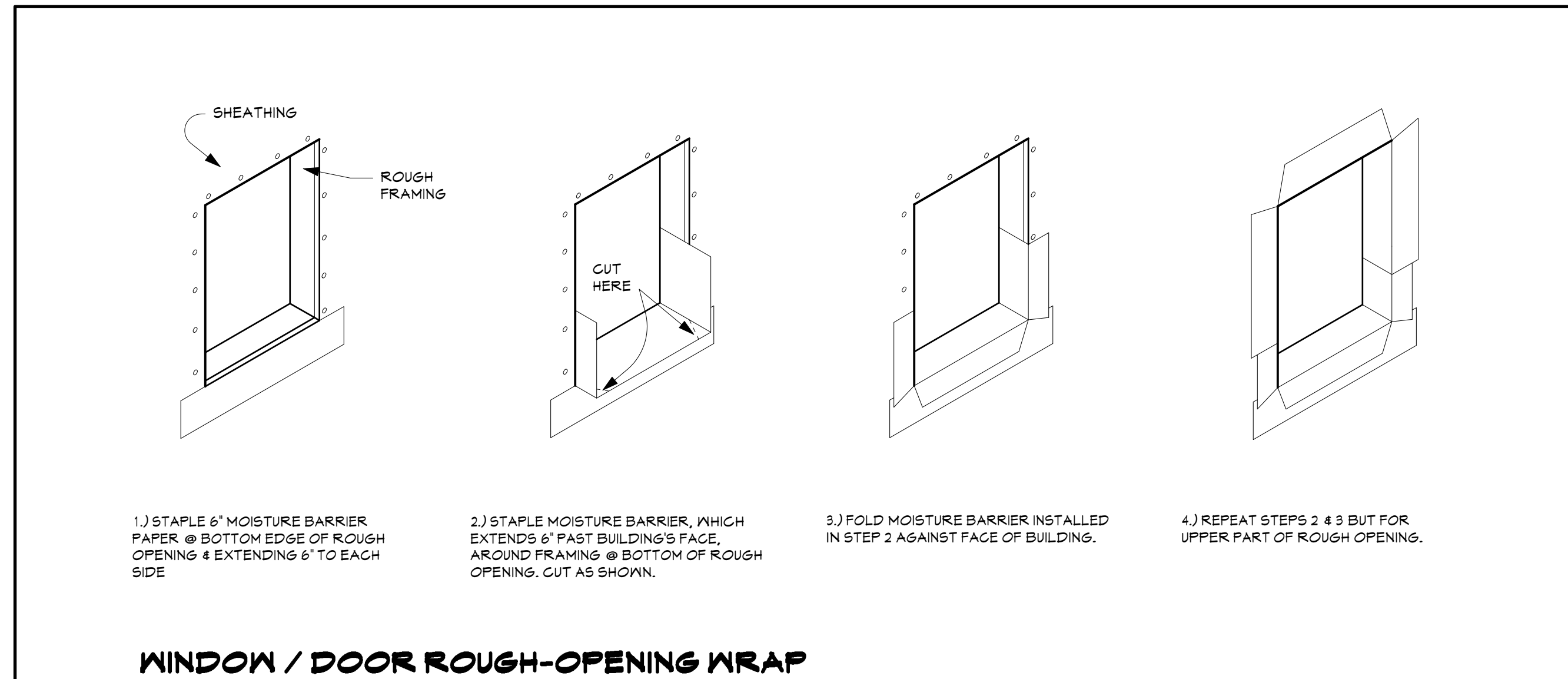
VERTICAL SECTION-ADHERED STONE VENEER AND ROUGH OPENING WITH STUDDING BACKING



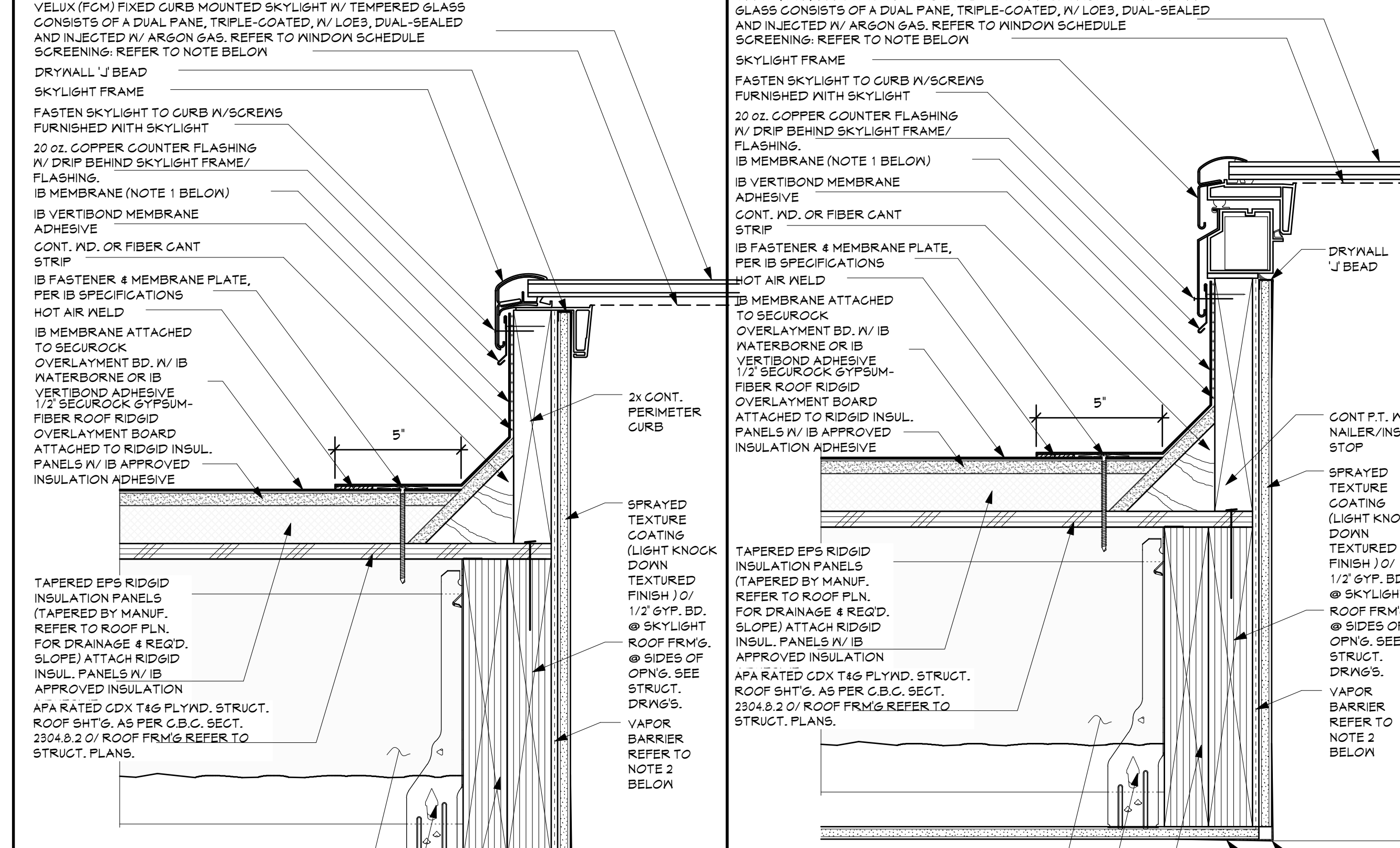
PLAN VIEW-ADHERED STONE VENEER ANCHORAGE DETAIL WITH STUDDING BACKING



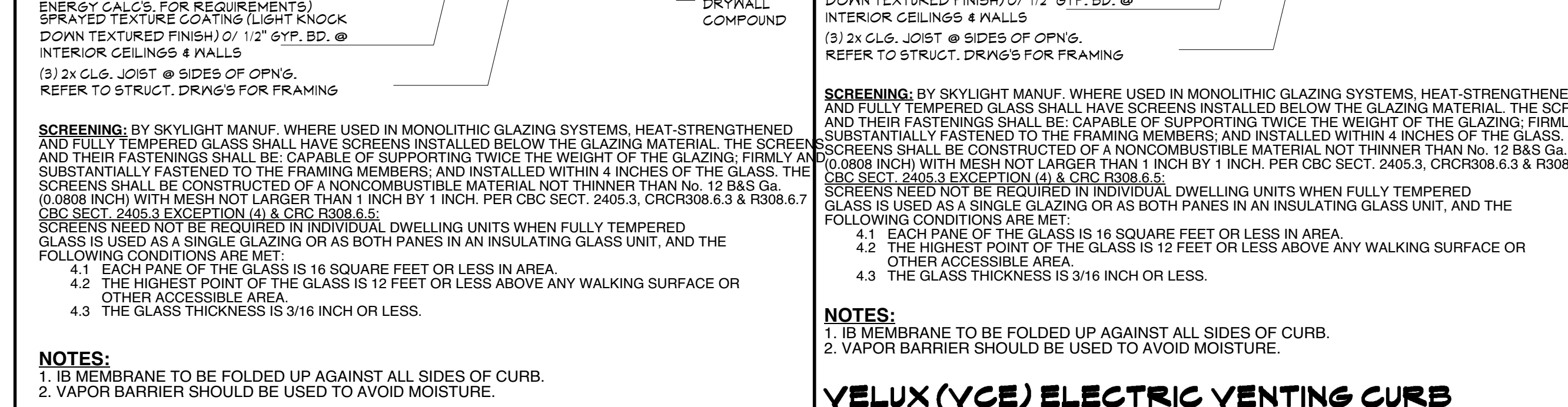
CASEMENT WDN. JAMB DTL. (AT ADHERED STONE VENEER)



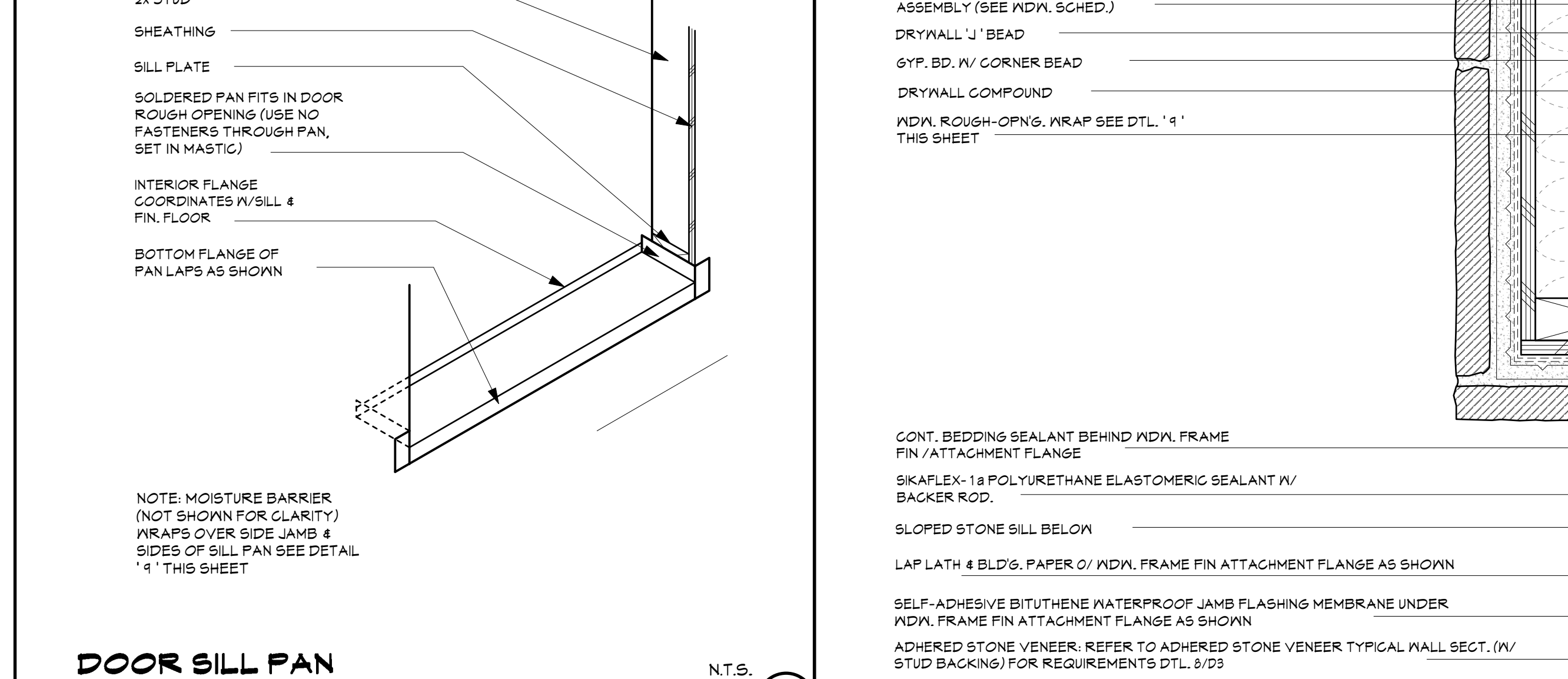
WINDOW / DOOR ROUGH-OPENING WRAP



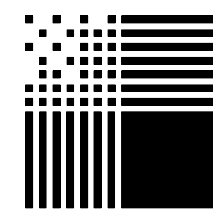
VELUX (VCE) ELECTRIC VENTING CURB MOUNTED SKYLIGHT / LIGHT SHAFT DTL.



VELUX (FCM) FIXED CURB MOUNT SKYLIGHT / LIGHT SHAFT DTL.



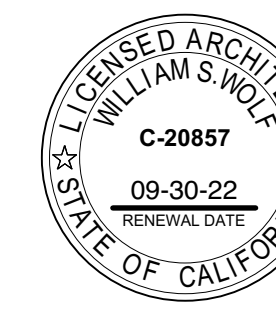
DOOR SILL PAN



PACIFIC ARCHITECTS

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8 0 5 5 6 5 3 6 4 0

616 SEA RANCH DRIVE
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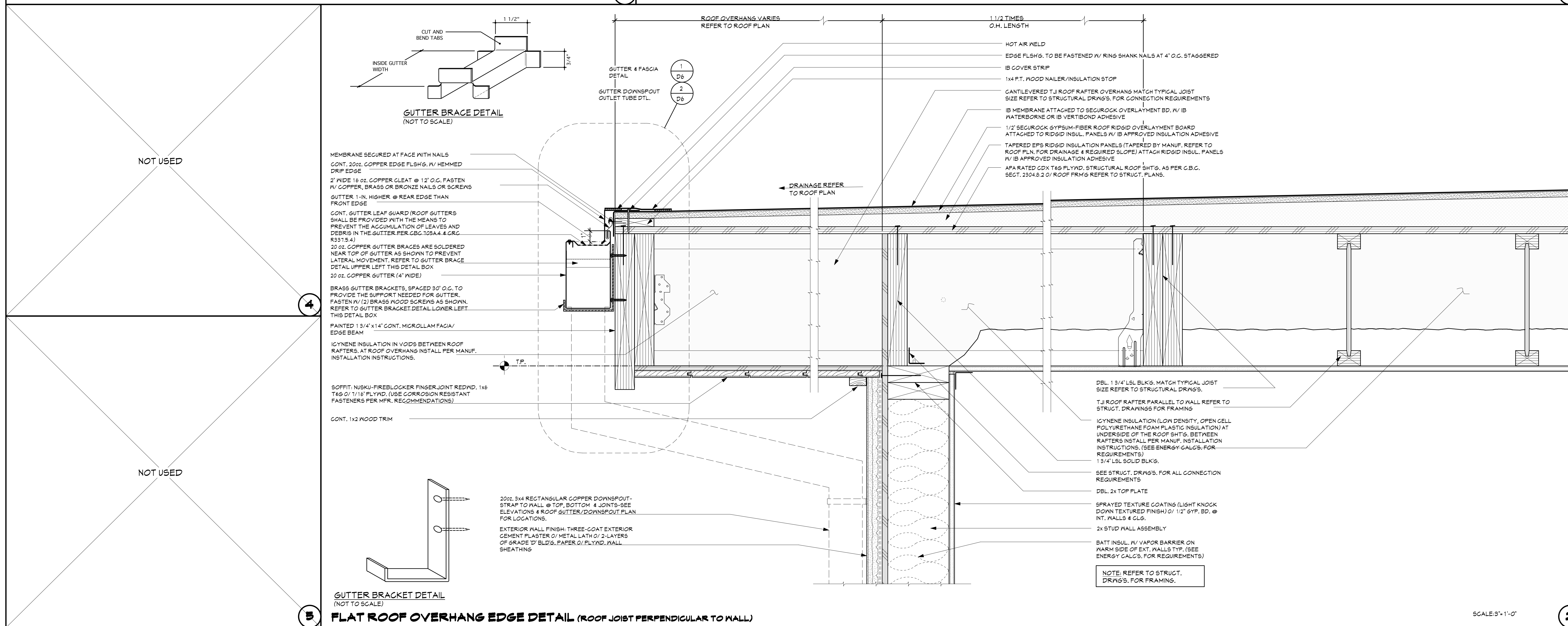
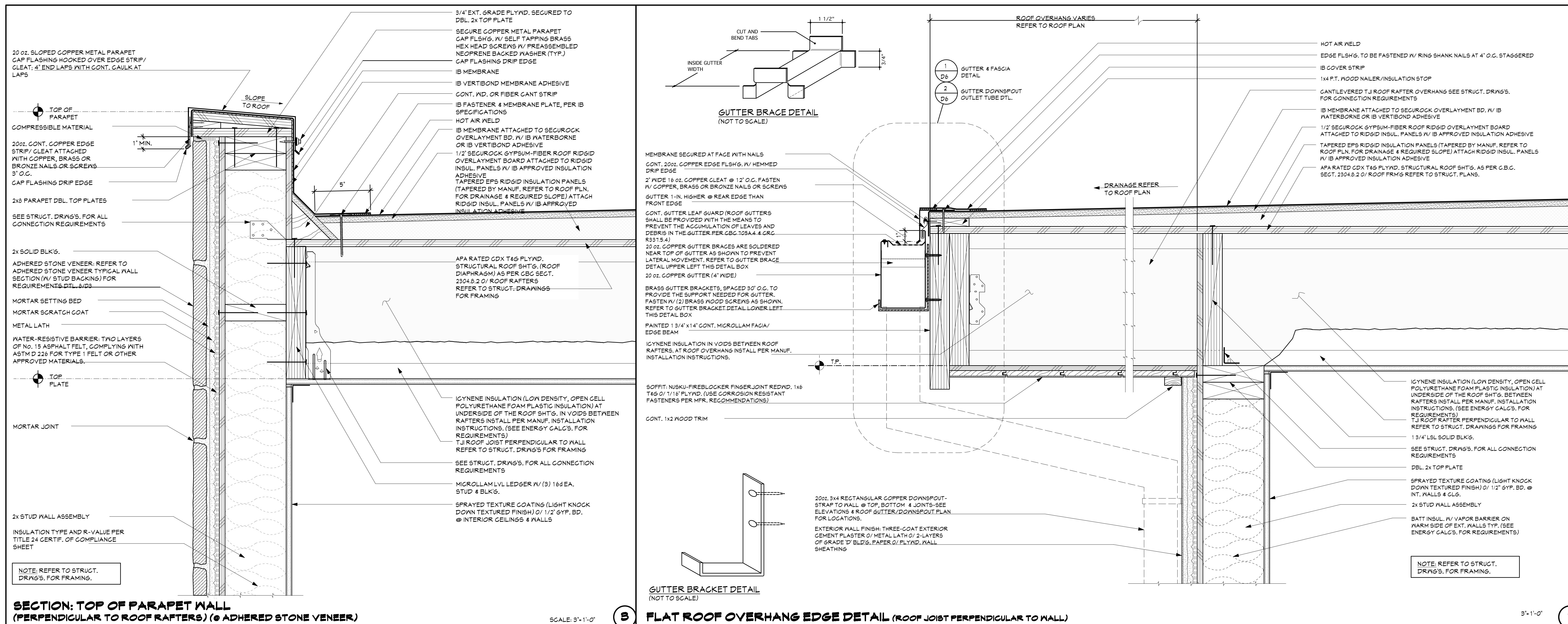
Revision Description Date

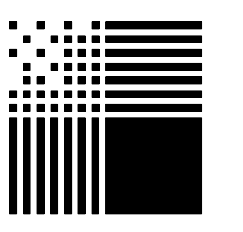
Job Number:

Date: 1.14.24

D4

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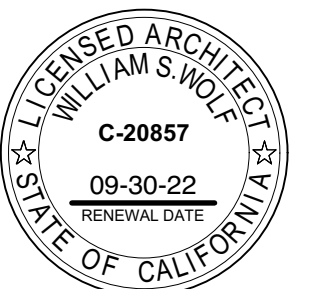




PACIFIC ARCHITECTS

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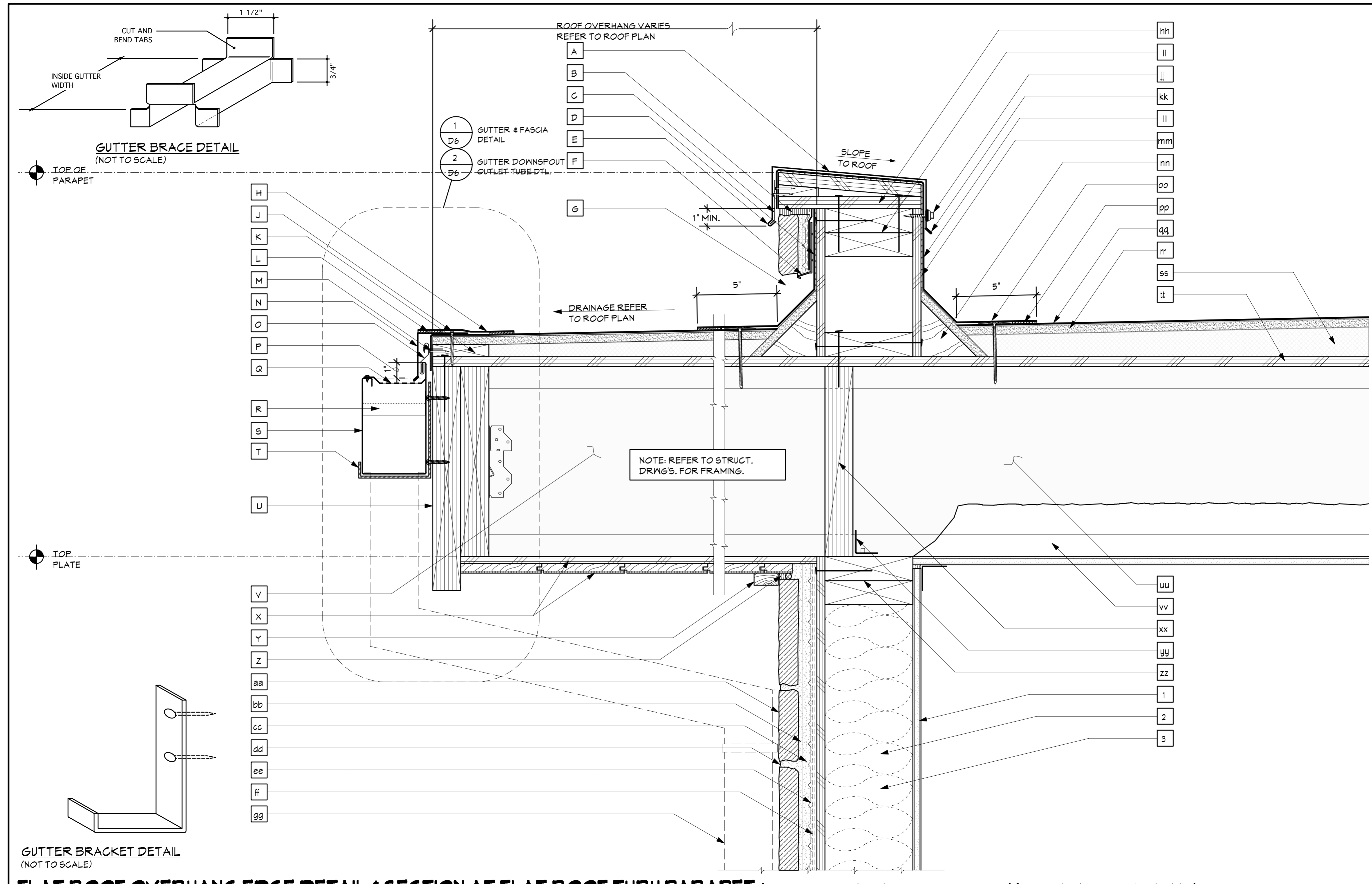
Revision	Description	Date

Job Number:

Date: 1.14.24

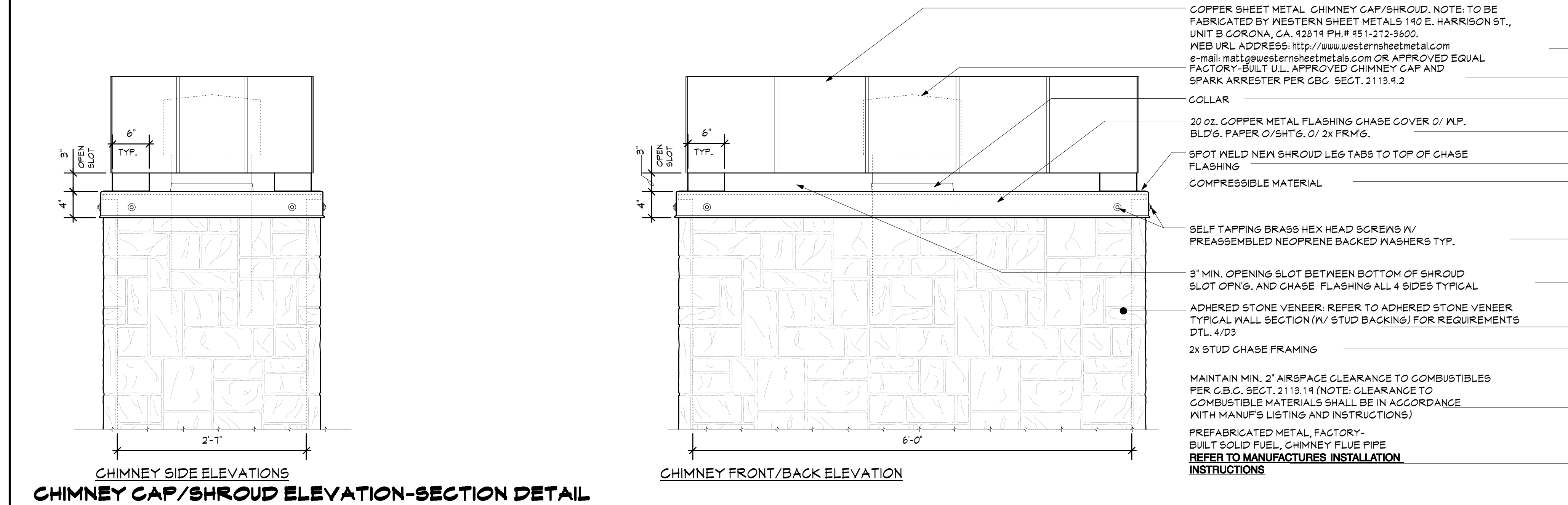
D5

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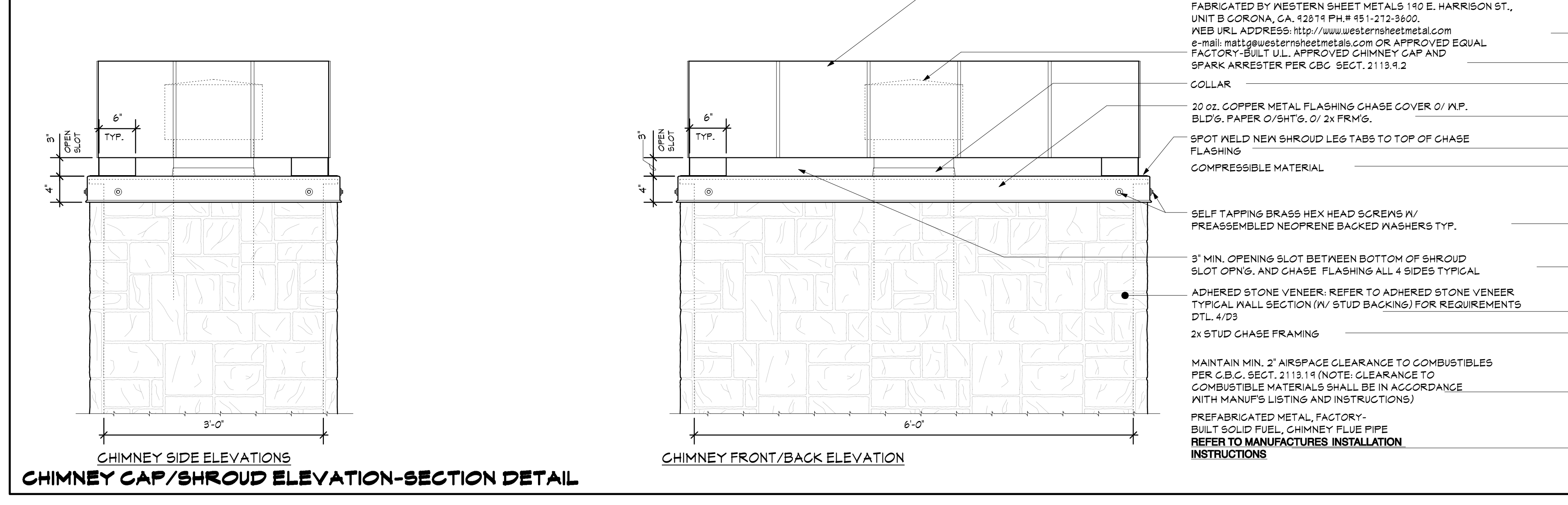
- GUARD KEYNOTES** ALPHABETIZED DENOTES
- A 20 OZ. SLOPED COPPER METAL PARAPET GAP FLASHING HOOKED OVER STRIP/GLEAT; 4" END LAPS WITH CONT. CAULK AT LAPS.
 - B COMPRESSIBLE MATERIAL.
 - C 200Z. CONT. COPPER EDGE STRIP/GLEAT ATTACHED WITH COPPER, BRASS OR BRONZE NAILS OR SCREWS 3" O.C.
 - D IB MEMBRANE WRAP UP WALL BEHIND KEEP/DRIP.
 - E CAP FLASHING DRIP EDGE.
 - F CORROSION RESISTANT KEEP/DRIP SCHEDULE.
 - G MAINTAIN GAP BETWEEN STONE VENEER & ROOFING AS SHOWN.
 - H IB COVER STRIP.
 - J EDGE FLSHG. TO BE FASTENED W/ RING SHANK NAILS AT 4" O.C. STAGGERED.
 - K 1x4 PT. WOOD NAILER/INSULATION STOP.
 - L HOT AIR WELD.
 - M MEMBRANE SECURED AT FACE WITH NAILS.
 - N CONT. 200Z. COPPER EDGE FLSHG. W/ HEMMED DRIP EDGE.
 - O 2" WIDE 16 OZ. COPPER GLEAT @ 12" O.C. FASTEN W/ COPPER, BRASS OR NAILS OR SCREWS.
 - P GUTTER 1-IN. HIGHER @ REAR EDGE THAN FRONT EDGE.
 - Q CONT. GUTTER LEAF GUARD (ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER PER CBC 103A.4 & CRC R937.5.4).
 - R 20 OZ. COPPER GUTTER BRACES ARE SOLDERED NEAR TOP OF GUTTER AS SHOWN TO PREVENT LATERAL MOVEMENT. REFER TO GUTTER BRACE DETAIL UPPER LEFT THIS SHEET.
 - S 20 OZ. COPPER GUTTER (4" WIDE).
 - T BRASS GUTTER BRACKETS, SPACED 30" O.C. TO PROVIDE THE SUPPORT NEEDED FOR GUTTER. FASTEN W/ (2) BRASS WOOD SCREWS AS SHOWN. REFER TO GUTTER BRACKET DETAIL LOWER LEFT THIS DETAIL BOX.
 - U PAINTED 1 3/4" x 1 1/4" CONT. MICROROLLM FACIA/EDGE BEAM.
 - V CYNENE INSULATION (LOW DENSITY, OPEN CELL POLYURETHANE FOAM LASTING INSULATION) AT UNDERSIDE OF THE ROOF SHITS. BETWEEN ROOF RAFTERS. AT ROOF OVERHANGS INSTALL PER MANUF. INSTALLATION INSTRUCTIONS.
 - X SOFFIT, NUSKI-FIREBLOCKER FINGER JOINT REDWD. 1x6 T&G @ 1/16" PLYWD. (USE CORROSION RESISTANT FASTENERS PER MFR. RECOMMENDATIONS).
 - Y CONT. 1x2 WOOD TRIM.
 - Z SIKAFLEX-18 POLYURETHANE ELASTOMERIC SEALANT W/ BACKER ROD.
 - aa ADHERED STONE VENEER. REFER TO ADHERED STONE VENEER TYPICAL SECTION (W/ STUD BACKING) FOR REQUIREMENTS DTL. 4/03.
 - bb MORTAR SETTING BED.
 - cc MORTAR SCRATCH COAT.
 - dd MORTAR JOINT.
 - ee METAL LATH.
 - ff WATER-RESISTIVE BARRIER: TWO LAYERS OF NO. 15 ASPHALT FELT, COMPLYING WITH ASTM D 226 FOR TYPE 1 FELT OR OTHER APPROVED MATERIALS.
 - gg 200Z. 3/4" RECTANGULAR COPPER DOWNSPOUT-STRAP TO WALL @ TOP. 4 JOINTS-SEE ELEVATIONS & ROOF GUTTER/DOWNSPOUT PLAN FOR LOCATIONS.
 - hh 3/4" EXT. GRADE PLYWD. SECURED TO DBL. 2x TOP PLATE.
 - ii 2x6 PARAPET DBL. TOP PLATES.
 - jj SECURE COPPER METAL PARAPET GAP FLSHG. W/ SELF TAPPING BRASS HEX HEAD SCREWS W/ PREASSEMBLED NEOPRENE BACKED WASHER (TYP.)

FLAT ROOF OVERHANG EDGE DETAIL & SECTION AT FLAT ROOF THRU PARAPET (ROOF JOIST PERPENDICULAR TO WALL) (6 ADHERED STONE VENEER)



- Hh 3/4" EXT. GRADE PLYWD. SECURED TO DBL. 2x TOP PLATE.
- ii 2x6 PARAPET DBL. TOP PLATES.
- jj SECURE COPPER METAL PARAPET GAP FLSHG. W/ SELF TAPPING BRASS HEX HEAD SCREWS W/ PREASSEMBLED NEOPRENE BACKED WASHER (TYP.)

CHIMNEY CAP/SHROUD ELEVATION-SECTION DETAIL



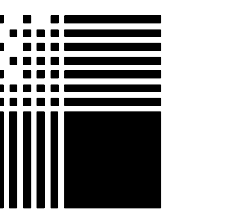
- Hh 3/4" EXT. GRADE PLYWD. SECURED TO DBL. 2x TOP PLATE.
- ii 2x6 PARAPET DBL. TOP PLATES.
- jj SECURE COPPER METAL PARAPET GAP FLSHG. W/ SELF TAPPING BRASS HEX HEAD SCREWS W/ PREASSEMBLED NEOPRENE BACKED WASHER (TYP.)

CHIMNEY CAP/SHROUD ELEVATION-SECTION DETAIL

SCALE: 3" = 1'-0"

SCALE: 1" = 1'-0"

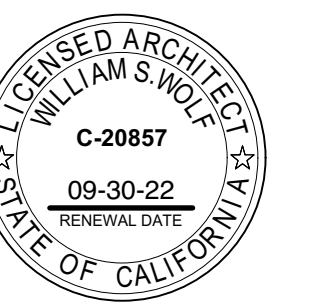
SCALE: 1" = 1'-0"



PACIFIC ARCHITECTS

1117 COAST VILLAGE RD.
MONTECITO, CA 93108
8 0 5 . 5 6 5 . 3 6 4 0

616 SEA RANCH DRIVE
SANTA BARBARA, CA



William Stoff

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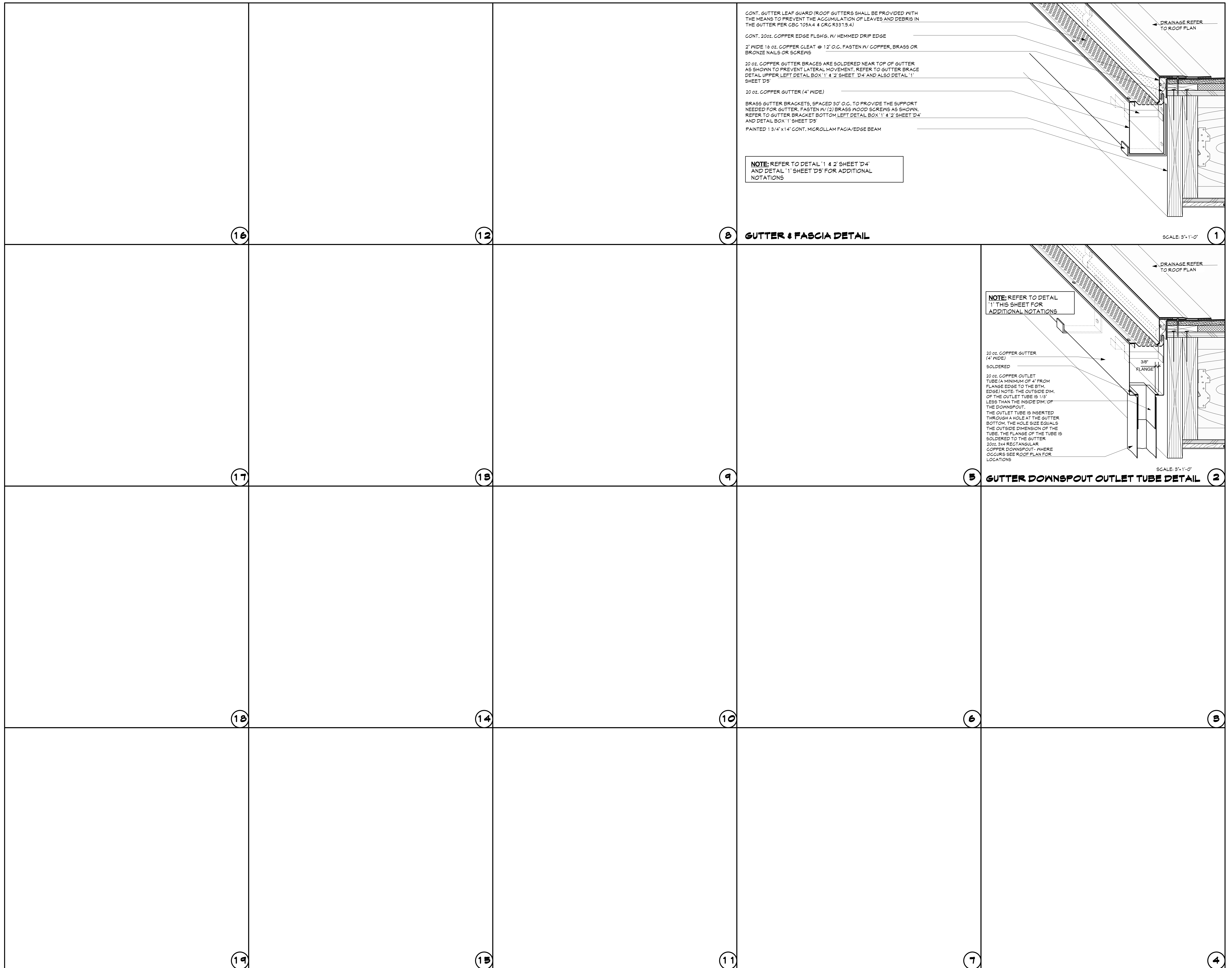
Revision Description Date

Job Number:

Date: 1.19.24

D6

Sheet of



16

12

8

17

13

9

18

14

10

19

15

11

1

2

6

7

1

2

3

4



5 APPROACHING RESIDENCE FROM DRIVEWAY



6 FRONT OF RESIDENCE/ NORTH ELEVATION



7 DRIVEWAY LOOKING WEST



8 DRIVEWAY ENTRY GATE



9 SOUTH ELEVATION



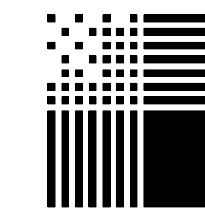
10 DRIVEWAY LOOKING WEST



11 SOUTHEAST ELEVATION



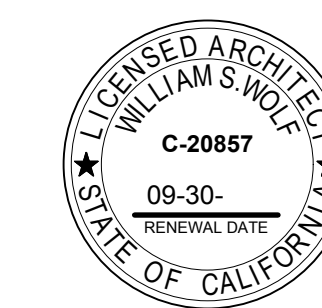
12 EAST ELEVATION



PACIFIC ARCHITECTS

1117 COAST VILLAGE RD.
MONTECITO, CA 93108
805.565.3640

616 SEA RANCH DRIVE
SANTA BARBARA, CA

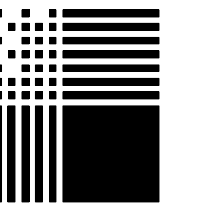


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Revision	Description	Date
△	--	--

Job Number:
Date: 01/25/24

P2



PACIFIC ARCHITECTS

1117 COAST VILLAGE RD.
MONTECITO, CA 93108
805.565.3640



13 SOUTH OF DRIVEWAY ENTRY



14 SOUTH OF DRIVEWAY ENTRY



15 SOUTH OF DRIVEWAY ENTRY



1a NORTH OF DRIVEWAY ENTRY



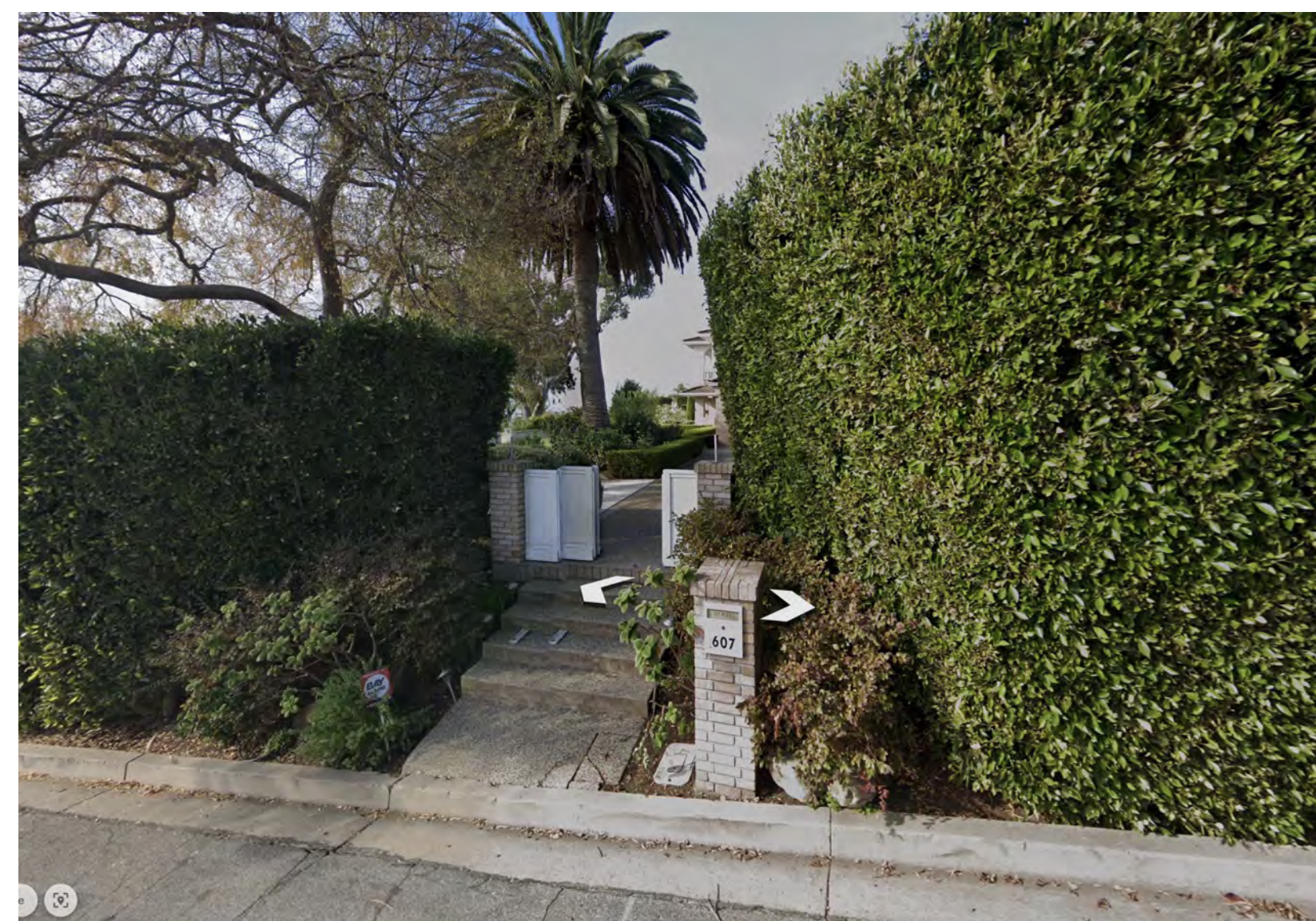
1b DRIVEWAY ENTRY NORTH



17 DRIVEWAY ENTRY NORTH



16 DRIVEWAY ENTRY SOUTH



22 ACROSS FROM DRIVEWAY

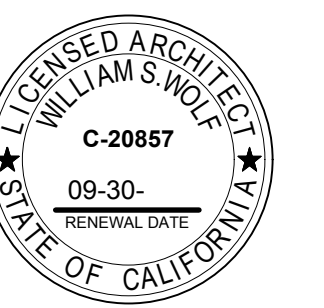


21 NEIGHBOR TO SOUTH WEST



20 NEIGHBOR TO NORTH WEST

616 SEA RANCH DRIVE
SANTA BARBARA, CA



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Revision	Description	Date
△	--	--

Job Number: _____
Date: 01/25/24

P3

GRADING & DRAINAGE PLAN ARKLEY / FIELDS RESIDENCE at

616 SEA RANCH DRIVE, SANTA BARBARA CA



92 Second Street, Suite F
Buellton, CA 93427
Phone: (805) 688-5429
Fax: (805) 688-7239

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ABBREVIATIONS

BR	BOTTOM RISER
CL	CENTER LINE
CMU	CONCRETE MASONRY UNIT
CN	CLEANOUT
CO	DOWN SPOUT
DI	DROP INLET
DS	CONCRETE
EG	EXISTING GROUND
EX	EXISTING
FCN	FINISHED CONCRETE
FD	FRENCH DRAIN
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
FS	FINISH SURFACE
GB	GRADE BREAK
GM	GAS METER
H	RETAINING WALL HEIGHT
HPT	HINGE POINT
HP	HIGH POINT
INV	INVERT ELEVATION
LP	LOW POINT
MAX	MAXIMUM
MIN	MINIMUM
N	NEW
OC	ON CENTER
PL	PROPERTY LINE
PP	POWER POLE
PROP	PROPOSED
RR	REMOVE & RECOMPACT
ROW	RIGHT OF WAY
SB	SET BACK
SD	STORM DRAIN
TB	TRUST BLOCK
TBR	TO BE REMOVED
TC	TOP OF CURB
TG	TOP OF GRATE
TR	TOP RISER
TW	TOP OF WALL
TYP	TYPICAL
UD	UNDERGROUND DRAIN
VAL	VALVE
WM	WATER METER

PROJECT CONSULTANTS

ARCHITECT

PACIFIC ARCHITECTS
1117 COAST VILLAGE ROAD
MONTECITO, CA 93108

CIVIL ENGINEER

BRAUN & ASSOCIATES
P.O. BOX 2004
BUELLTON, CA 93427

GEOTECHNICAL ENGINEER

BRAUN & ASSOCIATES
P.O. BOX 2004
BUELLTON, CA 93427

SURVEYOR

PROBER LAND SURVEYING
645 FLORA VISTA DRIVE
SANTA BARBARA, CA 93109

Step 1: Project Data Form

Complete all fields.

Project Name / Case File Number	SEA RANCH RESIDENCE
Application Submittal Date [to be verified by municipal staff]	6/8/2024
Project Location [Street Address if available, or intersection and/or APN]	616 SEA RANCH DRIVE SANTA BARBARA, CA
Name of Owner or Developer	ARKLEY / FIELDS
Project Type and Description [Examples: "Single Family Residence," "Parking Lot Addition," "Retail and Parking"]	GRADING, DRAINAGE AND RETAINING WALLS FOR RE-DEVELOPING AN ALREADY DEVELOPED LOT
Total Project Site Area (acres)	2.0 AC
Total New Impervious Surface Area (square feet) [Sum of currently pervious areas that will be covered with new impervious surfaces]	4,610 SF
Total Replaced Impervious Surface Area [Sum of currently impervious areas that will be covered with new impervious surfaces.]	5,543 SF
Total Pre-Project Impervious Surface Area	8,965 SF
Total Post-Project Impervious Surface Area	10,153 SF
Runoff Reduction Measure(s) Selected (Check one or more)	<input checked="" type="checkbox"/> 1. Disperse runoff from roofs or pavement to vegetated area <input checked="" type="checkbox"/> 2. Permeable pavement <input checked="" type="checkbox"/> 3. Cisterns or Rain Barrels <input checked="" type="checkbox"/> 4. Bioretention Facility or Planter Box

Tier 1 SCP Template February 2014

Page 2 of 9

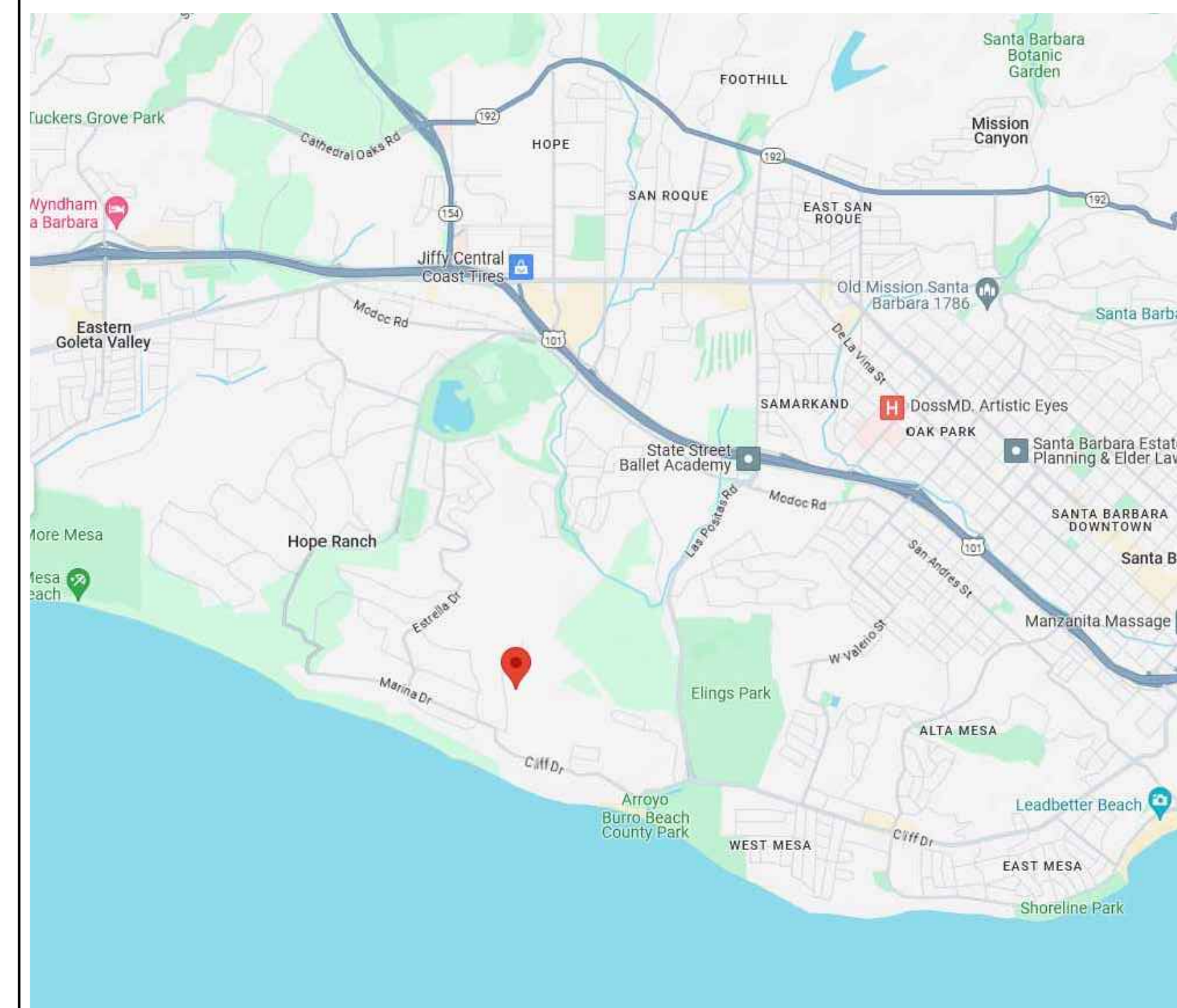
Stormwater Technical Guide

GENERAL NOTES

- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE COUNTY OF SANTA BARBARA STANDARD REQUIREMENTS FOR THE DESIGN AND CONSTRUCTION OF SUBDIVISIONS AND SPECIAL DEVELOPMENTS, AS APPLICABLE.
- APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A GRADING PERMIT AND AN ENCROACHMENT PERMIT FROM THE COUNTY ENGINEERING DIVISION PRIOR TO ANY CONSTRUCTION ACTIVITY.
- TRAFFIC CONTROL SHALL BE MAINTAINED IN CONFORMANCE WITH THE CURRENT WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH) PUBLISHED BY BUILDING NEWS, INC. 3055 OVERLAND AVENUE, LOS ANGELES, CA 90034, (213) 202-7775.
- ALL SITE WORK IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPROVED PLANS. ANY DEVIATION FROM APPROVED PLANS WILL REQUIRE PRIOR APPROVAL FROM THE OWNER, THE PROJECT ENGINEER, THE COUNTY ENGINEER, AND OTHER APPROPRIATE PUBLIC AGENCIES.
- ALL LOCATIONS OF EXISTING UTILITIES SHOWN HEREIN HAVE BEEN ESTABLISHED BY FIELD SURVEY, OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREON WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN. THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) (1-800-227-2600) AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL KEEP ON-SITE AND OFF-SITE STREETS CLEAN AT ALL TIMES BY CLEANING WITH A COMBINATION SWEEPING AND VACUUM TRUCK.

SHEET INDEX

SHEET NO.	SHEET TITLE	REMARKS
1	C-0.0	COVER SHEET
2	C-0.1	GENERAL NOTES
3	C-1	GRADING PLAN
4	C-2	SITE SECTIONS AND DETAILS
5	C-3	DRAINAGE PLAN
6	C-4	HYDROLOGY TOTALS
7	C-5	INFILTRATOR DETAILS
8	C-6	EROSION CONTROL PLAN
9	C-7	EROSION CONTROL BMP'S
10	C-8	SITE SURVEY
10	TOTAL SHEETS	



VICINITY MAP
NTS

SOIL TESTING REQUIREMENTS

NOTES:

- ON SITE TECHNICIAN WILL BE PROVIDED FOR MONITORING FOR 75% TIME OF THE GRADING ACTIVITY.
- CONFIRM COMPACTION OF 90% - 95% MAXIMUM DENSITY ASTM D-1557 CURRENT EDITION.
- PROVIDE 1 TEST FOR EACH 500 CY OF FILL TO BE PLACED.
- PERIODIC AND CONTINUOUS INSPECTIONS WILL BE REQUIRED FOR KEYWAY, BENCHES AND FILL BY SOILS ENGINEER, GEOTECHNICAL ENGINEER OR GEOLOGIST OF RECORD.

STORM WATER MANAGEMENT

STORM WATER RUNOFF IS TO BE CAPTURED INTO STORM DRAIN SYSTEM, DIRECTED AWAY FROM STRUCTURES AND DISCHARGED INTO INFILTRATION CHAMBERS. OVERFLOW IS TO STREET WHERE POSSIBLE AND BIO-SWALE DISPERSION TRENCH TO HISTORIC WATERSHED WHERE NOT POSSIBLE.

WATER QUALITY ENHANCEMENT IS VIA INFILTRATION CHAMBERS AND MULCH AND SAND MEDIA FILTRATION IN PROPOSED BIO-SWALE.

INFILTRATION IS TO BE ACHIEVED BY UTILIZING INFILTRATION CHAMBERS.

IMPERMEABLE SURFACES ARE TO BE MINIMIZED WHEREVER POSSIBLE.

FINISH GRADES AROUND ALL STRUCTURES ARE TO BE A MINIMUM OF 8" BELOW WOOD-FRAMING AND SLOPE AWAY FROM STRUCTURES AT 5% FOR A MINIMUM OF 100' (8" DROP) AT SOIL CONDITIONS AND 2" BELOW AND 2% SLOPE AWAY FROM STRUCTURE AT PAVED CONDITIONS.

OVERFLOW RUNOFF IS TO BE DIRECTED TO PUBLIC STREET WHERE FEASIBLE AND TO HISTORICAL PATH WHERE NOT FEASIBLE.

CITY OF SANTA BARBARA GRADING NOTES

- ALL GRADING AND EROSION CONTROL SHALL CONFORM THE PROJECT CONDITIONS OF APPROVAL AND SHALL BE PERFORMED IN ACCORDANCE WITH THESE APPROVED PLANS AND THE APPLICABLE PROVISIONS OF CHAPTER 22.04 OF THE CITY OF SANTA BARBARA MUNICIPAL CODE. ANY DEVIATION FROM THESE PLANS WILL REQUIRE THE PRIOR APPROVAL FROM THE OWNER, THE CITY BUILDING OFFICIAL, THE CIVIL ENGINEER AND OTHER APPROPRIATE PUBLIC AGENCIES.
- ALL GRADING SHALL ALSO BE IN CONFORMANCE WITH THE SPECIFIC RECOMMENDATIONS AND STANDARD GRADING SPECIFICATIONS CONTAINED IN THE SOILS ENGINEERING REPORT REFERENCED BELOW.
REF: NO. 1380 PREPARED BY BRAUN AND ASSOCIATES INC. DATED: OCTOBER 5, 2022
SIGNED BY: MARK D. BRAUN, GE 2013
MAILING ADDRESS: P.O. BOX 2004, BUELLTON, CA 93427. PHONE NUMBER: (805) 688-5429
- GRADING SHALL ALSO BE IN CONFORMANCE WITH RECOMMENDATIONS MADE BY THE SOILS ENGINEER DURING OBSERVATION AND TESTING OF SITE PREPARATION, GRADING AND DEVELOPMENT WORK.
- GRADING SHALL NOT COMMENCE PRIOR TO THE ISSUANCE OF A GRADING PERMIT BY THE CITY BUILDING OFFICIAL.
- ALL GRADING SHALL BE OBSERVED AND TESTED FOR COMPLIANCE WITH APPLICABLE PLANS AND CITY REQUIREMENTS BY THE SOILS ENGINEER WITH INTERM AND FINAL COMPLIANCE REPORTS FURNISHED TO THE CITY BUILDING OFFICIAL, THE OWNER, THE CIVIL ENGINEER, AND THE CONTRACTOR.
- ALL GRADING SHALL BE SUBJECT TO INSPECTION BY THE CITY BUILDING OFFICIAL.
- CONTINUOUS DUST CONTROL SHALL BE CONDUCTED AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY ALL LABOR, EQUIPMENT, AND METHODS REQUIRED TO PREVENT GRADING OPERATIONS FROM PRODUCING DUST IN AMOUNTS DAMAGING TO ADJACENT PROPERTY, CULTIVATED VEGETATION, AND DOMESTIC ANIMALS OR CAUSING A NUISANCE TO PERSONS OCCUPYING BUILDINGS IN THE VICINITY OF THE JOB SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE CAUSED BY DUST FROM GRADING OPERATIONS.
- A THOROUGH SEARCH SHALL BE MADE FOR ALL ABANDONED MAN-MADE FACILITIES SUCH AS SEPTIC TANK SYSTEMS, WATER STORAGE TANKS, PIPELINES, OR CONDUITS. ANY SUCH FACILITIES SHALL BE REMOVED AND THE DEPRESSION PROPERLY BACKFILLED AND COMPACTED UNDER THE OBSERVATION OF THE GEOTECHNICAL ENGINEER.
- CONSTRUCTION (INCLUDING PREPARATION FOR CONSTRUCTION WORK) IS PROHIBITED MONDAY THROUGH FRIDAY BEFORE 8:00 AM AND AFTER 5:00 PM, AND ALL DAY ON SATURDAYS, SUNDAYS, AND CITY HOLIDAYS, UNLESS SPECIFICALLY APPROVED BY THE CITY.
- THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (U.S.A.) AT LEAST TWO WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION AT 1-800-422-4133. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY THE EXACT LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.

EARTHWORK QUANTITIES

CUT	960 C.Y.
FILL	890 C.Y.
EXPORT	70 C.Y.
OVER-EXCAVATION	6,700 C.Y.
ESTIMATED AREA OF DISTURBANCE	32,500 s.f.

NOTE: THE ABOVE QUANTITIES ARE FOR PLANNING PURPOSES ONLY. SHRINKAGE, CONSOLIDATION AND SUBSIDENCE FACTORS, LOSSES DUE TO FOUNDATIONS ARE NOT INCLUDED. ESTIMATED EARTHWORK QUANTITIES ARE BASED ON THE APPROXIMATE DIFFERENCE BETWEEN EXISTING GRADES AND PROPOSED FINISHED GRADES OR PAVEMENT SUB-GRADES, AS INDICATED ON THE PLANS AND SHOULD VARY ACCORDING TO THESE FACTORS AND LOSSES. THE CONTRACTOR SHALL PERFORM AN EARTHWORK ESTIMATE FOR THE PURPOSE OF PREPARING A LUMP SUM BID PRICE FOR EARTHWORK. THE BID PRICE SHALL INCLUDE COSTS FOR ANY NECESSARY IMPORT AND PLACEMENT OF EARTH MATERIALS OR THE EXPORT AND PROPER DISPOSAL OF EXCESS EARTH MATERIALS.

CONST. SITE BEST MANAGEMENT PRACTICES

- BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES:
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND.
 - STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER, FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE TRANSPORTED WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS.
 - ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
 - EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS, SUCH AS CONCRETE WASHOUT BASINS, MUST BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE. CONTRACTOR TO DESIGNATE THE LOCATION OF THE BASIN.
 - TRASH AND CONSTRUCTION RELATED SOLID WASTE MUST BE DEPOSITED INTO A COVERED WASTE RECEPTACLE TO PREVENT CONTAMINATION OF RANRWATER AND DISPERSAL BY WIND.
 - SEDIMENTS AND OTHER MATERIAL MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITION MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
 - ANY SLOPES WITH DISTURBED SOILS OR DENuded OF VEGETATION MUST BE STABILIZED SO AS TO MINIMIZE EROSION BY WIND AND WATER.



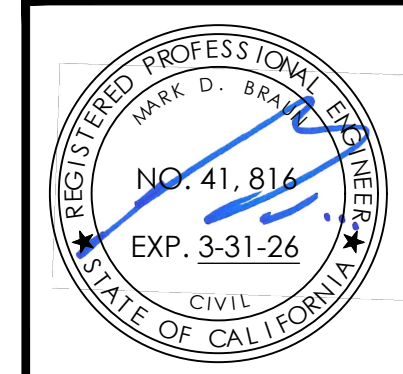
PROJECT OWNER: ARKLEY/FIELDS RESIDENCE
PROJECT ADDRESS: 616 SEA RANCH DRIVE
SANTA BARBARA, CA 93105
PROJECT TYPE: Grading

Date:	6-10-24	Drawnman:	SH
WO#:	3380	Engineer:	M.D.B.
Symbol	Date	Description	

SECTION/DTLS

SHEET #

C0.0



92 Second Street, Suite F
Buellton, CA 93427
Phone: (805) 688-5429
Fax: (805) 688-7239

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734 SEA RANCH DRIVE
APN 047-014-005

CRC-R403 SETBACK FROM ASCENDING SLOPE:
PER CRC SECTION R403.1.7.4, ALTERNATE SETBACK
CLEARANCES PER CIVIL ENGINEER. RETAINING WALL
HAS BEEN DESIGNED WITH 1.5H FREEBOARD AS
DEBRIS CATCHMENT IN LIEU OF H3 SETBACK TO
ASCENDING SLOPE.

626 SEA RANCH DRIVE
APN 047-014-003

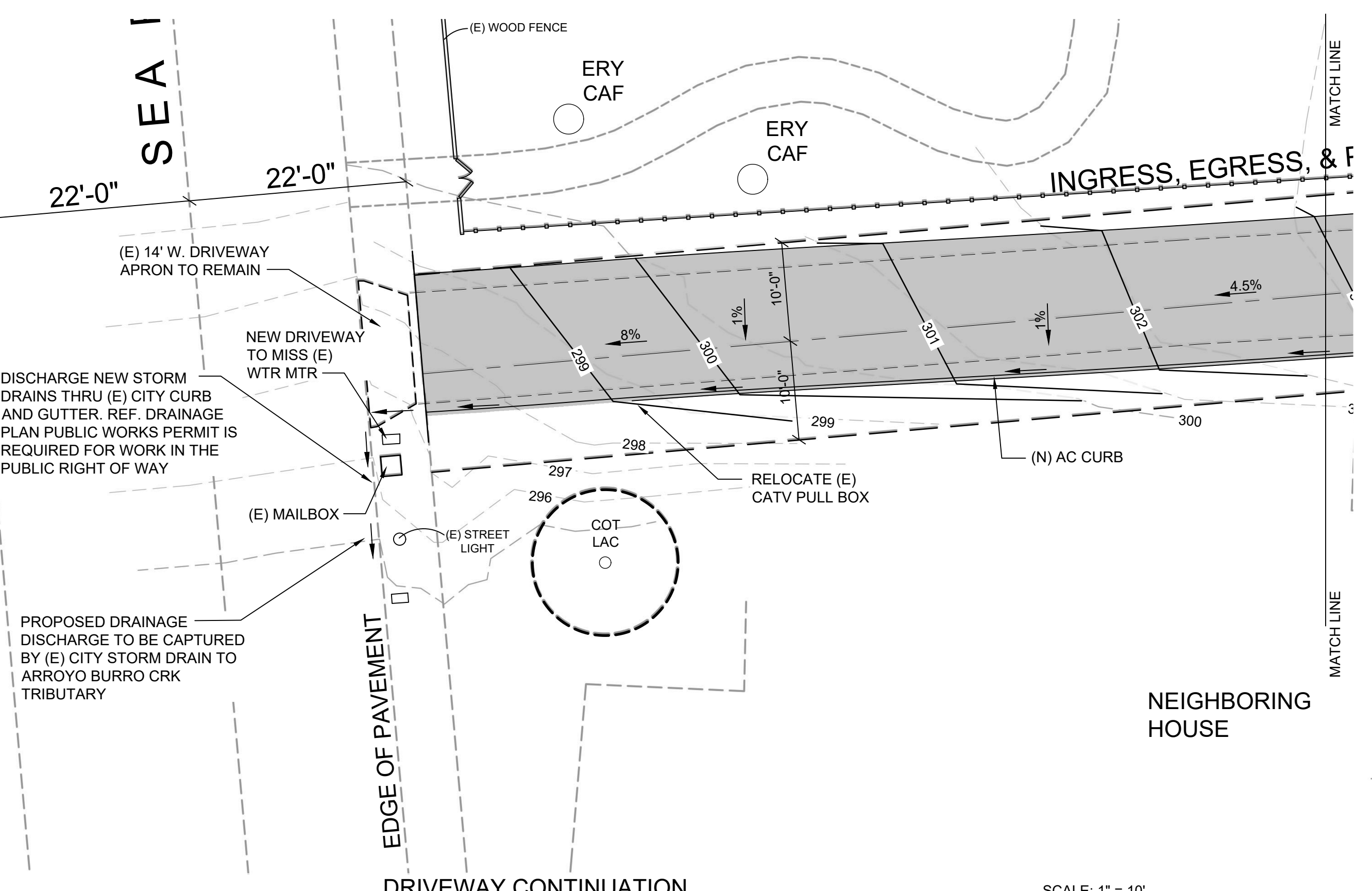
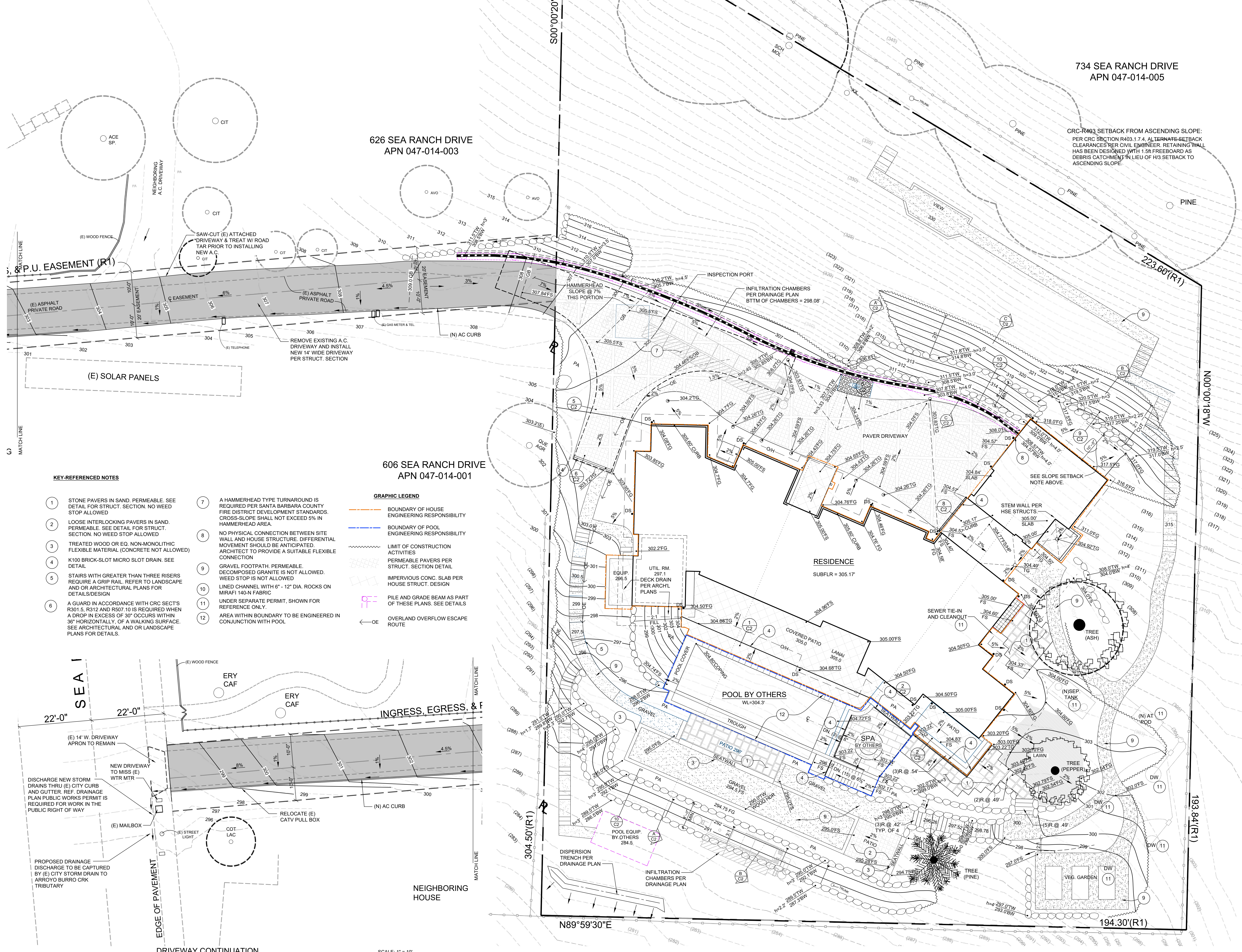
606 SEA RANCH DRIVE
APN 047-014-001

KEY-REFERENCED NOTES

- 1 STONE PAVERS IN SAND, PERMEABLE. SEE DETAIL FOR STRUCT. SECTION. NO WEED STOP ALLOWED
- 2 LOOSE INTERLOCKING PAVERS IN SAND, PERMEABLE. SEE DETAIL FOR STRUCT. SECTION. NO WEED STOP ALLOWED
- 3 TREATED WOOD OR EQ. NON-MONOLITHIC FLEXIBLE MATERIAL (CONCRETE NOT ALLOWED)
- 4 K100 BRICK-SLOT MICRO SLOT DRAIN. SEE DETAIL
- 5 STAIRS WITH GREATER THAN THREE RISERS REQUIRE A GRIP RAIL. REFER TO LANDSCAPE AND/OR ARCHITECTURAL PLANS FOR DETAILS/DESIGN
- 6 A GUARD IN ACCORDANCE WITH CRC SECTS R301.5, R312 AND R507.10 IS REQUIRED WHEN A DROP IN EXCESS OF 30" OCCURS WITHIN 36" HORIZONTALLY, OF A WALKING SURFACE. SEE ARCHITECTURAL AND/OR LANDSCAPE PLANS FOR DETAILS.
- 7 A HAMMERHEAD TYPE TURNAROUND IS REQUIRED PER SANTA BARBARA COUNTY FIRE DISTRICT DEVELOPMENT STANDARDS. CROSS-SLOPE SHALL NOT EXCEED 5% IN HAMMERHEAD AREA.
- 8 NO PHYSICAL CONNECTION BETWEEN SITE WALL AND HOUSE STRUCTURE. DIFFERENTIAL MOVEMENT SHOULD BE ANTICIPATED. ARCHITECT TO PROVIDE A SUITABLE FLEXIBLE CONNECTION
- 9 GRAVEL FOOTPATH, PERMEABLE. DECOMPOSED GRANITE IS NOT ALLOWED. WEED STOP IS NOT ALLOWED
- 10 LINED CHANNEL WITH 6" - 12" DIA. ROCKS ON MIRAFI 140-N FABRIC
- 11 UNDER SEPARATE PERMIT, SHOWN FOR REFERENCE ONLY.
- 12 AREA WITHIN BOUNDARY TO BE ENGINEERED IN CONJUNCTION WITH POOL

GRAPHIC LEGEND

- BOUNDARY OF HOUSE ENGINEERING RESPONSIBILITY
- BOUNDARY OF POOL ENGINEERING RESPONSIBILITY
- LIMIT OF CONSTRUCTION ACTIVITIES
- PERMEABLE PAVERS PER STRUCT. SECTION DETAIL
- IMPERVIOUS CONC. SLAB PER HOUSE STRUCT. DESIGN
- PILE AND GRADE BEAM AS PART OF THESE PLANS. SEE DETAILS
- OVERLAND OVERFLOW ESCAPE ROUTE



GRADING AND DRAINAGE PLAN

SCALE: 1" = 10'

PROJECT OWNER: ARKLEY/FIELDS RESIDENCE

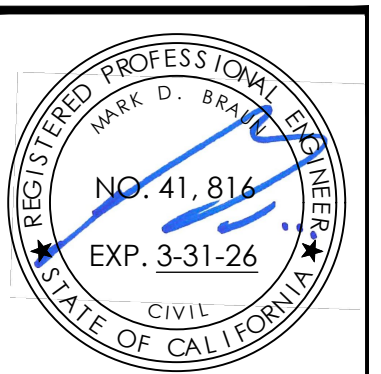
PROJECT ADDRESS: 616 SEA RANCH ROAD
SANTA BARBARA, CA 93105

PROJECT TYPE: Grading

Date	WO#	Symbol	Date	Description
6-10-24	3380			

GRADING PLAN

SHEET #
C-1



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PROJECT OWNER: ARKLEY/FIELDS RESIDENCE

PROJECT ADDRESS: 616 SEA RANCH ROAD
SANTA BARBARA, CA 93105

PROJECT TYPE: Grading

Date: 6-10-24
WOF: 3380
Symbol: Date

Draftsman: S.B.H.
Engineer: M.D.B.

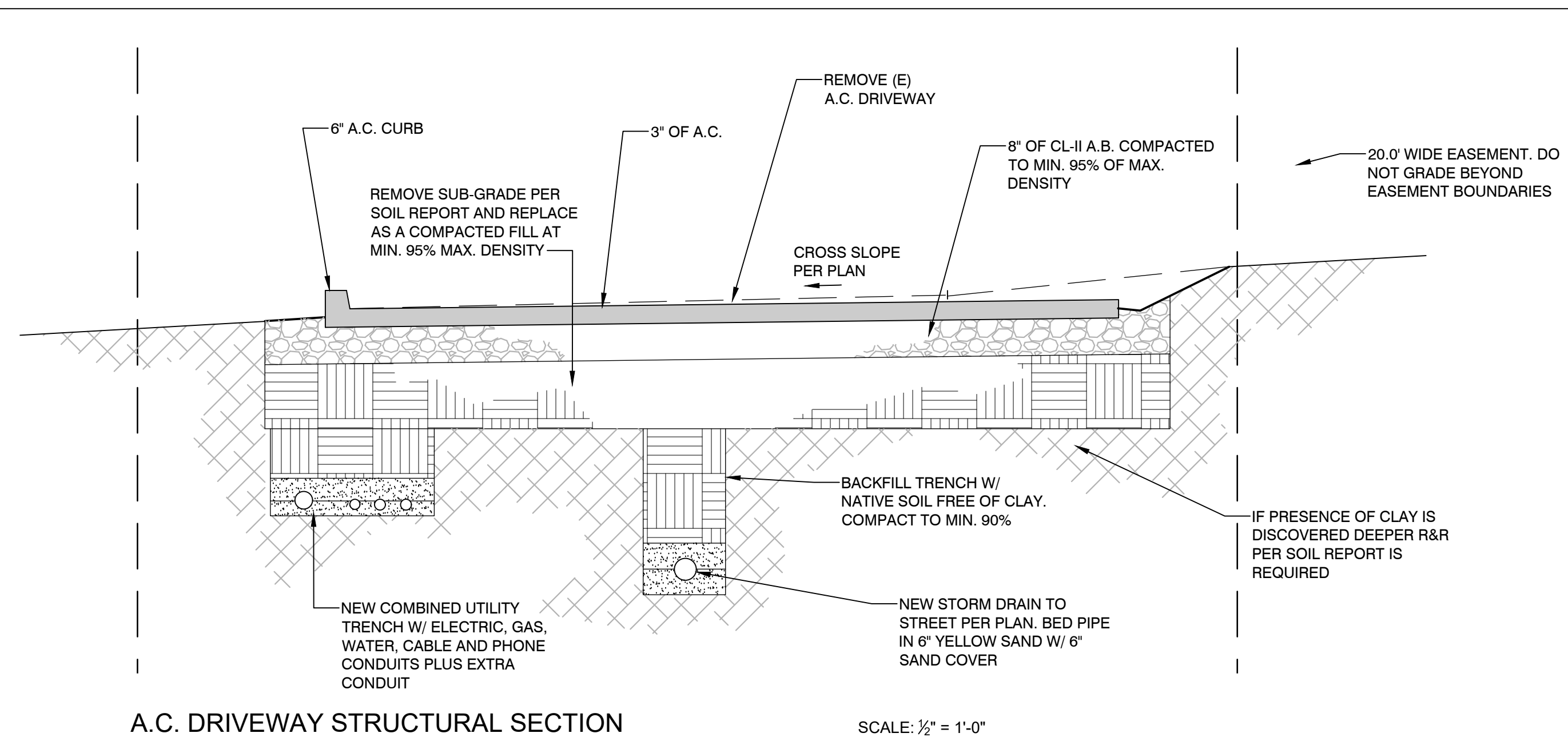
Description

SECTIONS

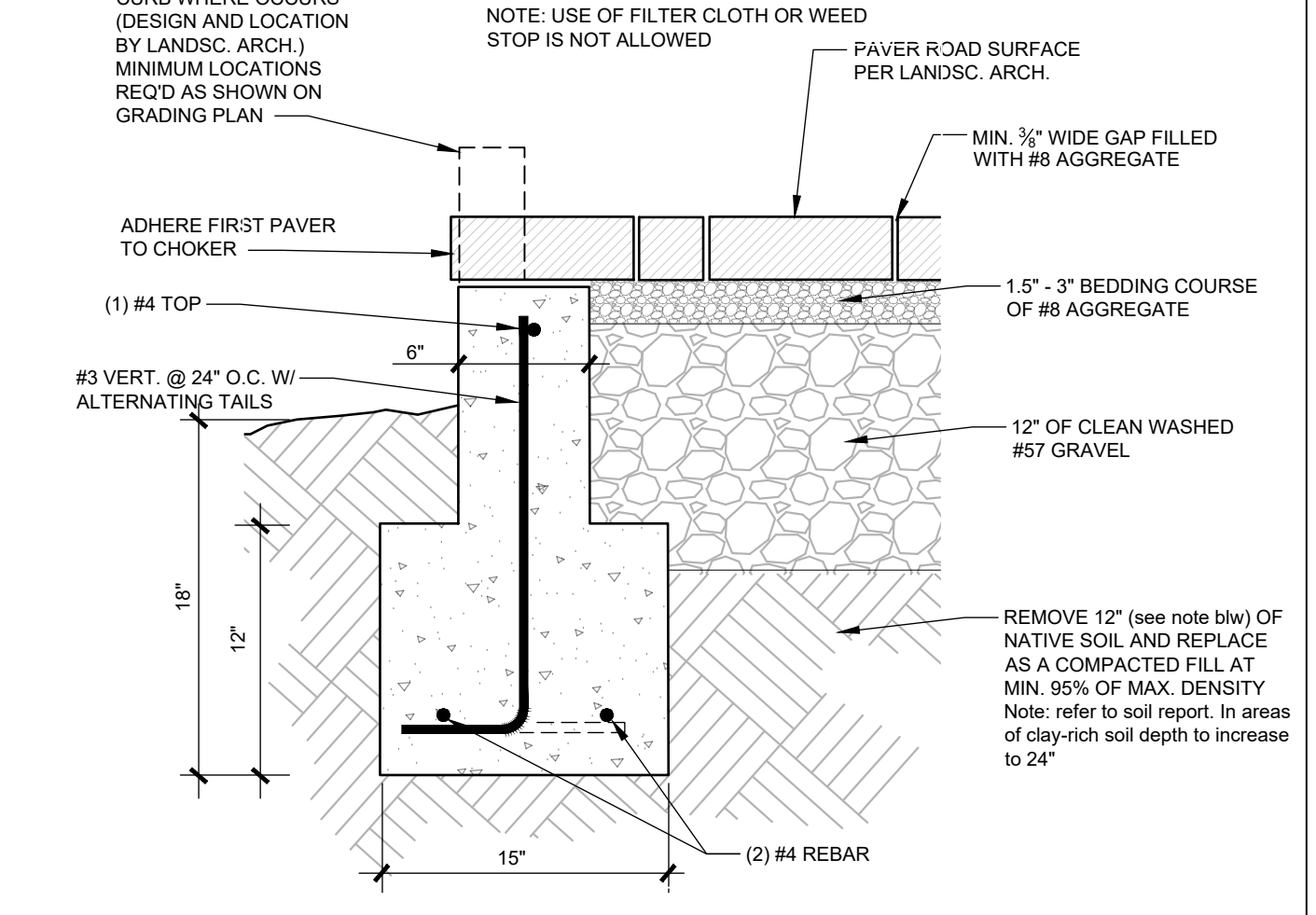
SHEET #

C-2

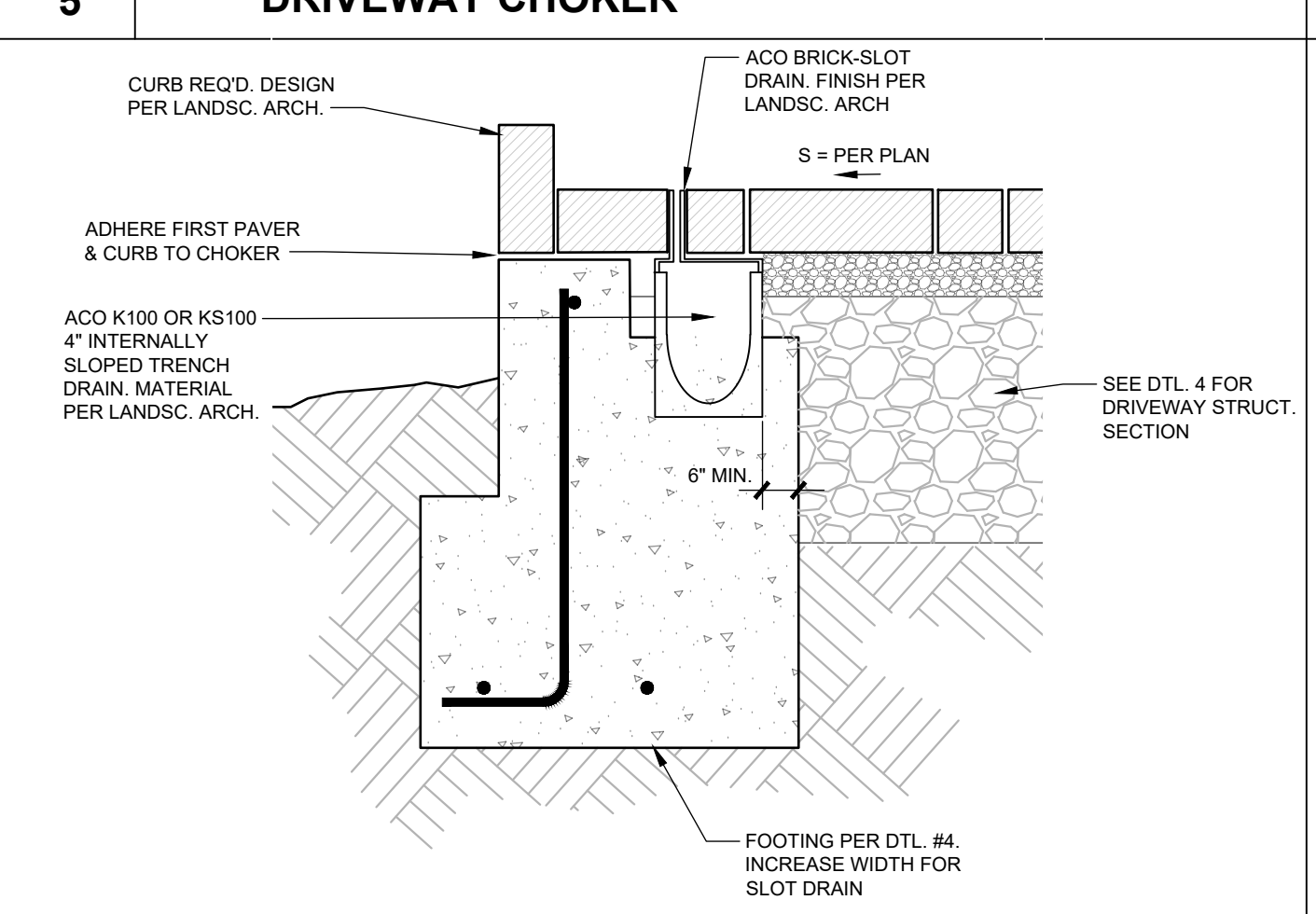
6/10/2024 2:01:22 PM



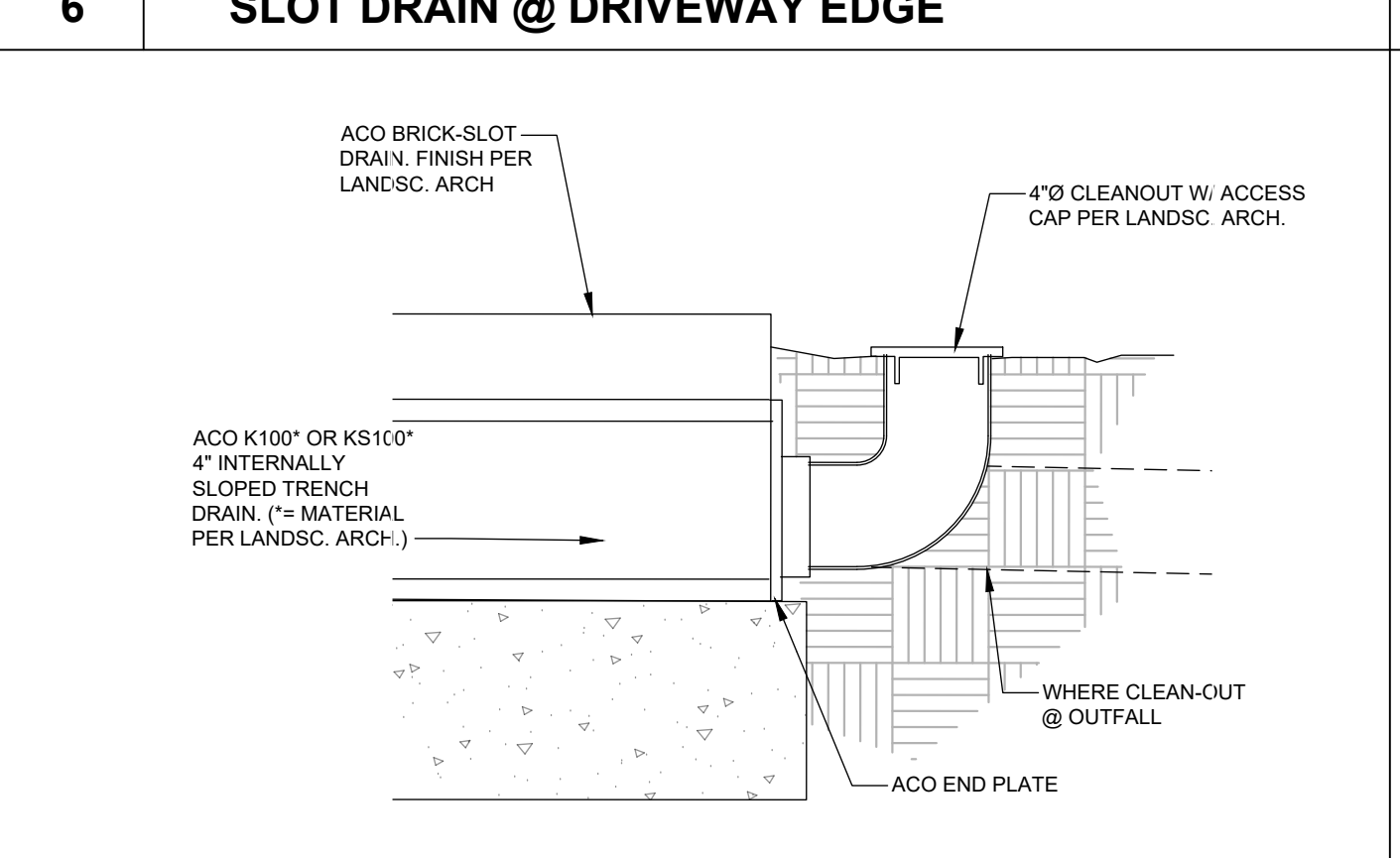
A.C. DRIVEWAY STRUCTURAL SECTION SCALE: 1/2" = 1'-0"



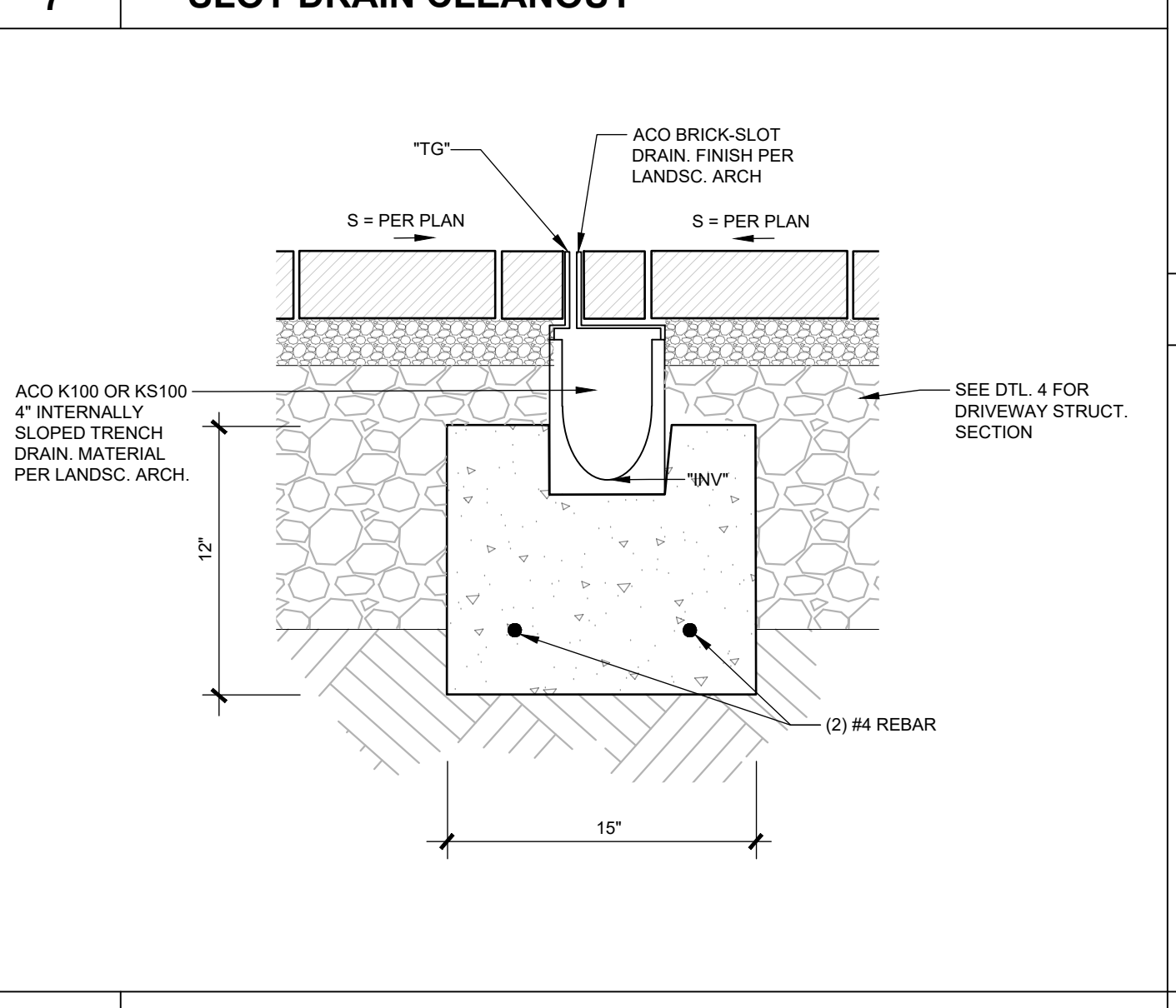
5 DRIVEWAY CHOKER



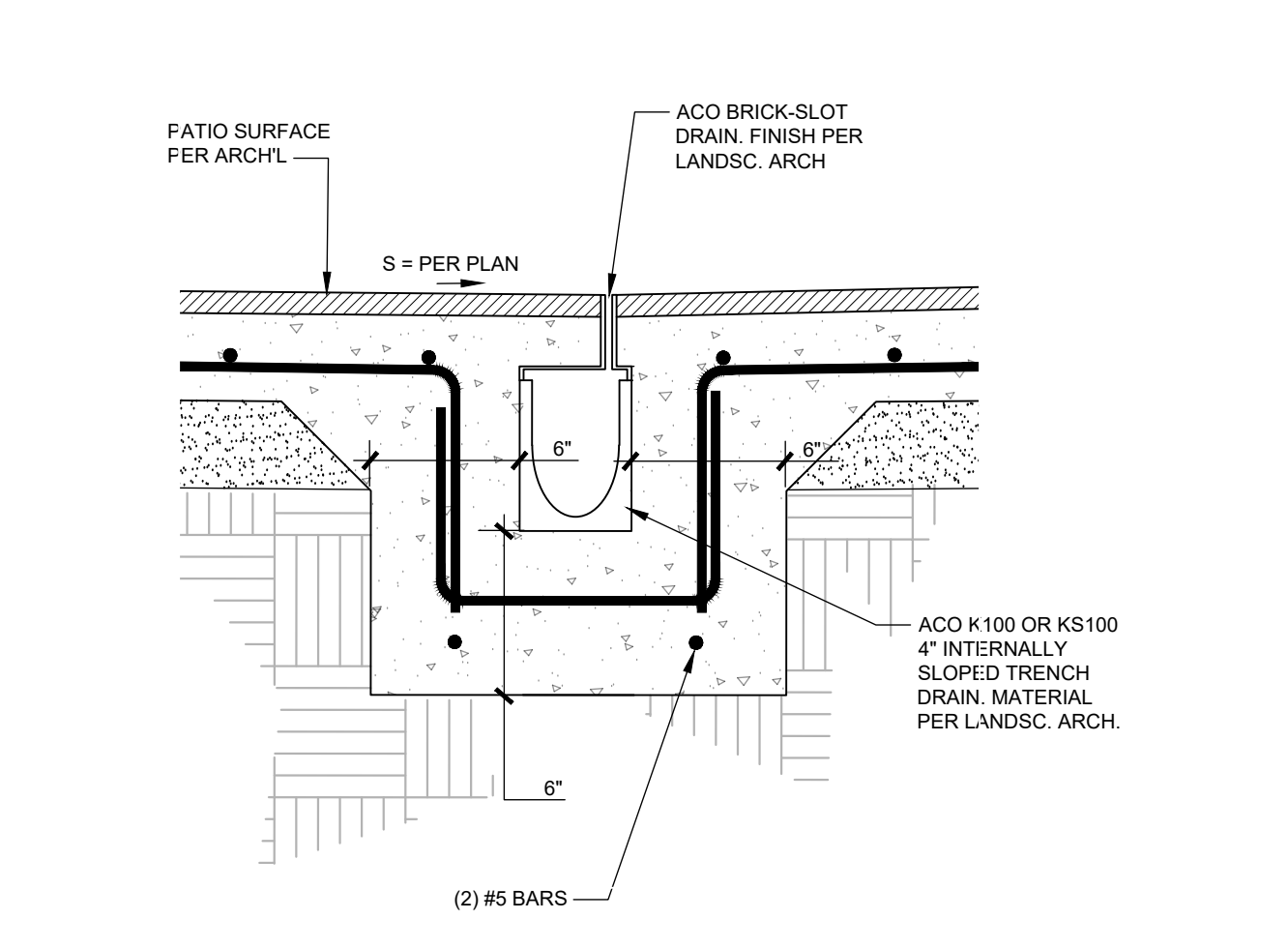
6 SLOT DRAIN @ DRIVEWAY EDGE



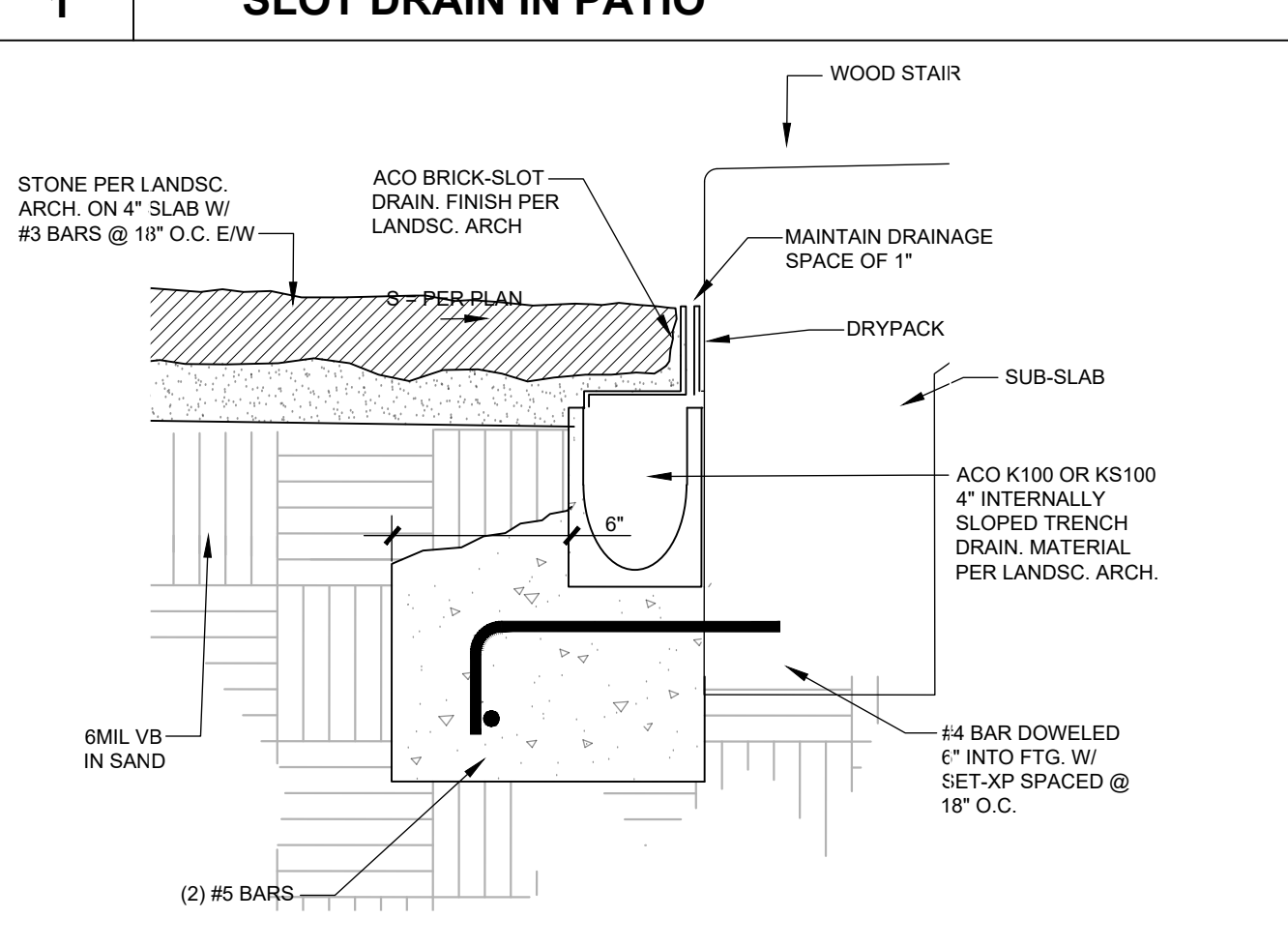
7 SLOT DRAIN CLEANOUT



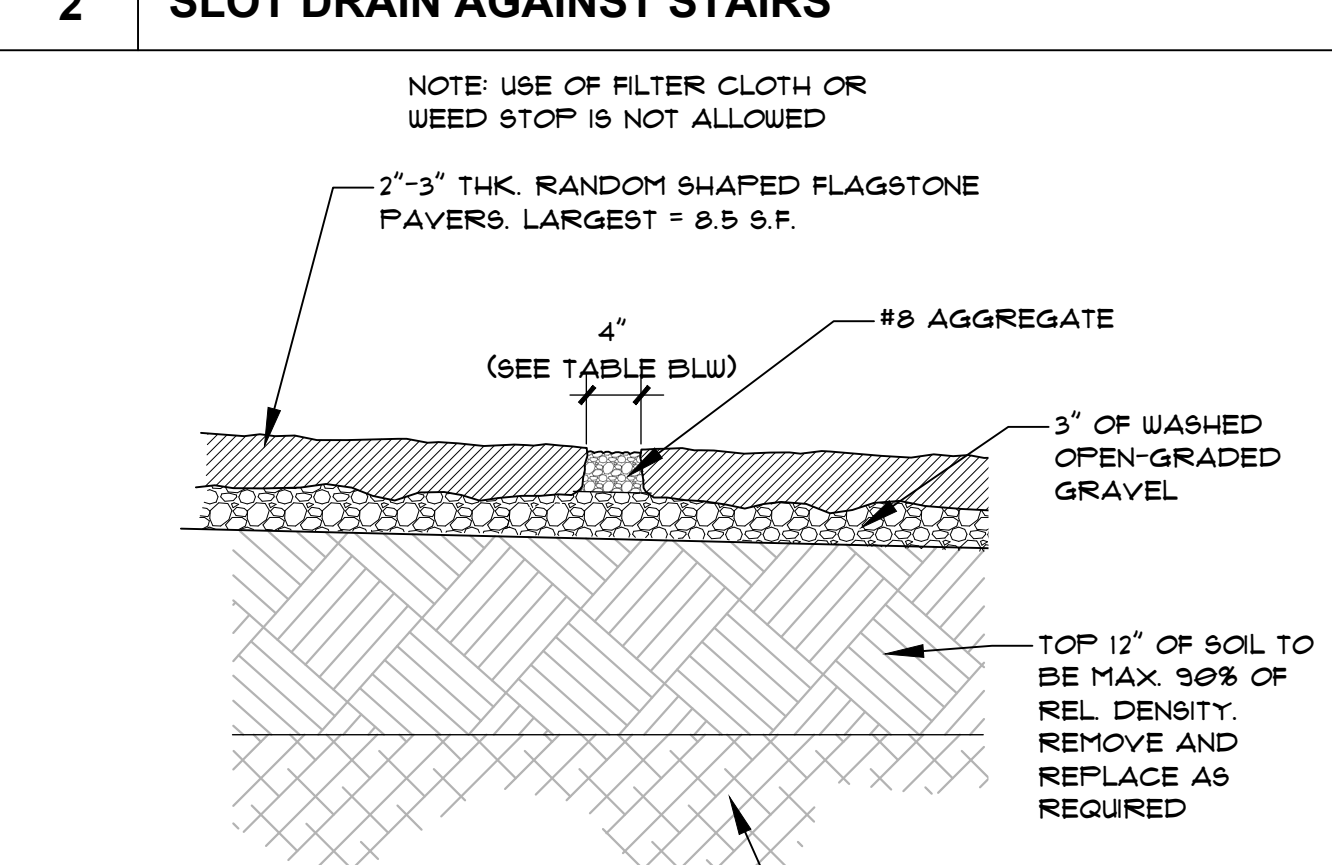
8 SLOT DRAIN MID-DRIVEWAY



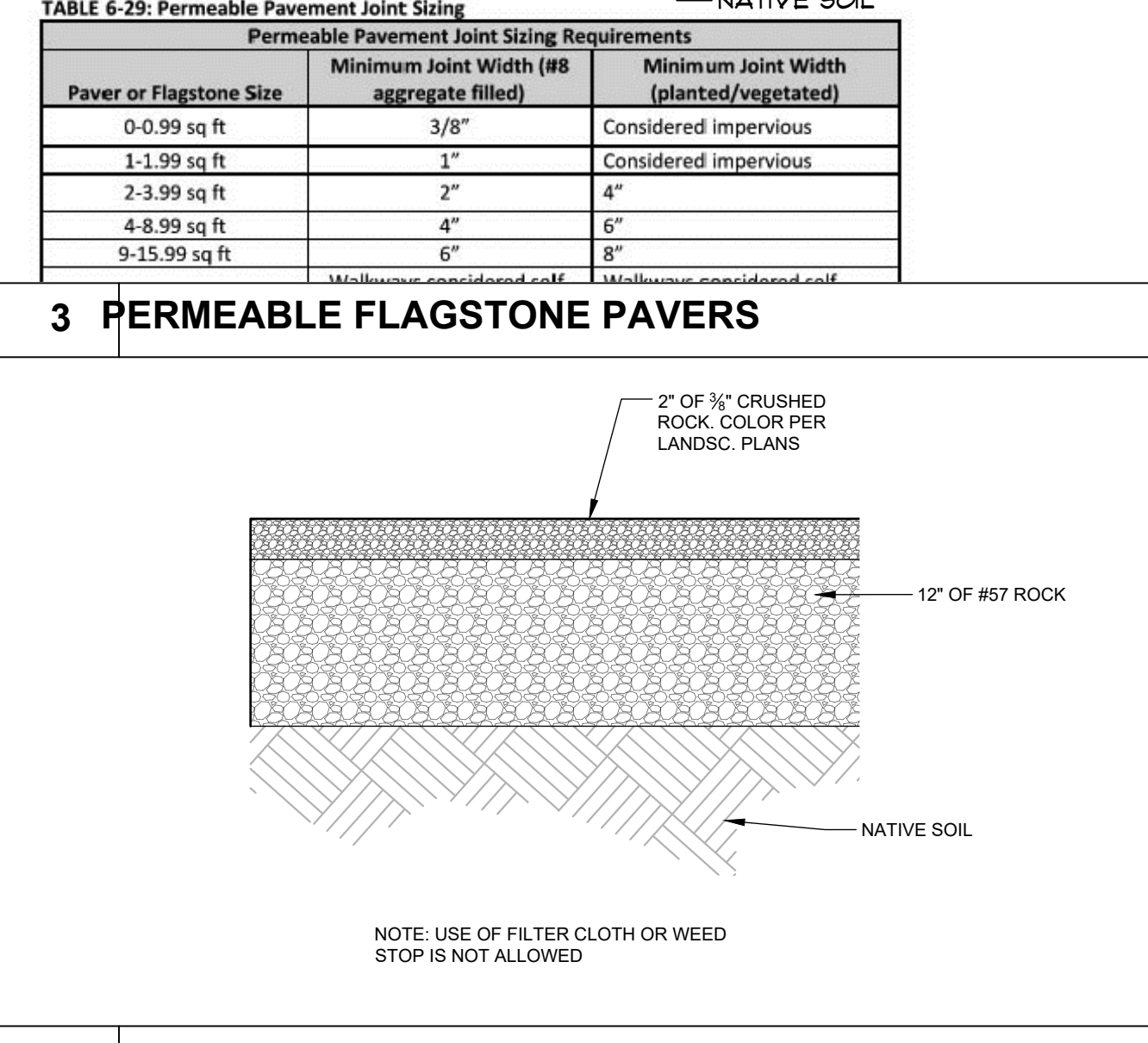
1 SLOT DRAIN IN PATIO



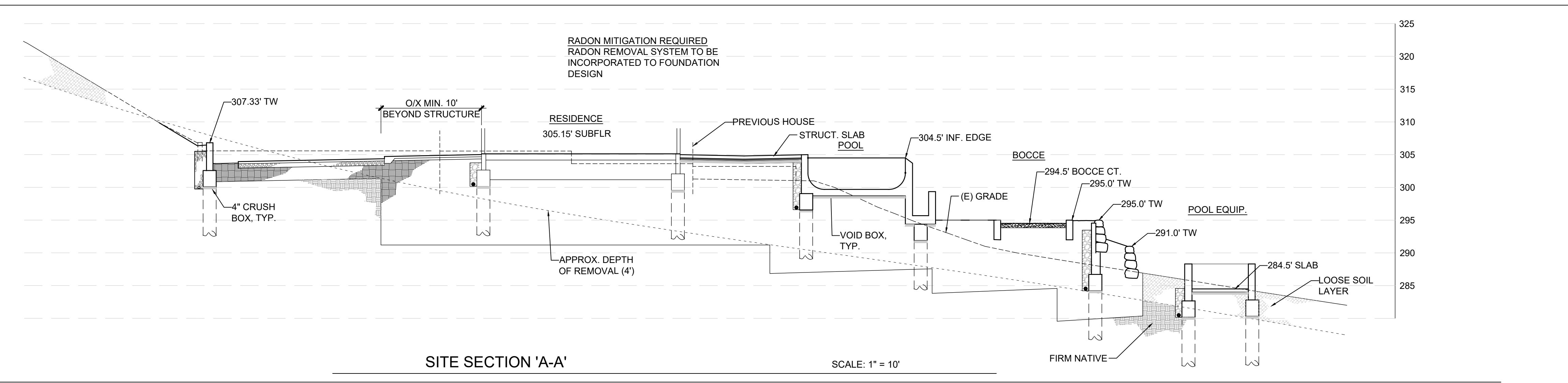
2 SLOT DRAIN AGAINST STAIRS



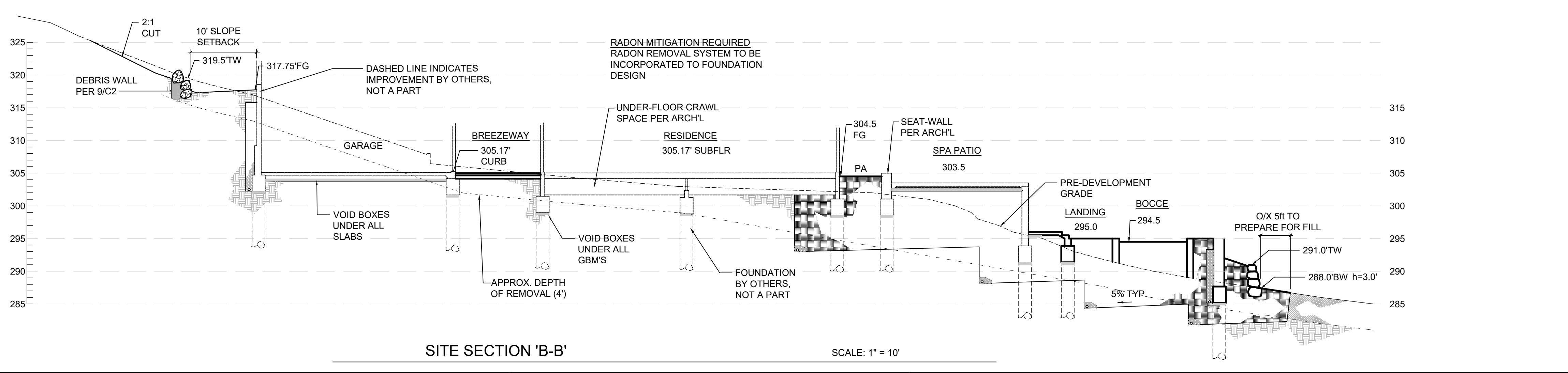
3 PERMEABLE FLAGSTONE PAVERS



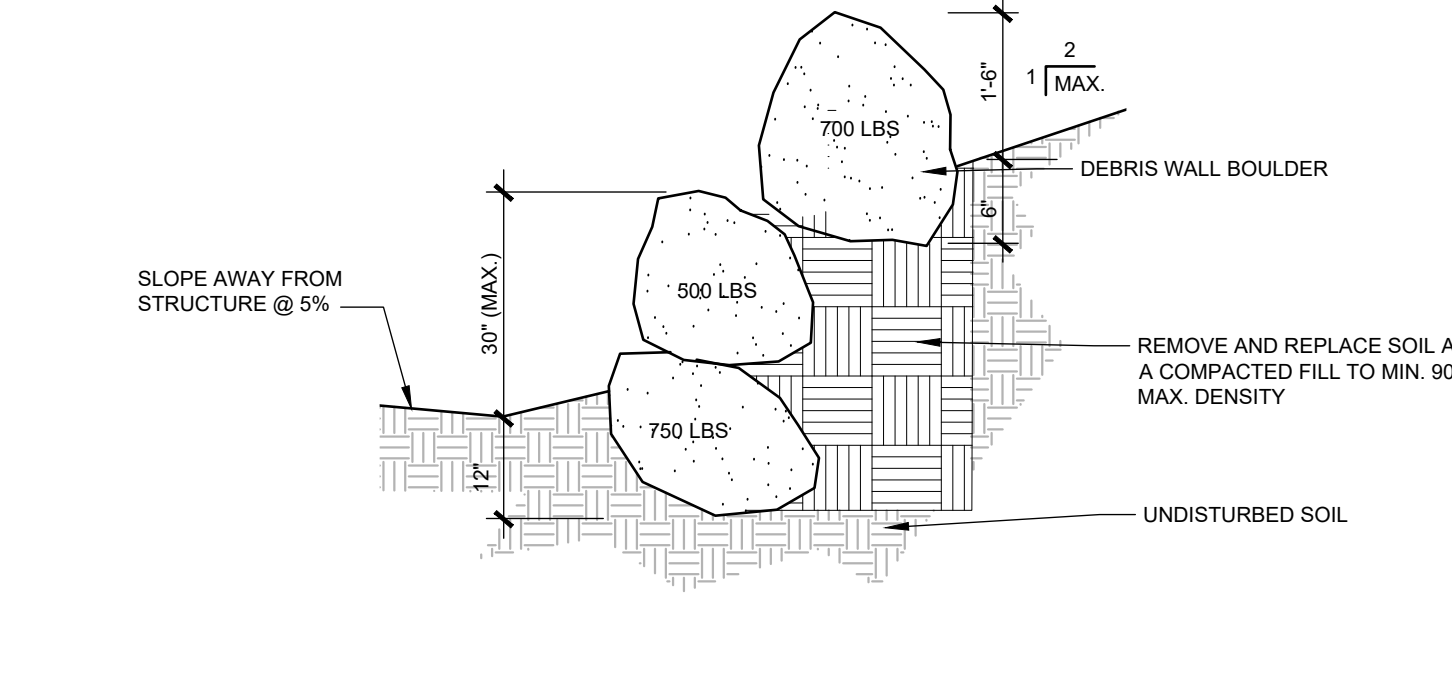
4 PERMEABLE GRAVEL PATHS



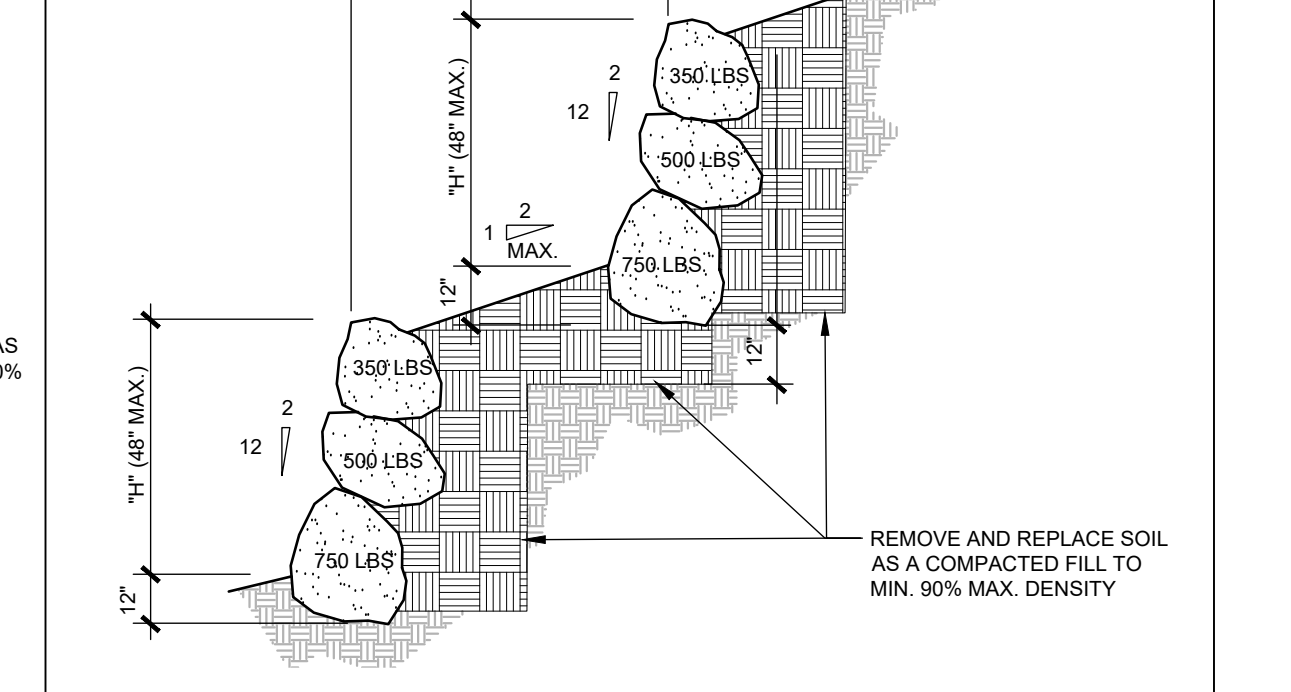
SITE SECTION 'A-A' SCALE: 1" = 10'



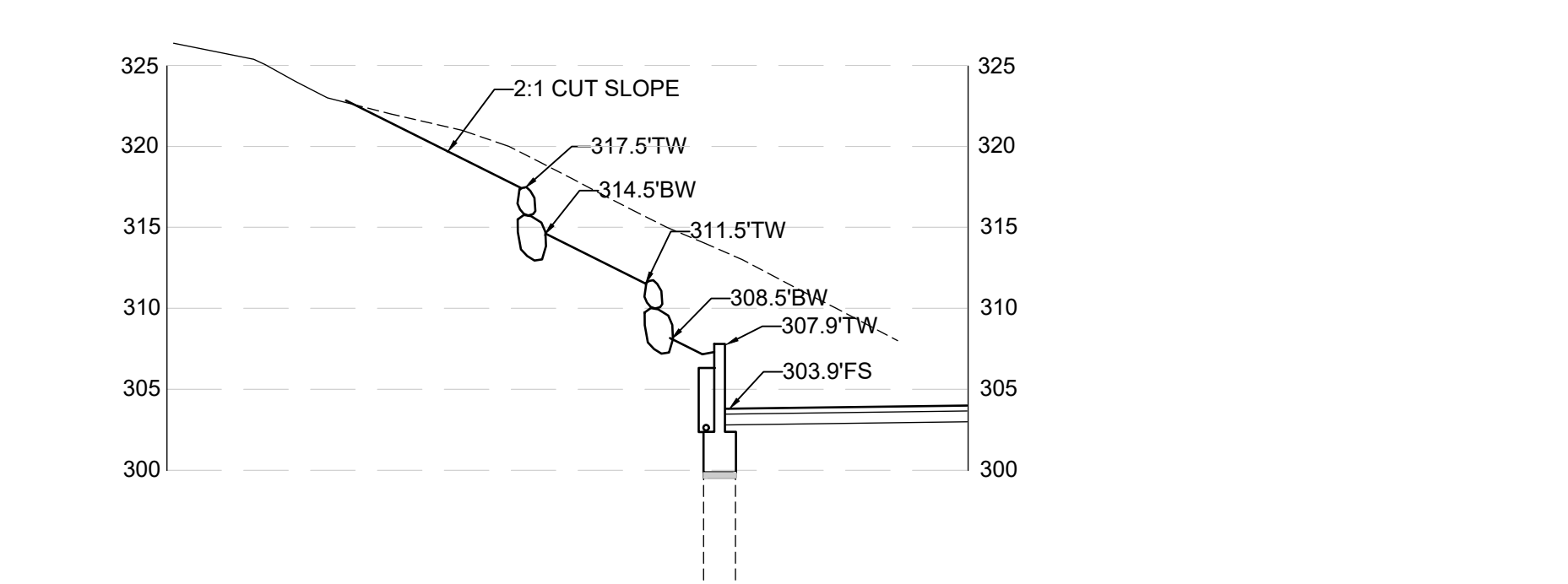
SITE SECTION 'B-B' SCALE: 1" = 10'



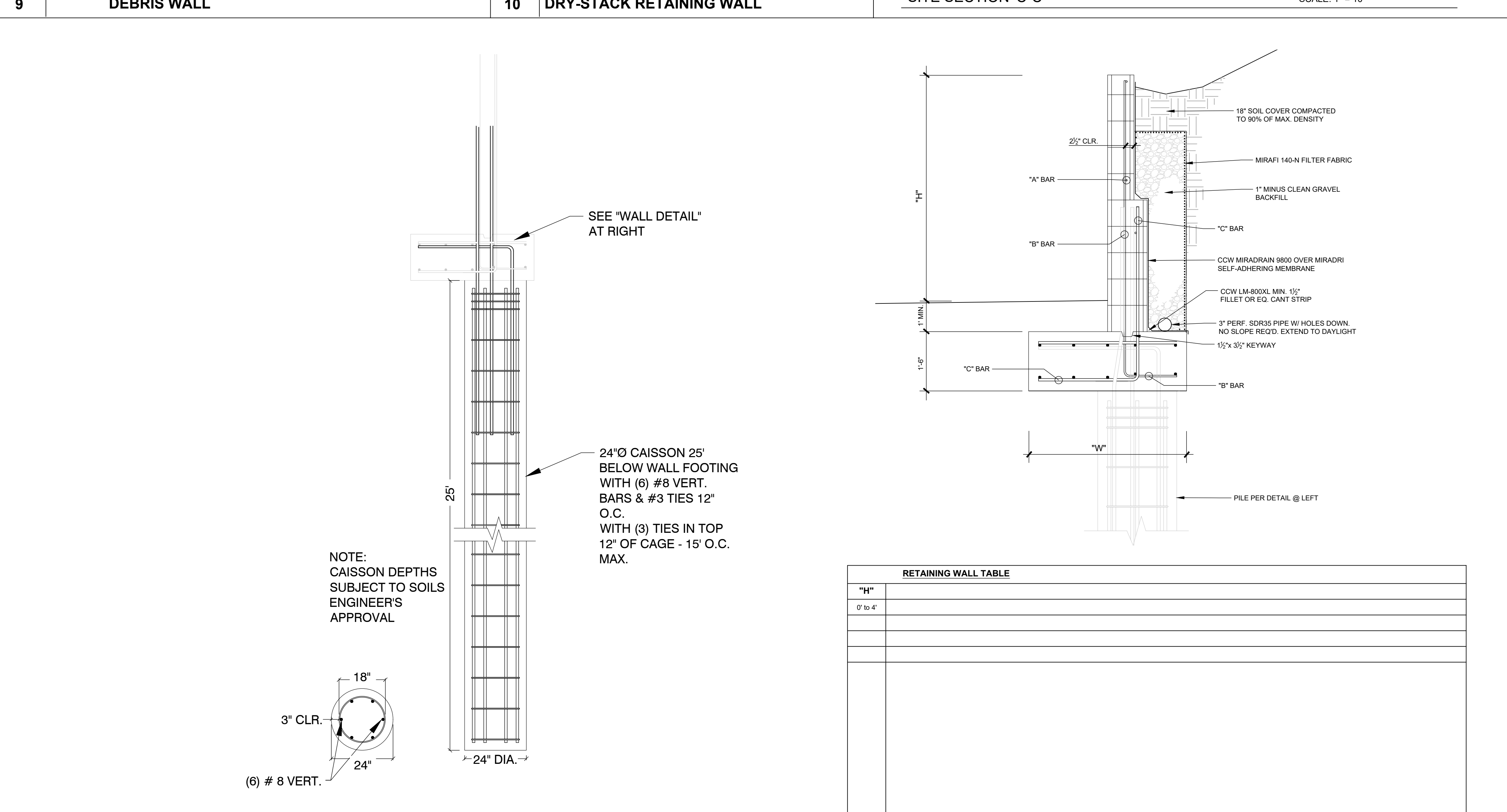
9 DEBRIS WALL



10 DRY-STACK RETAINING WALL



SITE SECTION 'C-C' SCALE: 1" = 10'



RETAINING WALL TABLE

NOTE: CAISSON DEPTHS SUBJECT TO SOILS ENGINEER'S APPROVAL

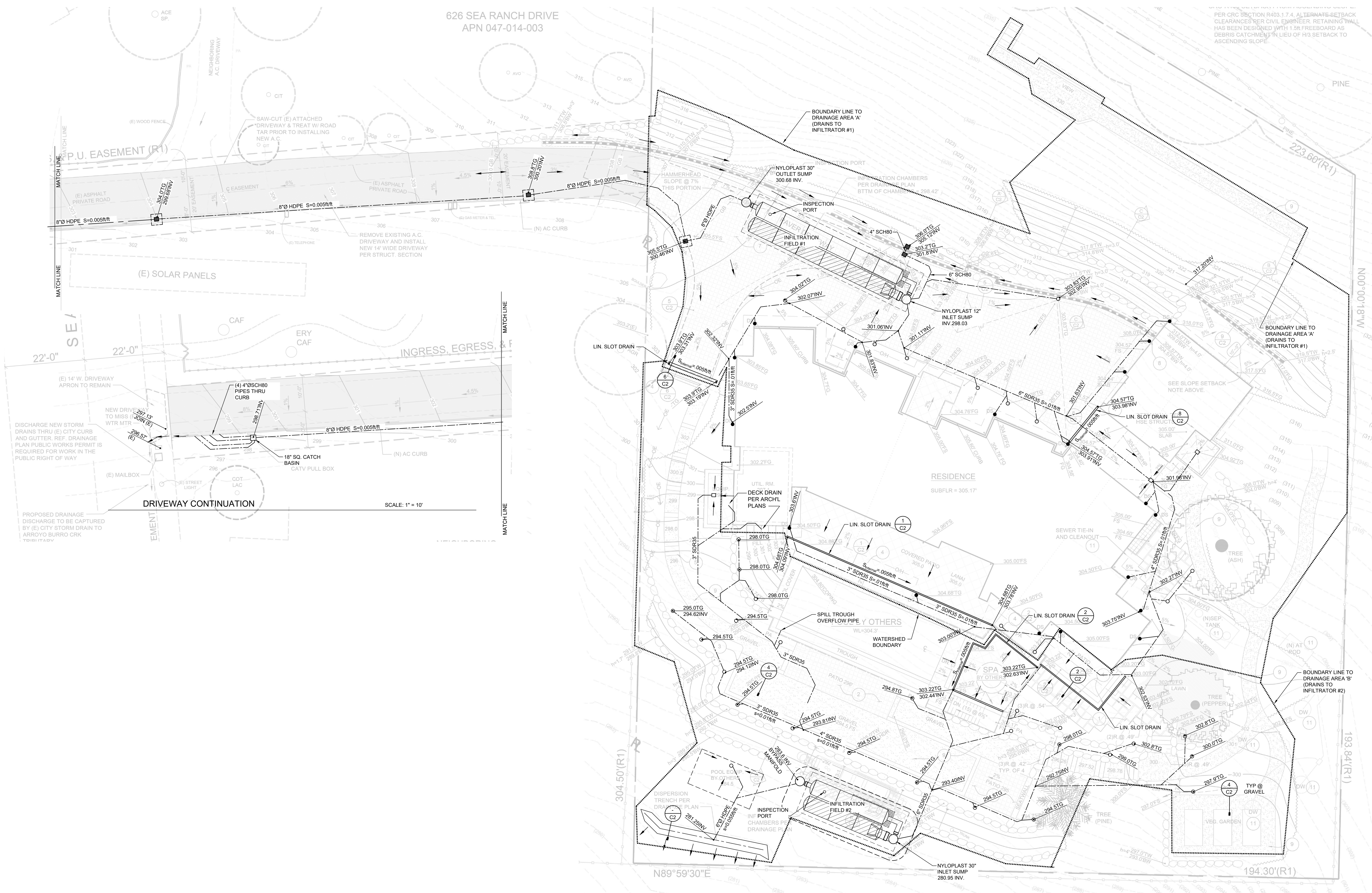
626 SEA RANCH DRIVE
APN 047-014-003

PER CRC SECTION 17.4 ALTERNATE SETBACK CLEARANCES PER CIVIL ENGINEER. RETAINING WALL HAS BEEN DESIGNED WITH 1.5H FREEBOARD AS DEBRIS CATCHMENT IN LIEU OF H/3 SETBACK TO ASCENDING SLOPE.



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GRADING AND DRAINAGE PLAN

SCALE: 1" = 10'

DRAINAGE PLAN

SCALE: 1" = 10'

PROJECT OWNER: ARKLEY/FIELDS RESIDENCE

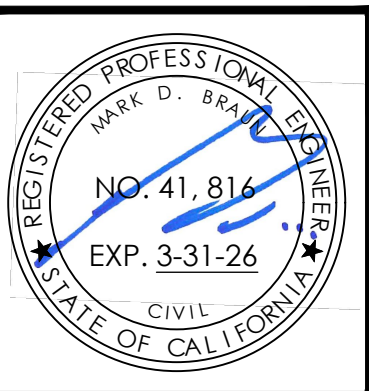
PROJECT ADDRESS: 616 SEA RANCH ROAD
SANTA BARBARA, CA 93105

PROJECT TYPE: Grading

Date	W/O#	Symbol	Date	Description
6-10-24	3380			

DRAINAGE PLAN

SHEET #
C-3



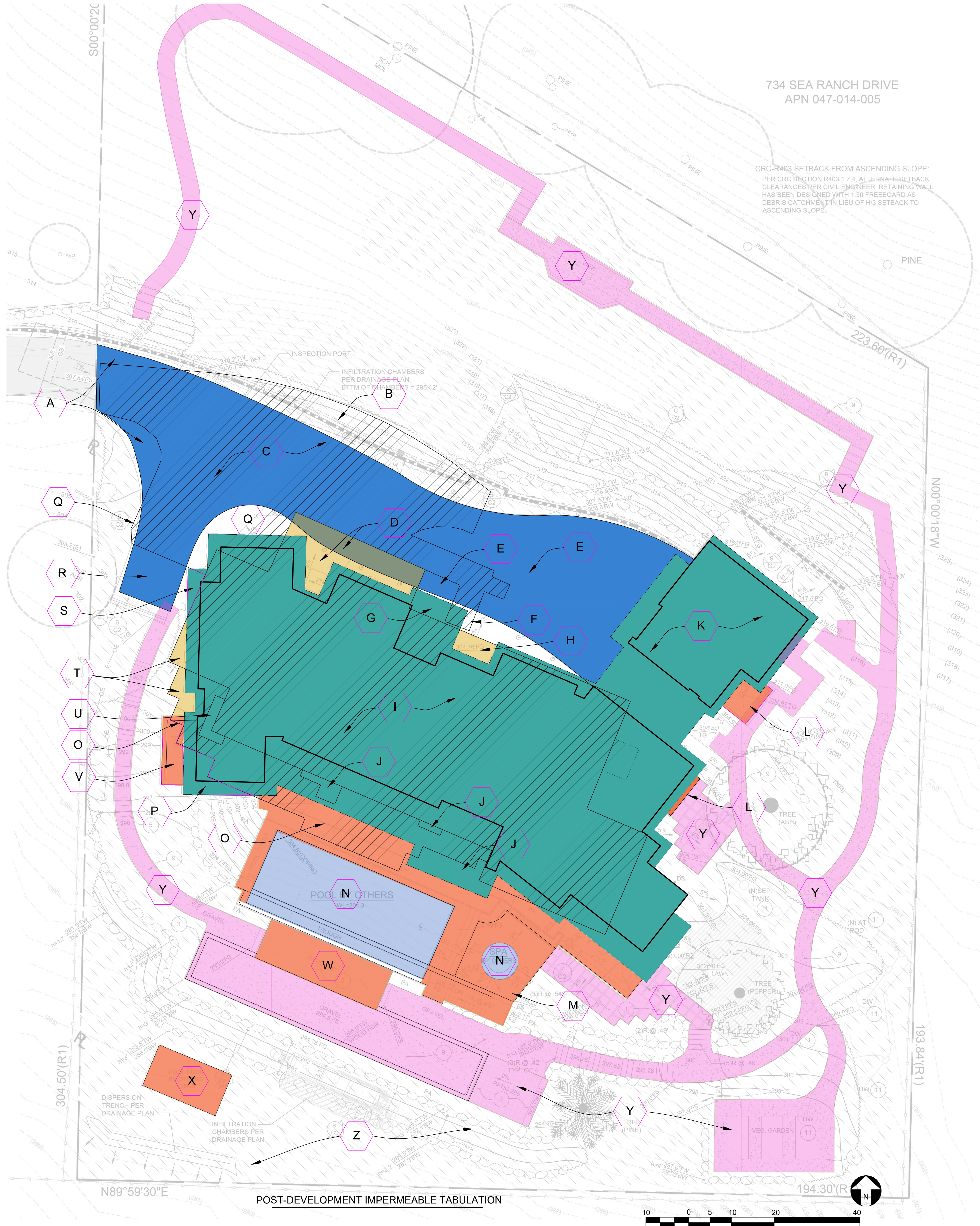
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734 SEA RANCH DRIVE
 APN 047-014-005

CRC R403 SETBACK FROM ASCENDING SLOPE:
 PER CRC SECTION R403.1.7.4, ALTERNATE SETBACK CLEARANCES PER CIVIL ENGINEER. RETAINING WALL HAS BEEN DESIGNED WITH 1.5' FREEBOARD AS DEBRIS CATCHMENT IN LIEU OF H/3 SETBACK TO ASCENDING SLOPE.

AREA NUMBER	(E) IMPERVIOUS TO BE REPAIRED	NEW PERMEABLE PAVERS	(E) IMPERVIOUS TO BE REPLACED WITH PERMEABLE PAVERS	(N) IMPERVIOUS ROOF	(E) IMPERVIOUS ROOF TO BE REPLACED WITH IMPERVIOUS ROOF	(E) IMPERVIOUS ROOF TO BE REMOVED	(N) IMPERVIOUS	(E) IMPERVIOUS TO BE REPLACED WITH IMPERVIOUS	PERMEABLE GRAVEL	NEW LANDSCAPE AREA	NEW IMPERVIOUS POOL		
A		48.9											
B	510.4												
C			2110.2										
D						286.1							
E	12.7	1267.5											
F													
G				44.8									
H						44.9							
I					5564.7								
J				141.1									
K				2184.6									
L							68.5						
M							991.6				889.6		
N													
O				85.4				228.0					
P													
Q	145.1												
R		147.3											
S				20.1									
T						63.9							
U				30.5									
V							68.9						
W							307.2						
X							189.2						
Y								4858	19,832				
Z													
TOTAL	688.2	1493.7	2110.2	2506.5	5564.7	374.9	1625.4	228.0	4858	19,832	889.6		
IMPERVIOUS EXIST.	688.2		2110.2		5564.7	374.9		228.0				8946.0 TOTAL	
IMPERVIOUS NEW + REVISED				2506.5	5564.7		1625.4	228.0				889.6	9924.6 TOTAL



PROJECT OWNER: ARKLEY/FIELDS RESIDENCE

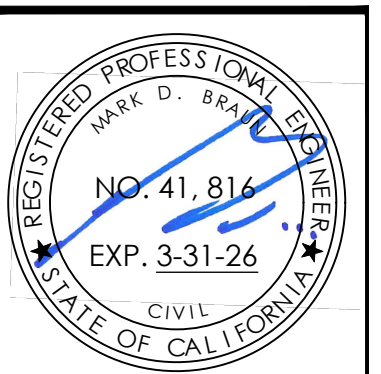
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PROJECT TYPE: Grading

Date	W/O#	Symbol	Date	Description
6-10-24	3380			

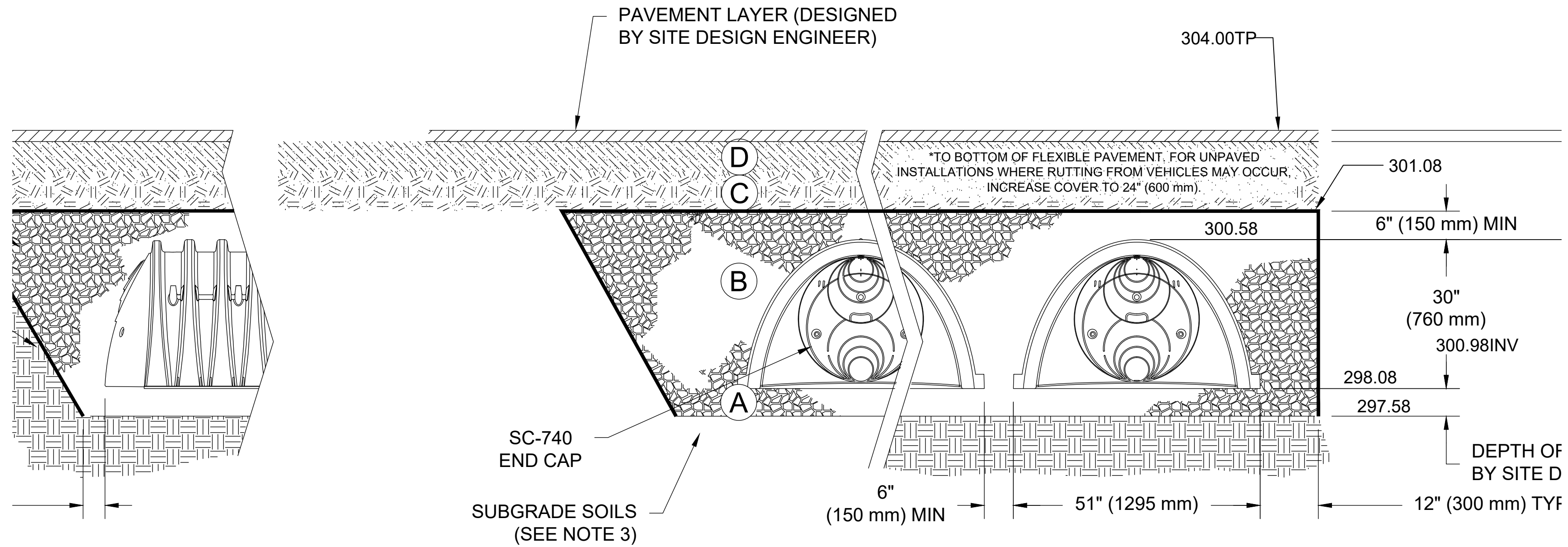
HYDRO STUDY

SHEET #
C-4

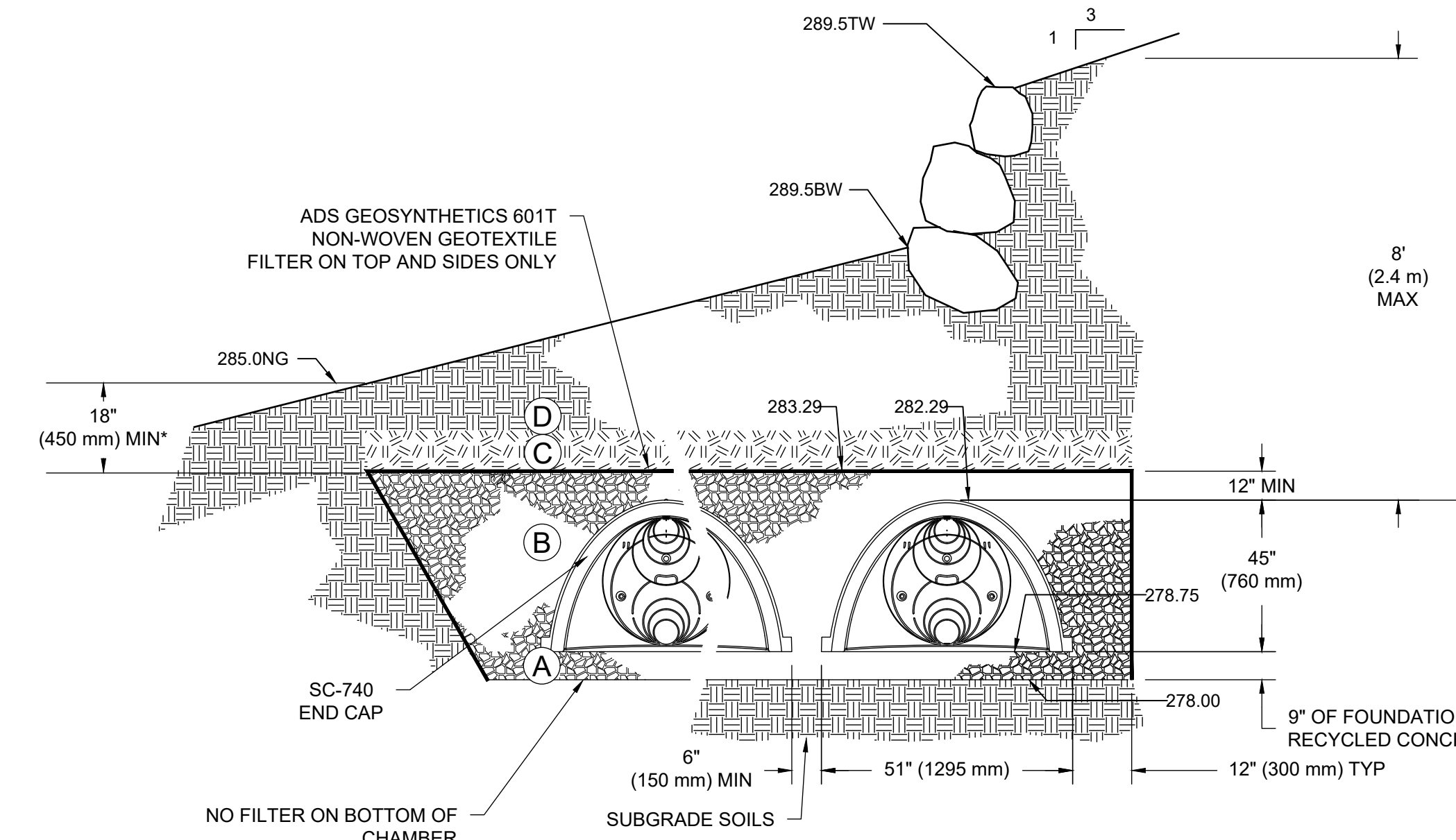


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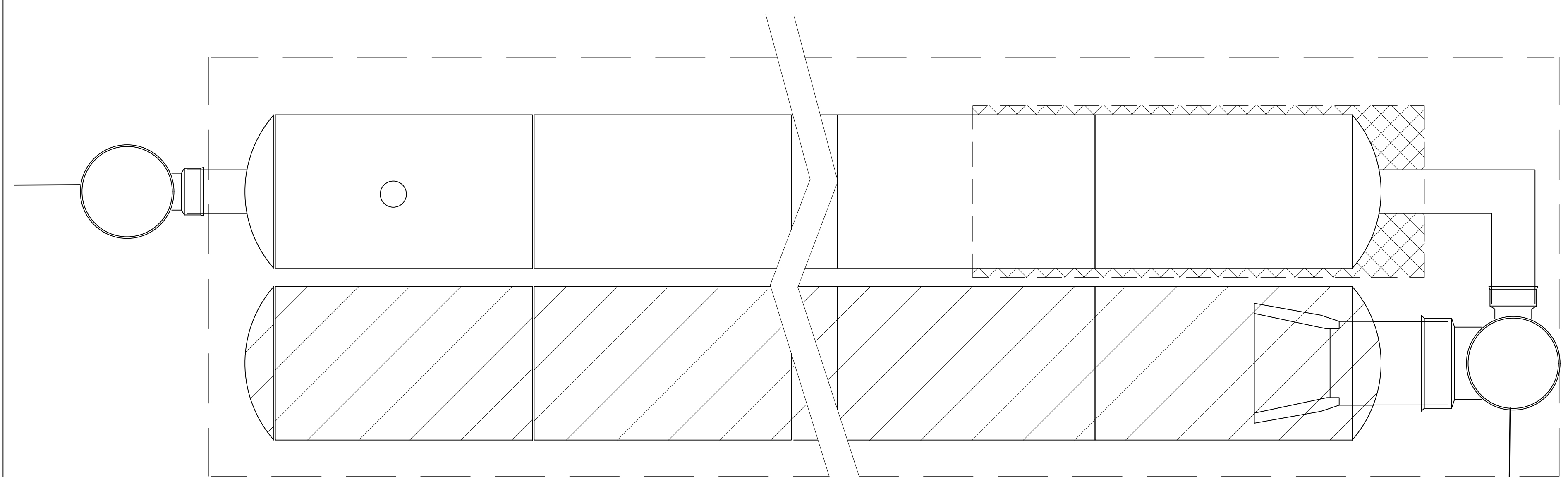
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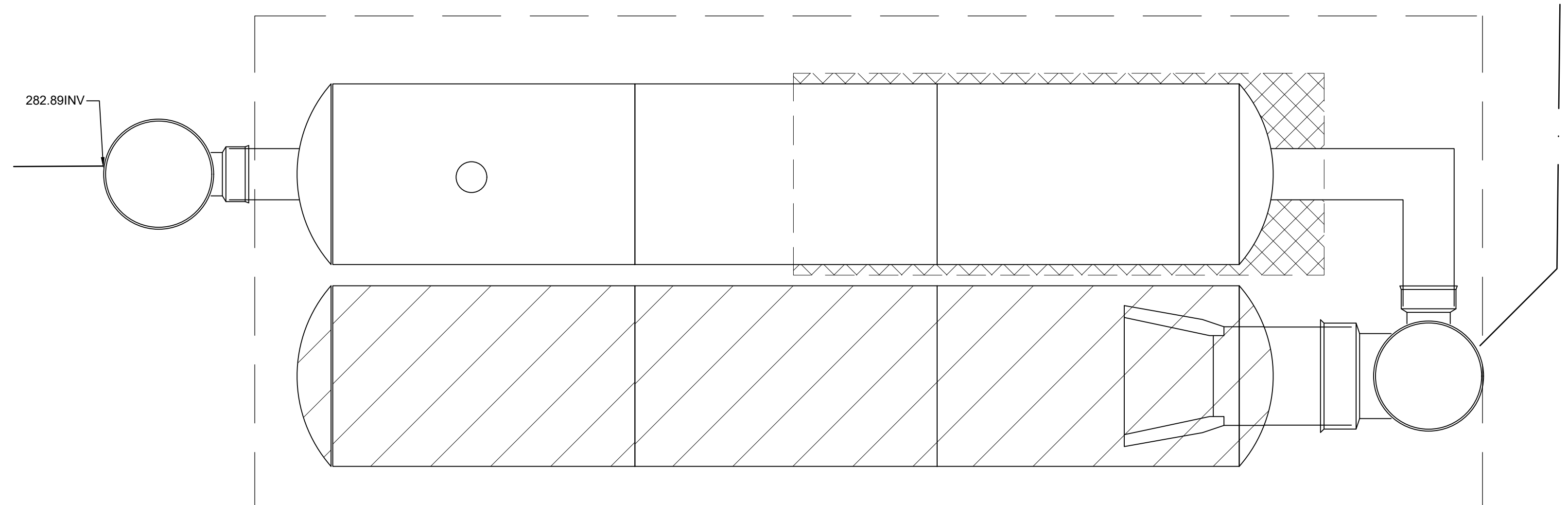
CROSS SECTION



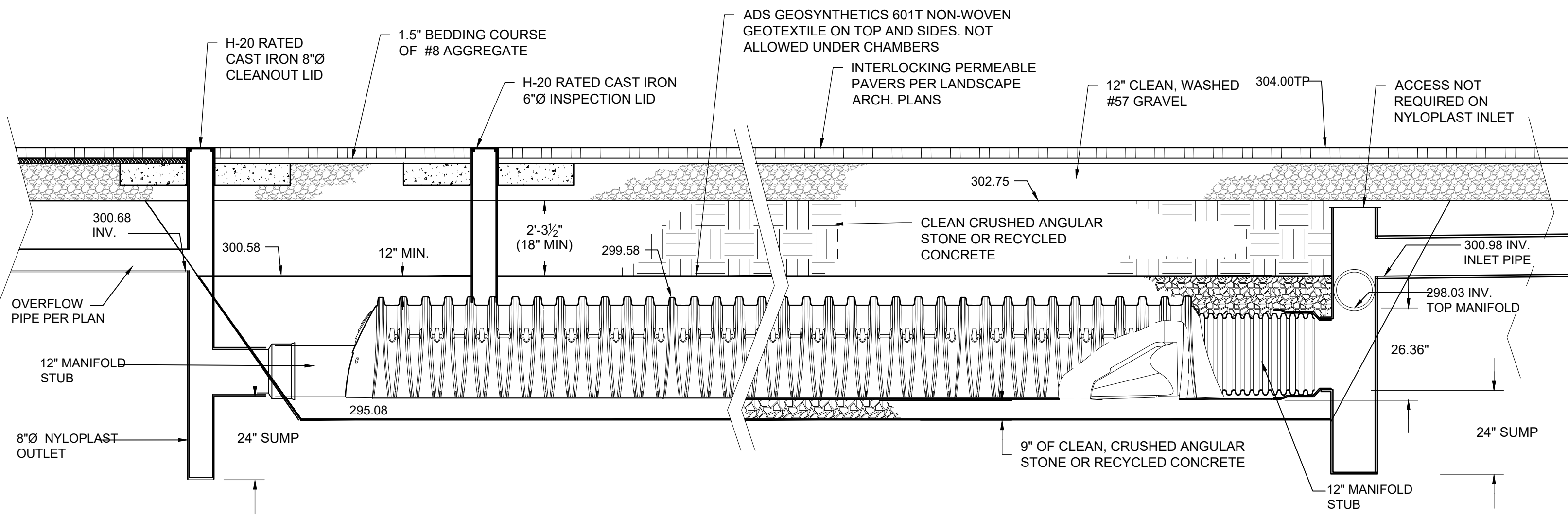
CROSS SECTION



PLAN VIEW

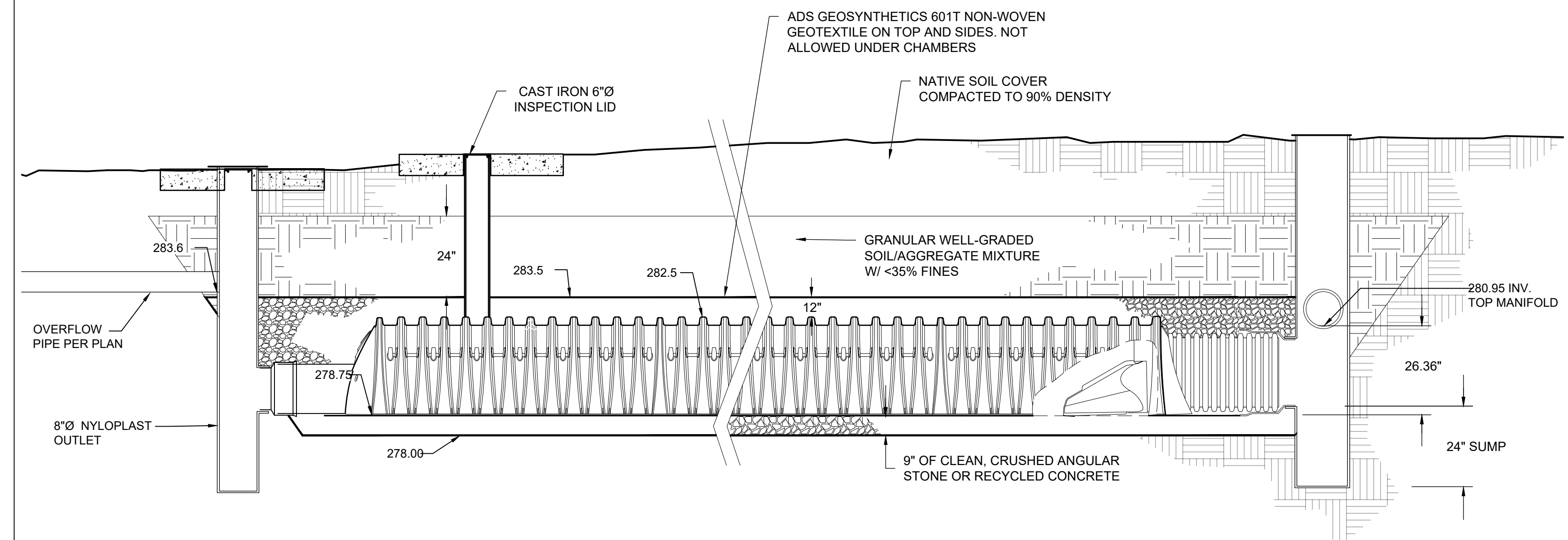


PLAN VIEW



LONGITUDINAL SECTION

INFILTRATION FIELD #1



LONGITUDINAL SECTION

INFILTRATION FIELD #2

PROJECT OWNER: ARKLEY/FIELDS RESIDENCE

PROJECT ADDRESS: 616 SEA RANCH ROAD
 SANTA BARBARA, CA 93105

PROJECT TYPE: Grading

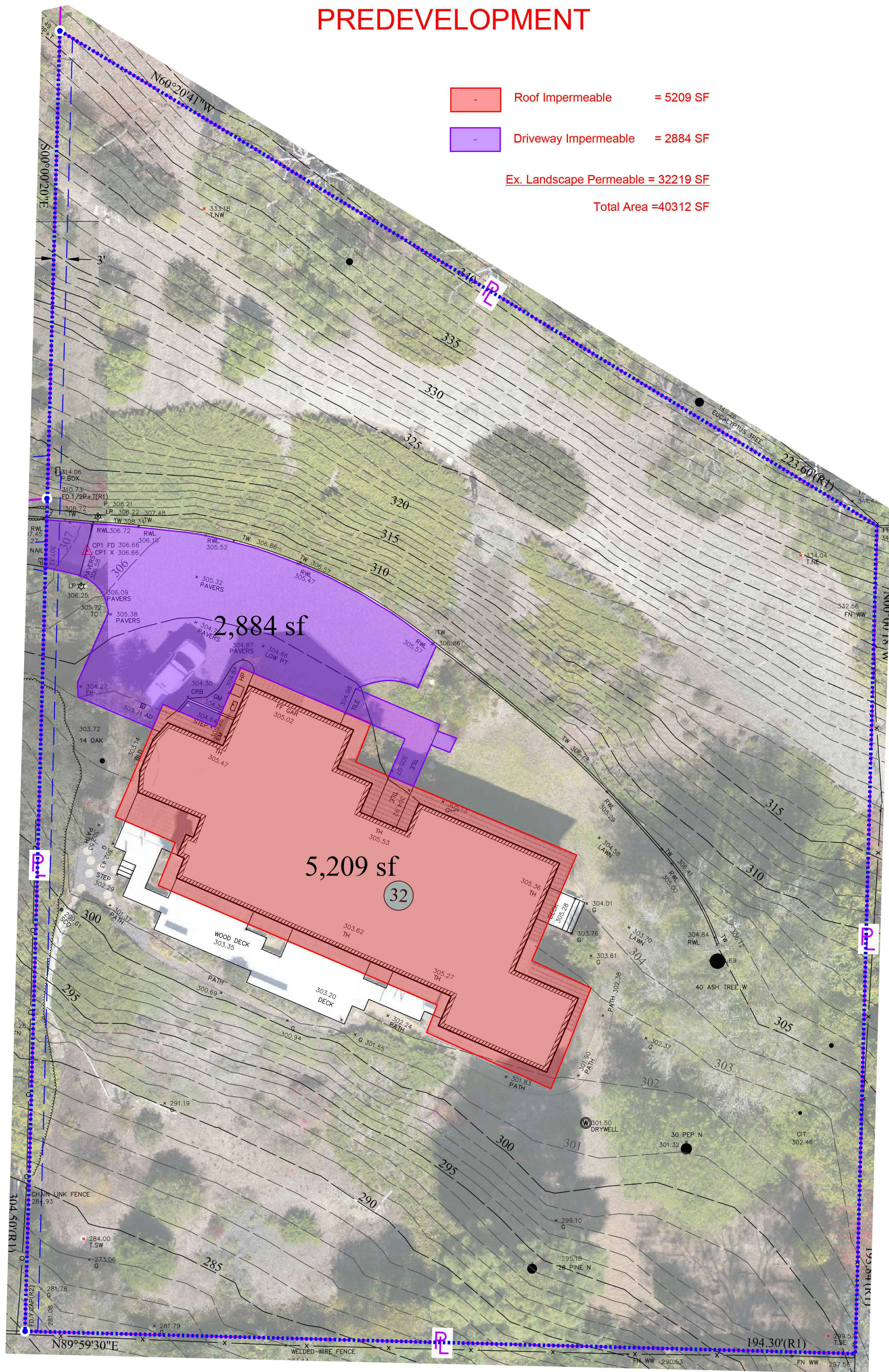
Date:	6-10-24	Draftsman:	S.B.H.
WO#:	3380	Engineer:	M.D.B.
Symbol:		Date:	
		Description:	

INFILTRATORS

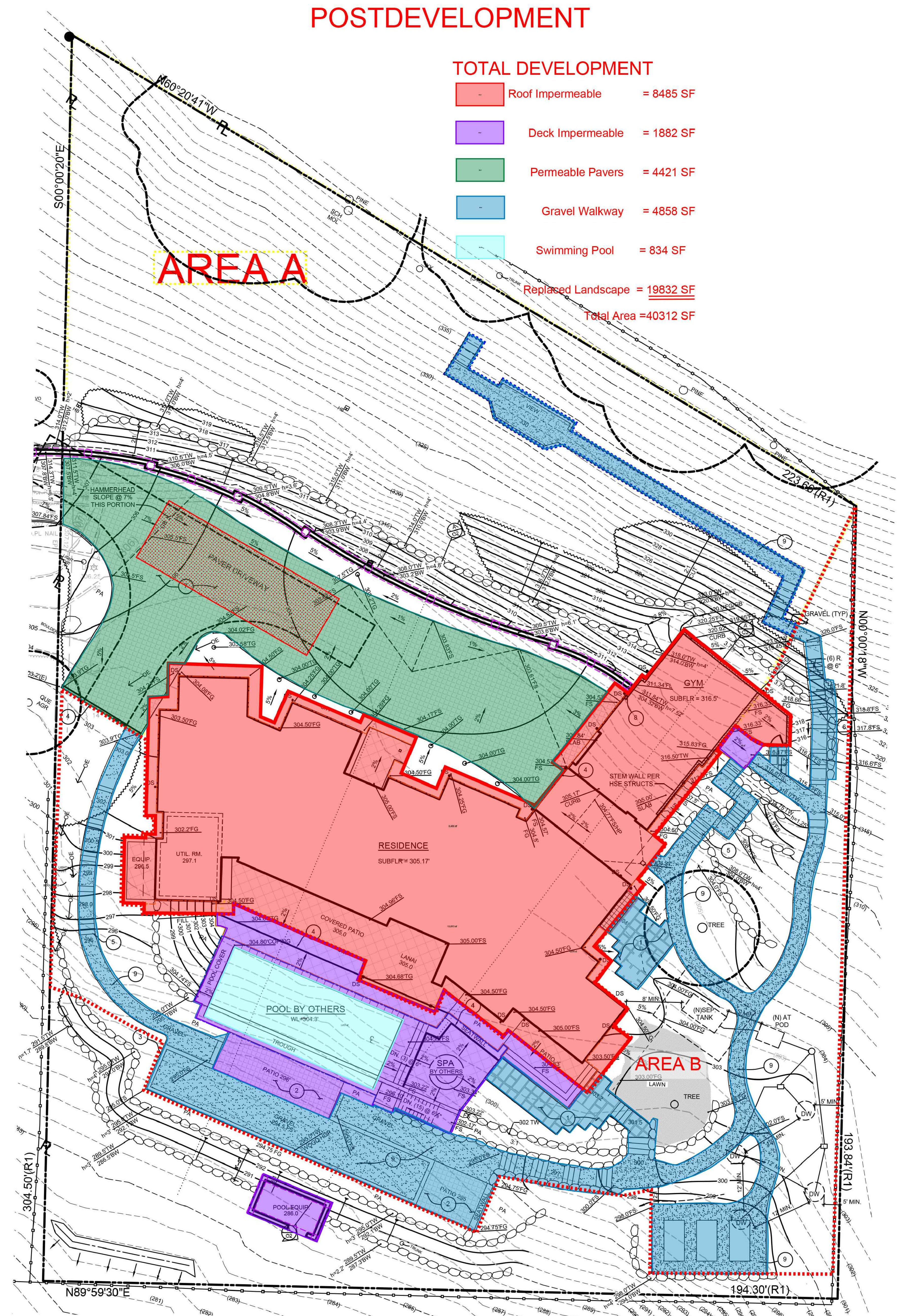
SHEET #

C-5

PREDEVELOPMENT



POSTDEVELOPMENT



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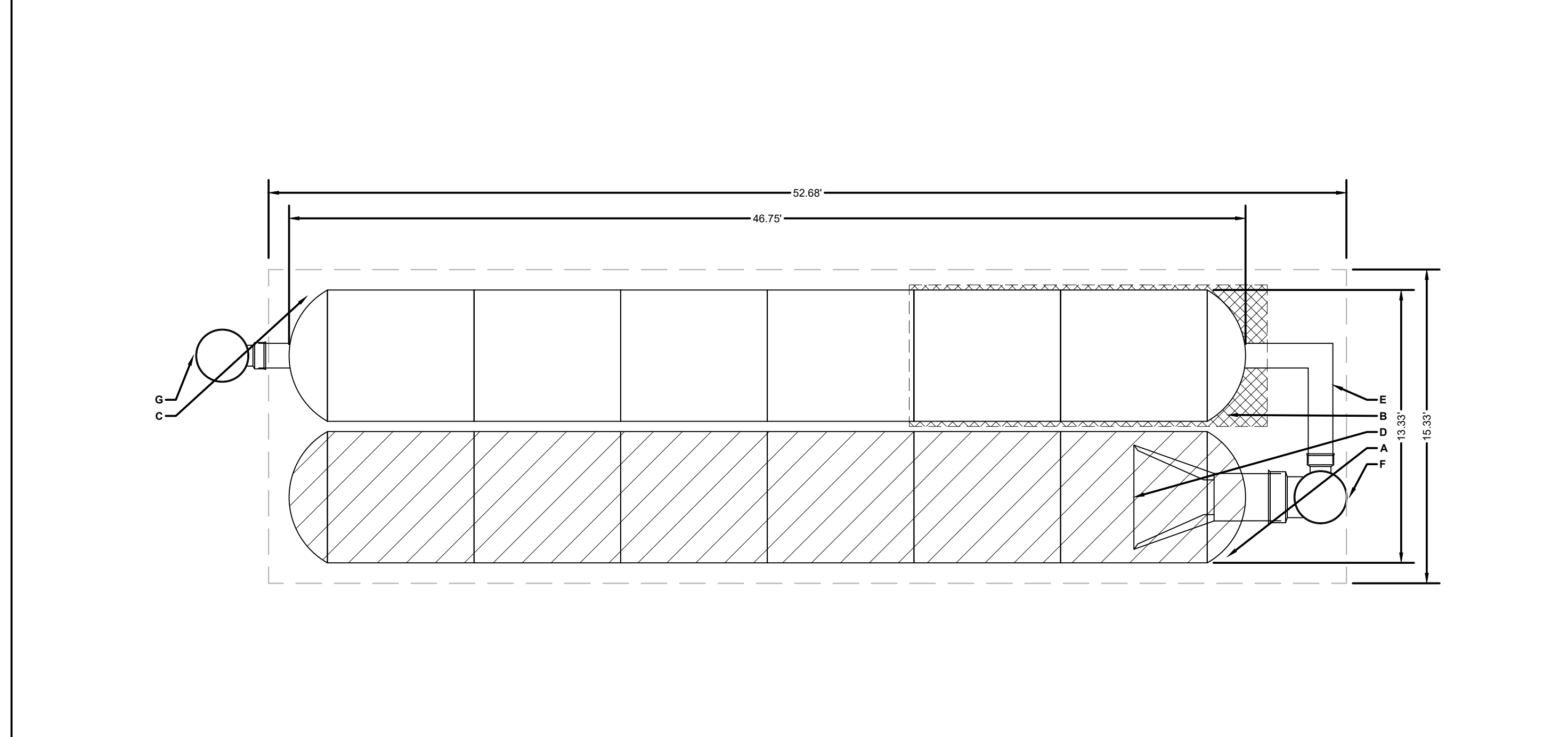
PROJECT TYPE: Grading

Date:	6-10-24	Draftsman:	S.B.H.
WO#:	3380	Engineer:	M.D.B.
Symbol:		Date:	
		Description:	

HYDRO STUDY

SHEET #
C-6

PROPOSED LAYOUT: AREA A		CONCEPTUAL ELEVATIONS		PART TYPE		ITEM ON LAYOUT		DESCRIPTION		"INVERT ABOVE BASE OF CHAMBER"	
12	STORMTECH MC-3500 CHAMBERS	MINIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/PAVEMENT)	12.50'								
4	STORMTECH MC-3500 END CAPS	MINIMUM ALLOWABLE GRADE (IMPROVED WITH TRAFFIC)	8.50'								
12	STONE ABOVE (B)	MINIMUM ALLOWABLE GRADE (UNIMPROVED NO TRAFFIC)	8.00'								
2	STONE BELOW (D)	MINIMUM ALLOWABLE GRADE (TOP OF RIGID CONCRETE PAVEMENT)	0.00'								
20	STONE VOID	MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT)	6.00'								
	INSTALL SYSTEM VOLUME (OF PERIMETER STONE INCLUDED)	TOP OF STONE	12.50'								
2605	COVER STONE INCLUDED (BASE STONE INCLUDED)	TOP OF MC-3500 CHAMBERS	12.50'								
100	SYSTEM AREA (B)	TOP OF TOP MANIFOLD INVERT	2.00'								
100	SYSTEM PERIMETER (B)	2" SOLID PVC CONNECTION INVERT	2.00'								
		BOTTOM OF MC-3500 CHAMBER	0.00'								
		OUTLINE OF STONE	0.00'								



ISOLATOR ROW PLUS (SEE DETAIL)

PLACE MINIMUM 17.50' OF ADS/PLUS 175 WOVEN GEOTEXTILE OVER BEDDING STONE AND UNDERNEATH CHAMBER FEET FOR SCOUR PROTECTION AT ALL CHAMBER INLET ROWS

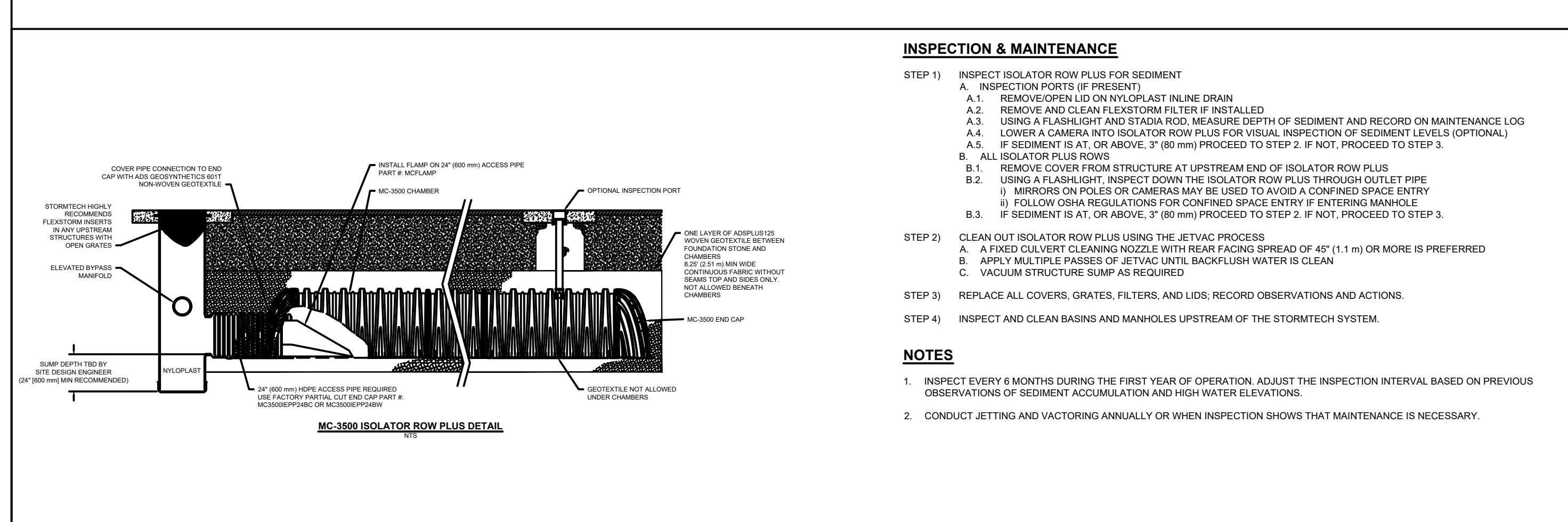
NOTES:

MANHOLE SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECH NOTE #6.31 FOR MANHOLE SIZING GUIDANCE. DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANHOLE COMPONENTS IN THE FIELD.

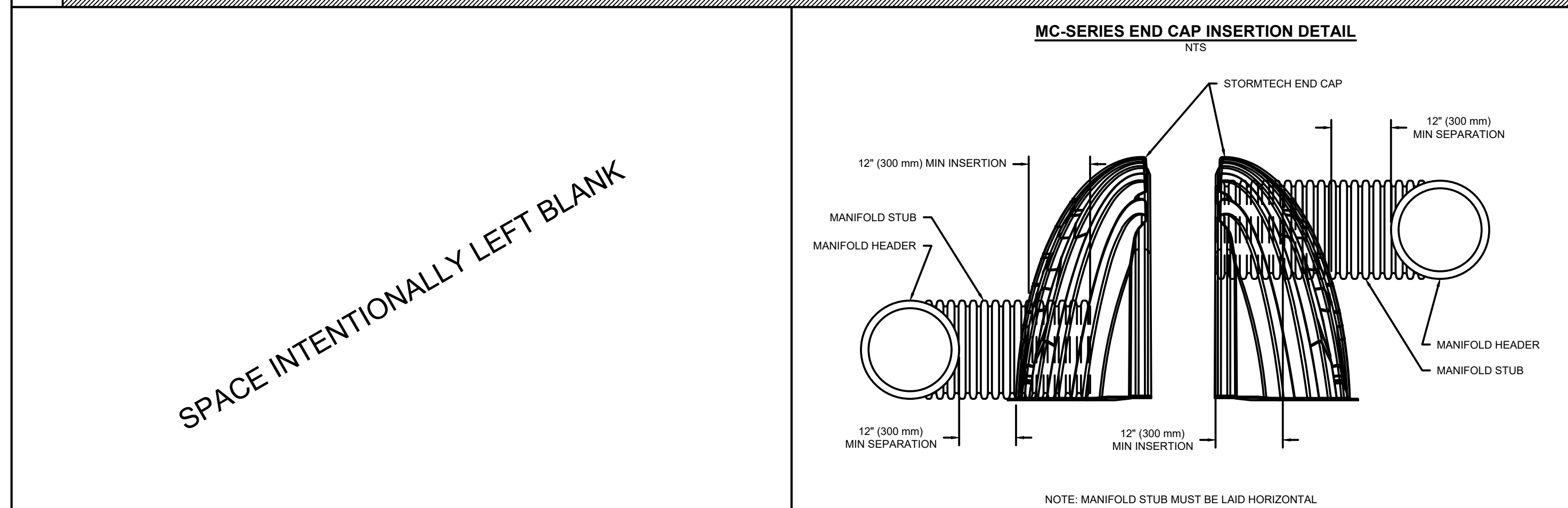
THE SITE DESIGN ENGINEER MUST PROVIDE ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET.

THIS CHAMBER SYSTEM WAS DESIGNED WITHOUT SITE-SPECIFIC INFORMATION ON SOIL CONDITIONS OR BEARING CAPACITY. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR DETERMINING THE SUITABILITY OF THE SOIL AND PROVIDING THE BEARING CAPACITY OF THE INSITU SOILS. THE BASE STONE DEPTH MAY BE INCREASED OR DECREASED ONCE THIS INFORMATION IS PROVIDED.

NOT FOR CONSTRUCTION: THIS LAYOUT IS FOR DIMENSIONAL PURPOSES ONLY TO PROVE CONCEPT & THE REQUIRED STORAGE VOLUME CAN BE ACHIEVED ON SITE.



3 MC-3500 ISOLATOR ROW PLUS DETAIL



4 MC-SERIES END CAP INSERTION DETAIL

MC-3500 TECHNICAL SPECIFICATION

NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)	77.0" X 45.0" X 86.0" (1956 mm X 1143 mm X 2184 mm)
CHAMBER STORAGE	109.9 CUBIC FEET (3.11 m³)
MINIMUM INSTALLED STORAGE*	175.0 CUBIC FEET (4.96 m³)
WEIGHT	154 lbs. (69.8 kg)

NOMINAL END CAP SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)	75.0" X 45.0" X 22.2" (1905 mm X 1143 mm X 564 mm)
END CAP STORAGE	14.8 CUBIC FEET (0.42 m³)
MINIMUM INSTALLED STORAGE*	45.1 CUBIC FEET (1.28 m³)
WEIGHT	49 lbs. (22.2 kg)

*ASSUMES 12" (305 mm) STONE ABOVE, 6" (229 mm) STONE FOUNDATION, 6" SPACING BETWEEN CHAMBERS, 6" (152 mm) STONE PERIMETER IN FRONT OF END CAPS AND 40% STONE POROSITY

STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B" STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "C" END CAPS WITH A WELDED CROWN PLATE END WITH "C" END CAPS WITH A PREFABRICATED WELDED STUB END WITH "A"

PART #	STUB	B	C
MC3500EP10B	6" (150 mm)	33.21" (844 mm)	—
MC3500EP10C	—	—	0.66" (17 mm)
MC3500EP10B	6" (200 mm)	31.18" (791 mm)	—
MC3500EP10C	—	—	0.61" (16 mm)
MC3500EP10B	10" (250 mm)	29.02" (738 mm)	—
MC3500EP10C	—	—	0.93" (24 mm)
MC3500EP12B	12" (300 mm)	26.38" (670 mm)	—
MC3500EP12C	—	—	1.35" (34 mm)
MC3500EP15B	15" (375 mm)	23.30" (594 mm)	—
MC3500EP15C	—	—	1.50" (38 mm)
MC3500EP18B	18" (450 mm)	20.03" (509 mm)	—
MC3500EP18C	—	—	1.77" (45 mm)
MC3500EP24B	24" (600 mm)	14.48" (368 mm)	—
MC3500EP24C	—	—	2.06" (52 mm)
MC3500EP30B	30" (750 mm)	—	2.78" (70 mm)

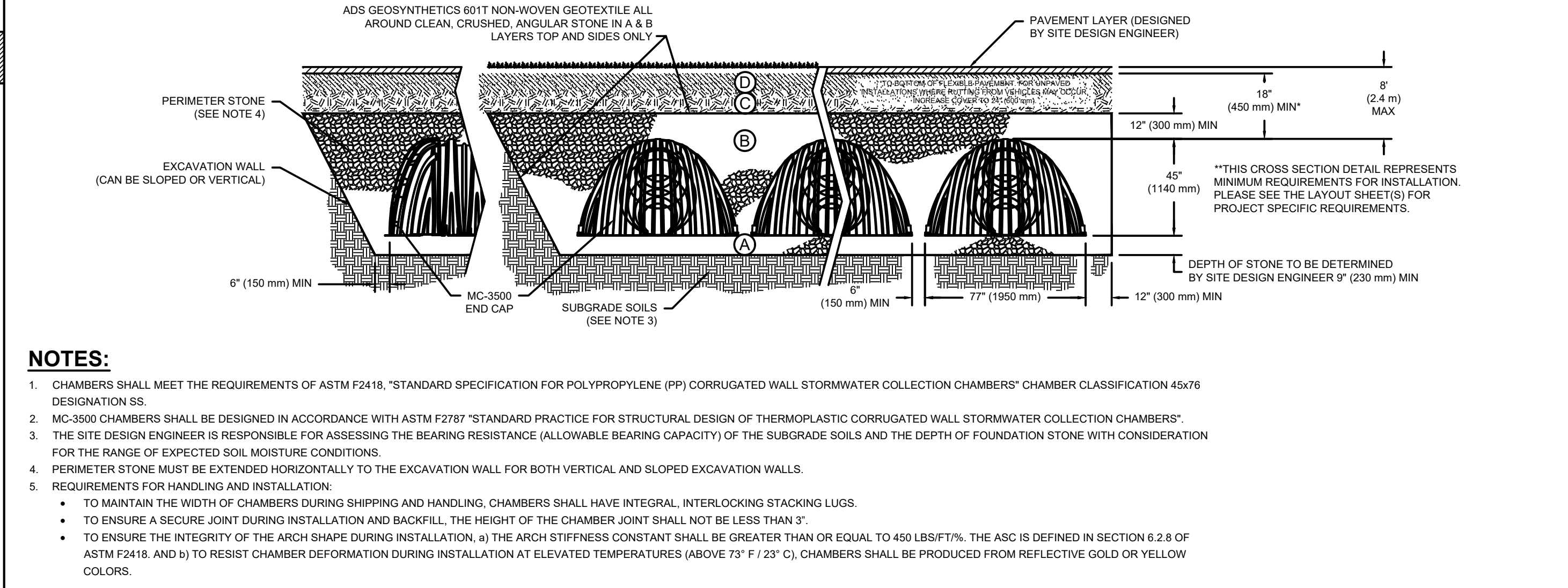
NOTE: ALL DIMENSIONS ARE NOMINAL.

2 MC-3500 TECHNICAL SPECIFICATION

ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FILL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNIMPROVED GRADE. ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE (IF LAYERS TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER). NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M1465 ¹ A-1, A-2.4, A-3 OR AASHTO M43 ¹	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 90% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A) LAYERS TO THE 'C' LAYER ABOVE.	AASHTO M43 ¹ 3, 3S7, 4, 467, 5, 56, 57, 6, 67, 68, 7, 76, 8, 89, 9, 10	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ¹ 3, 3S7, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE, "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR A LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERS WITH A VIBRATORY COMPACTOR.
3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAMPING OR DRAGGING WITHOUT COMPACTOR EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
4. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.
5. WHERE RECYCLED CONCRETE AGGREGATE IS USED IN LAYERS 'A' OR 'B' THE MATERIAL SHOULD ALSO MEET THE ACCEPTABILITY CRITERIA OUTLINED IN TECHNICAL NOTE 6.20 'RECYCLED CONCRETE STRUCTURAL BACKFILL'.



1 MC-3500 CROSS SECTION DETAIL

NOTES:

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 4576 DESIGNATION B5.
- MC-3500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3/4".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 450 LB/FT². THE ABC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418. (AND B) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES ABOVE 73° F / 23° C, CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

DRAWN: MB DATE: _____

CHECKED: N/A PROJECT #: _____

REV: _____

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SANTA BARBARA, CA, USA

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Chamber System
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SHEET
2 OF 2

NOT TO SCALE

THE DRAWING HAS BEEN PREPARED BASED ON INFORMATION PROVIDED TO ADS UNDER THE DIRECTION OF THE SITE DESIGN ENGINEER OR OTHER PROJECT REPRESENTATIVE. THE SITE DESIGN ENGINEER SHALL REVIEW THIS DRAWING PRIOR TO CONSTRUCTION. IT IS THE ULTIMATE RESPONSIBILITY OF THE SITE DESIGN ENGINEER TO ENSURE THAT THE PRODUCT(S) DEPICTED AND ALL ASSOCIATED DETAILS MEET ALL APPLICABLE LAWS, REGULATIONS, AND PROJECT REQUIREMENTS.

ARKLEY RESIDENCE

LANDSCAPE CONSTRUCTION DOCUMENTS

606 SEA RANCH DRIVE
SANTA BARBARA, CA. 93109

CONSULTANTS:

NOTE: THE STRUCTURAL PLANS AND DETAILS FOR ALL LANDSCAPE CONSTRUCTION AND HARDSCAPE ELEMENTS ARE BY OTHERS. STRUCTURAL SPECIFICATIONS & DETAILING, GEOTECHNICAL ENGINEERING, AND GRADING AND DRAINAGE CALCULATIONS ARE NOT A PART OF S.A. FAUSSET - LANDSCAPE ARCHITECT'S SCOPE OF WORK.

ARCHITECT: PACIFIC ARCHITECTS
1117 COAST VILLAGE ROAD
MONTECITO, CA 93108
805-565-3640

GENERAL CONTRACTOR: YOUNG CONSTRUCTION
9 ASHLEY AVENUE
SANTA BARBARA, CA. 93103
805-963-6787

ENGINEER: BRAUN & ASSOCIATES INC.
92 2ND ST. SUITE F
BUELLTON, CA 93427,
805-688-5429

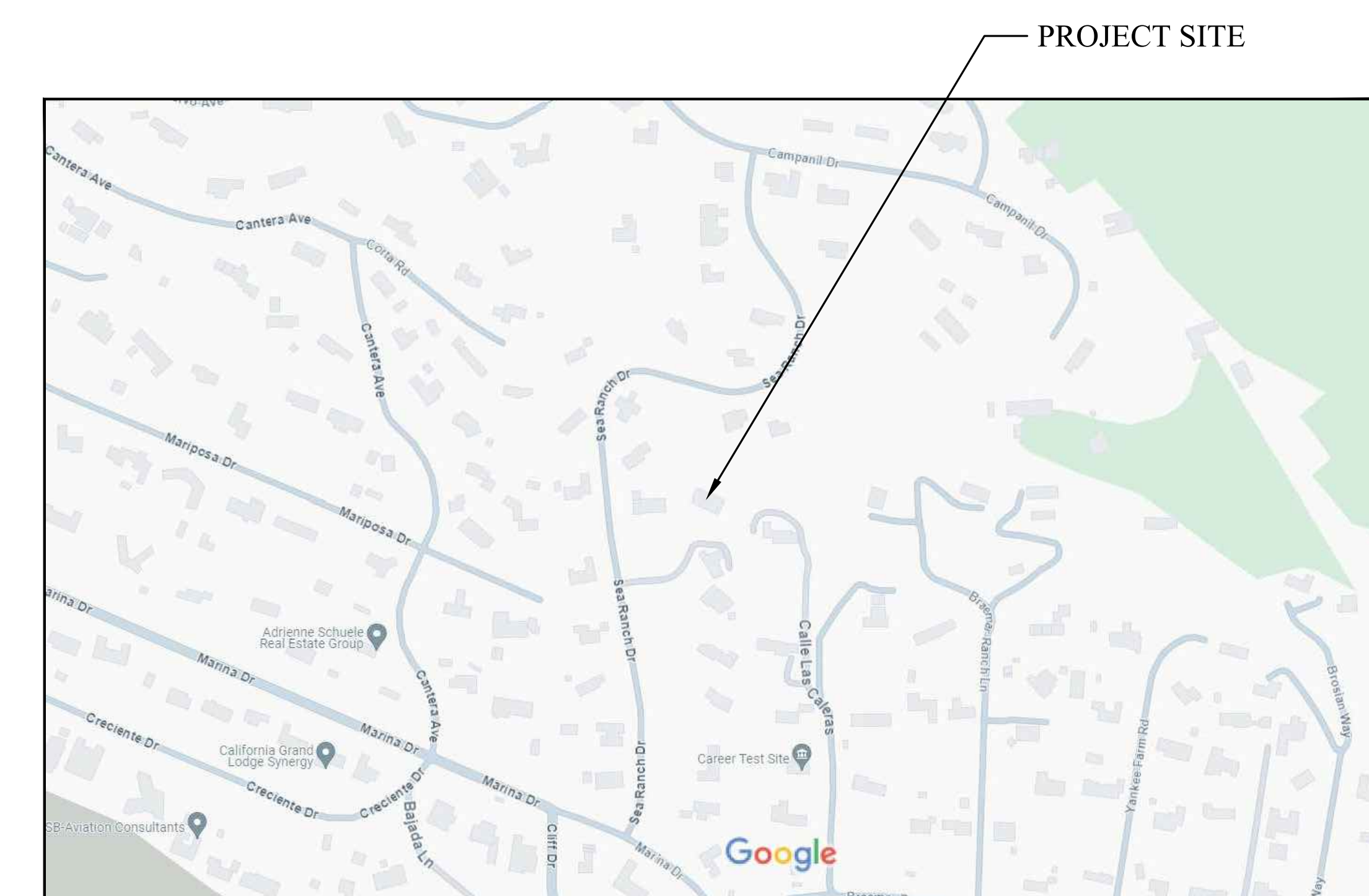
SHEET INDEX:

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L-10-12	SPECIFICATIONS
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L-15-18	CONSTRUCTION DETAILS
L-19	POOL & SPA PLAN
L-20-21	LANDSCAPE IRRIGATION ZONE PLAN
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L-26-27	PLANTING PLAN
L-28-29	PLANTING DETAILS
L-30	LIGHTING PLAN
L-31-32	LIGHTING DETAILS

SITE INFORMATION:

APN: 047-104-002

SITE ACREAGE: 1.11 ACRES



VICINITY MAP



S.A. FAUSSET-LANDSCAPE ARCHITECT, INC.

163 Nob Hill Lane, Ventura, California 93003
Direct: 805-340-7595 Office/Fax: 805-642-2877
E-mail: stacy@salandscape.com



TITLE SHEET

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ARKLEY RESIDENCE

616 SEA RANCH DRIVE
SANTA BARBARA, CA. 93109

REVISIONS

ISSUED FOR:
CITY OF SANTA BARBARA

DATE
JULY 19, 2024
DESIGNED BY/DRAFTED BY
SAF / KLD
SCALE
N.T.S.
PROJECT NO.
22-310
DRAWING NO.
SAF-02066
SHEET

L-1



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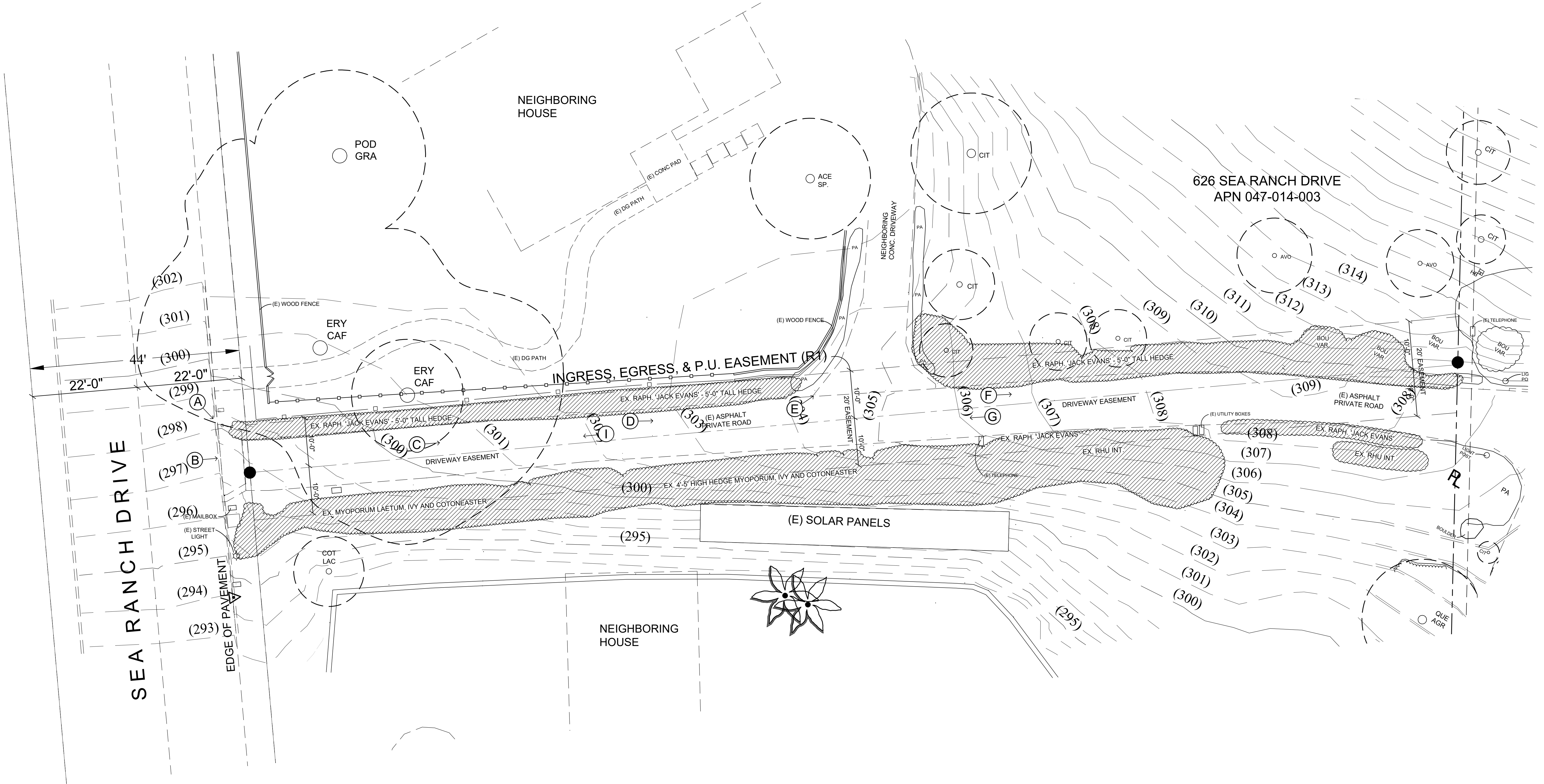
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DATE: JULY 19, 2024
 DESIGNED BY/DRAFTED BY: SAF / TCB
 SCALE: 1" = 10'-0"
 PROJECT NO.: 22-310
 DRAWING NO.: SAF-01844
 SHEET

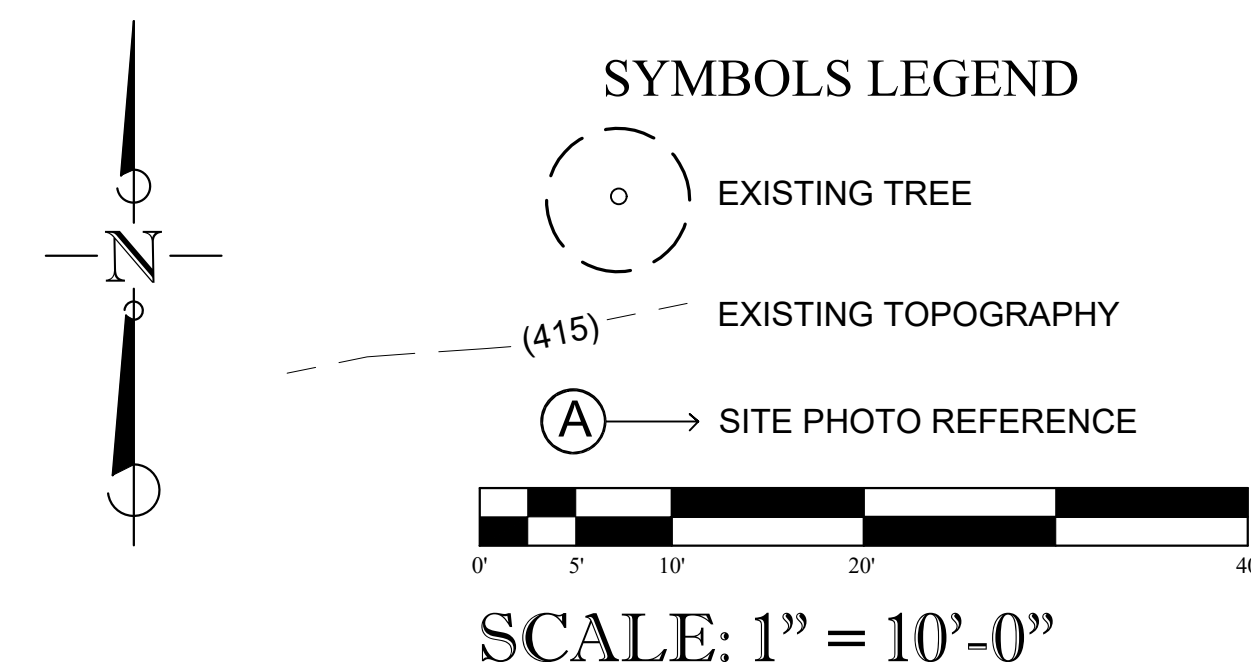
L-2

EXISTING TREES AND SHRUBS

ABBREV.	BOTANICAL NAME	COMMON NAME
ACE SP.	ACER SPECIES	MAPLE SPECIES
AVO	PERSEA AMERICANA	AVOCADO TREE
BOU VAR	BOUGAINVILLEA VARIETY	BOUGAINVILLEA
CIT	CITRUS VARIETY	CITRUS
COT LAC	COTONEASTER LACTEUS	PARNEY COTONEASTER
ERY CAF	ERYTHRINA CAFFRA	CORAL TREE
RAP IND	RHAPHIOLEPIS INDICA 'JACK EVANS'	PINK INDIAN HAWTHORN
RHU INT	RHUS INTEGRIFOLIA	LEMONADE BERRY
POD GRA	PODOCARPUS GRACILIOR	FERN PINE
QUE AGR	QUERCUS AGRIFOLIA	COAST LIVE OAK



ORIGINAL SURVEY INFORMATION OBTAINED FROM:
 PROBER LAND SURVEYING
 CONTACT INFO: 645 FLORA VISTA DRIVE. (805) 452-9690
 APN NO: 047-104-002
 DATE: OCTOBER 27, 2021





S.A. FAUSSET-LANDSCAPE ARCHITECT, INC.
 163 Nob Hill Lane, Ventura, California 93003
 Direct: 805-340-7595 Office/Fax: 805-642-2877
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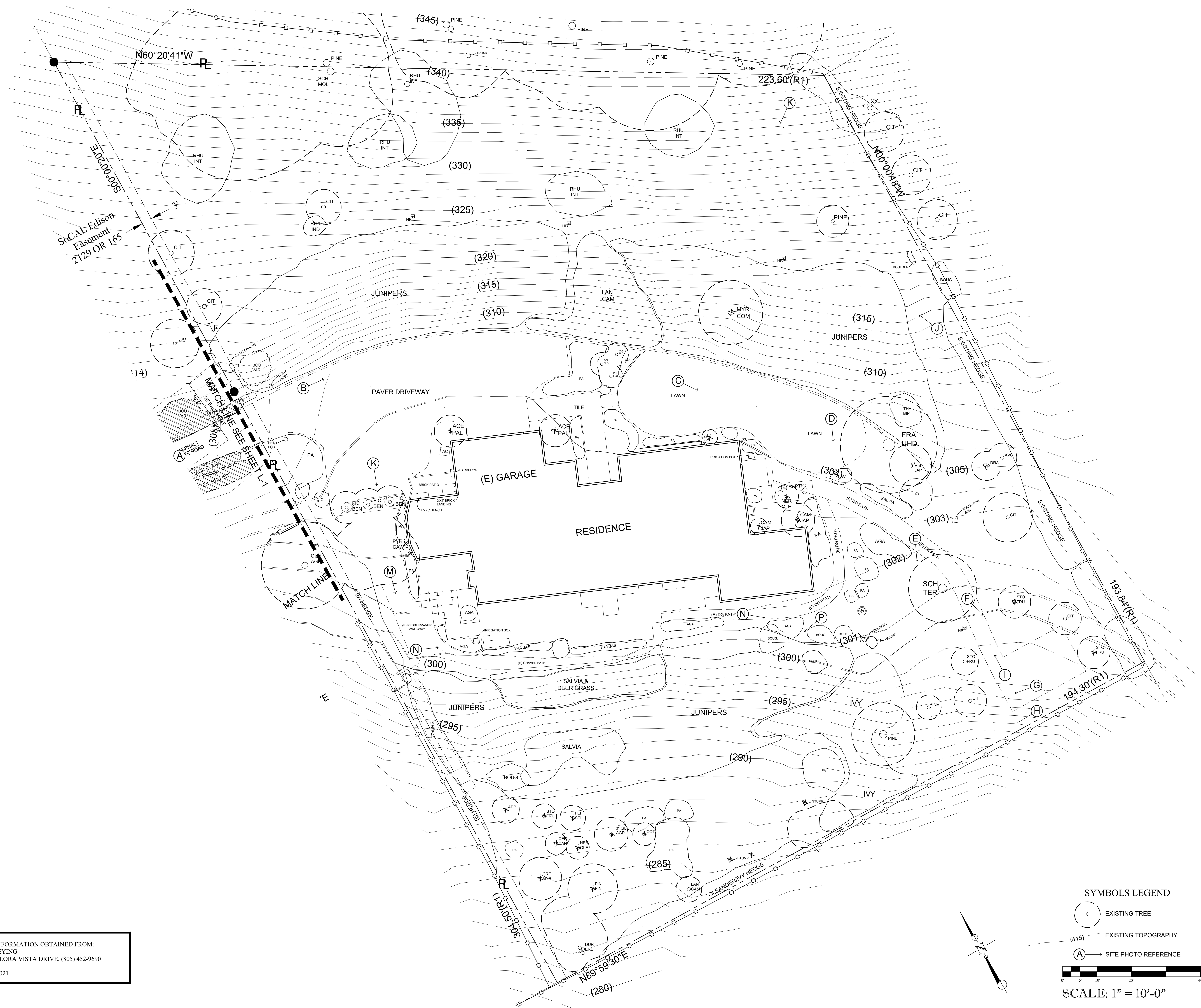
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22-310
 DRAWING NO.:
SAF-01844
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L-3



SYMBOLS LEGEND

- EXISTING TREE
- EXISTING TOPOGRAPHY
- SITE PHOTO REFERENCE

SCALE: 1" = 10'-0"

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 PROBER LAND SURVEYING
 CONTACT INFO: 645 FLORA VISTA DRIVE. (805) 452-9690
 APN NO: 047-104-002
 DATE: OCTOBER 27, 2021



A



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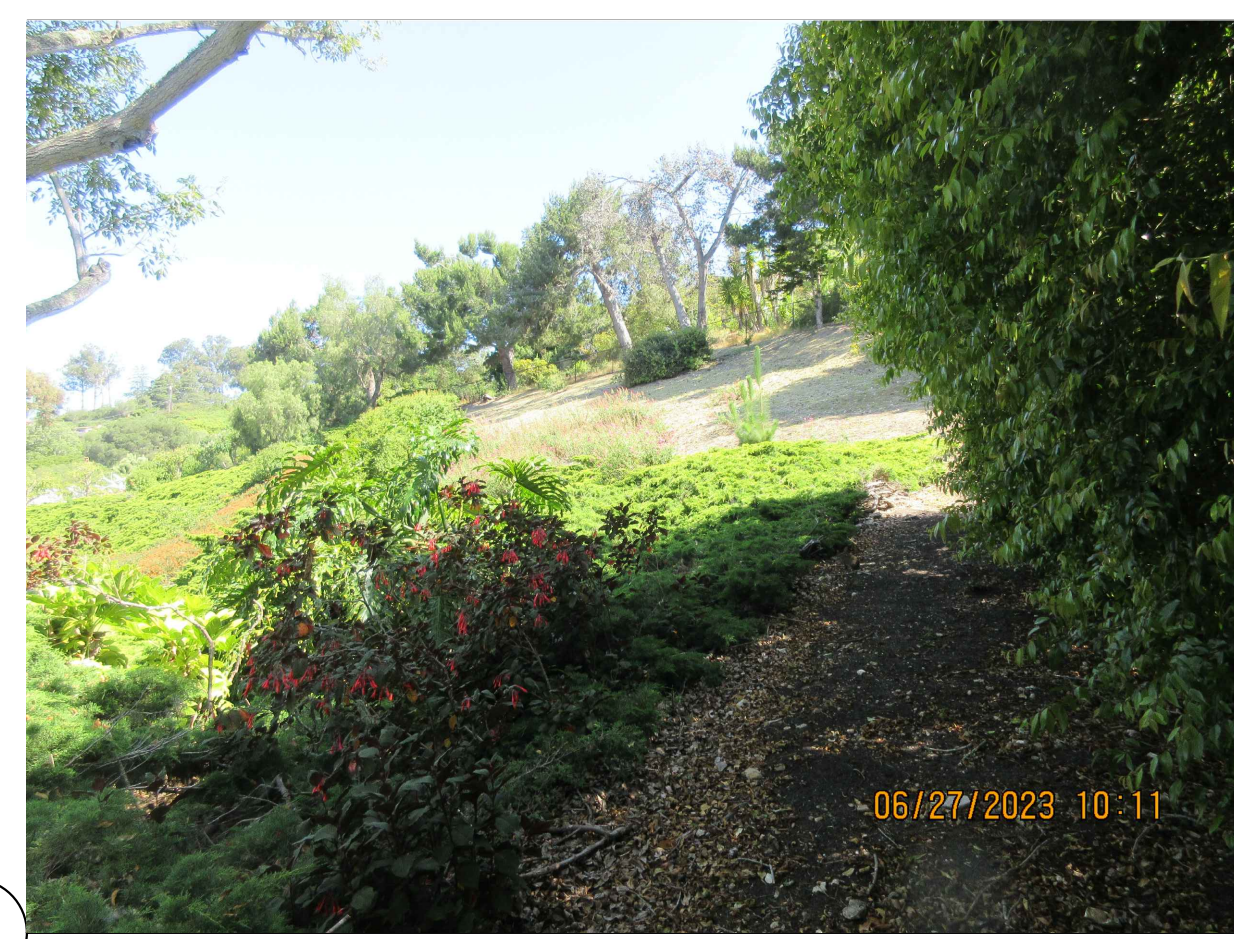
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H



I



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K



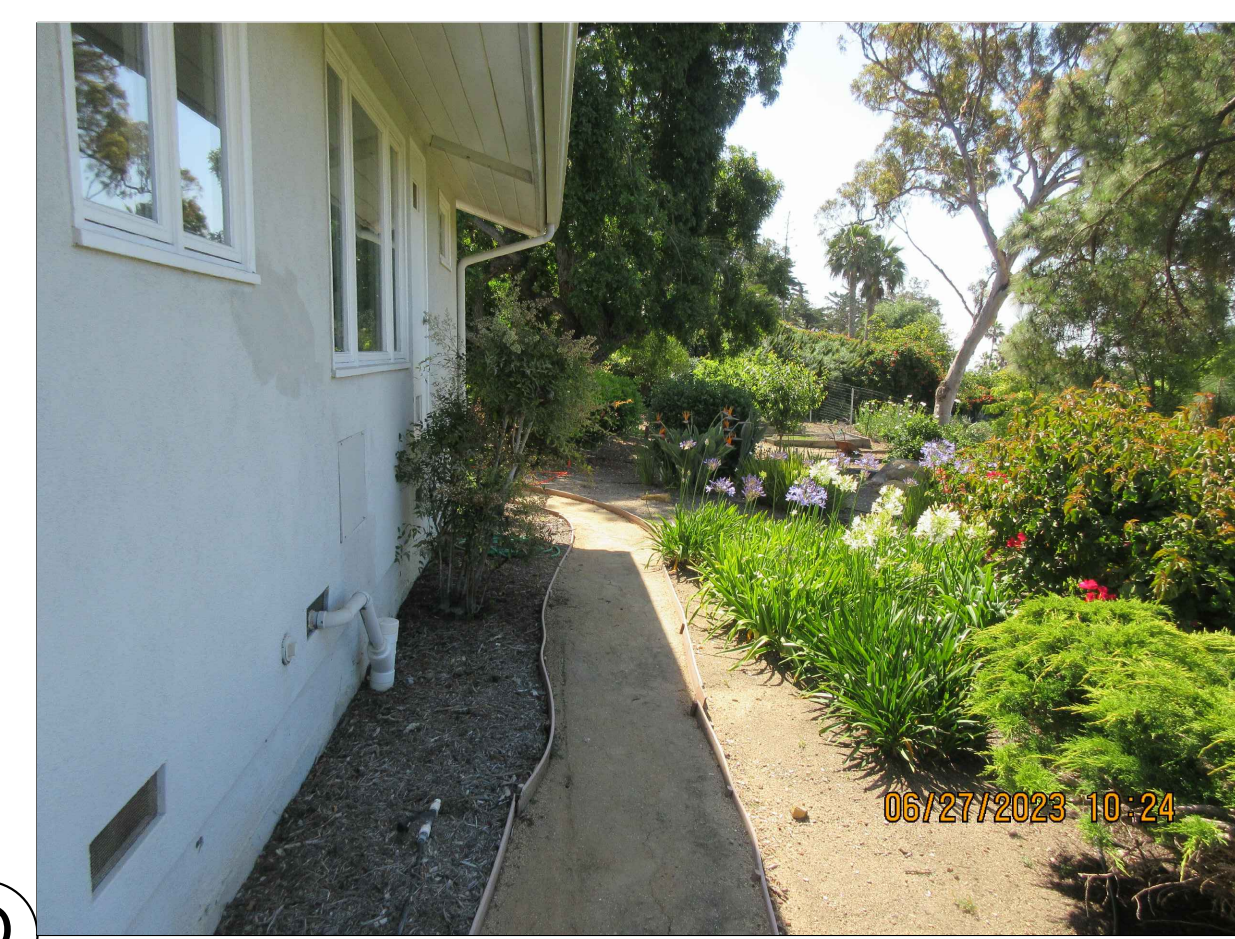
L



M



N



O



P



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SITE PHOTOS

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 SAF-02036
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L-4

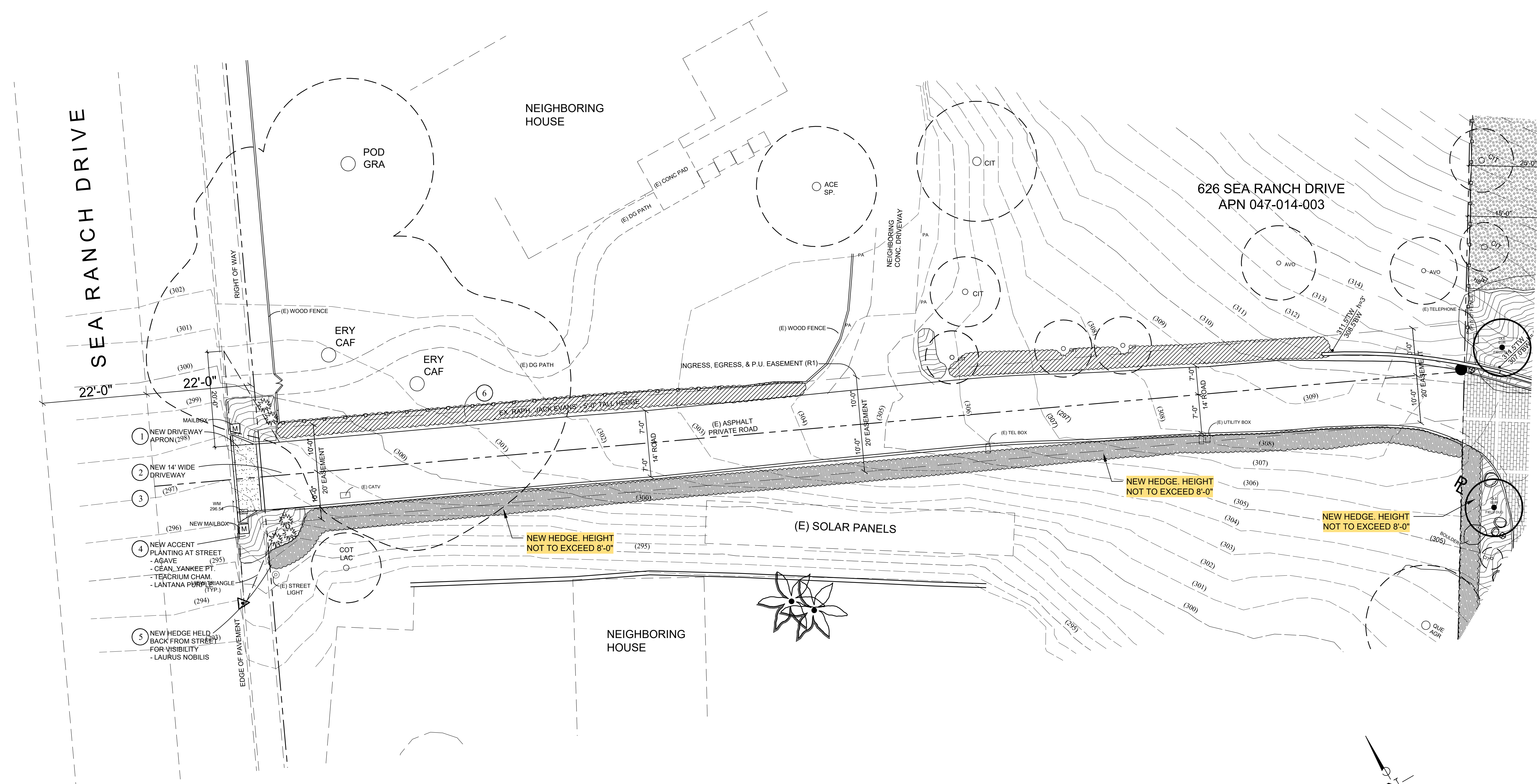
SEE EXISTING CONDITIONS PLAN, SHEET L-3 FOR PHOTO SHOT LOCATIONS

KEYNOTES LEGEND

1. NEW CONCRETE APRON AT STREET
2. NEW 14' WIDE ASPHALT OR PERMABLE CONCRETE PAVEMENT DRIVEWAY
3. NEW MAILBOX OUT OF VIEW TRIANGLE
4. NEW ACCENT PLANTING AT STREET
5. NEW LAURUS NOBILIS SCREEN HEDGE
6. EXISTING RHAPHIOLEPSIS TO REMAIN

SYMBOLS LEGEND

- EXISTING TREE
- EXISTING TREE TO BE REMOVED
- PROPOSED TREE TRUNK
- EXISTING TOPOGRAPHY
- PROPOSED TOPOGRAPHY



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CONCEPTUAL LANDSCAPE PLAN

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 22-310
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L-5



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CONCEPTUAL
 LANDSCAPE
 PLAN

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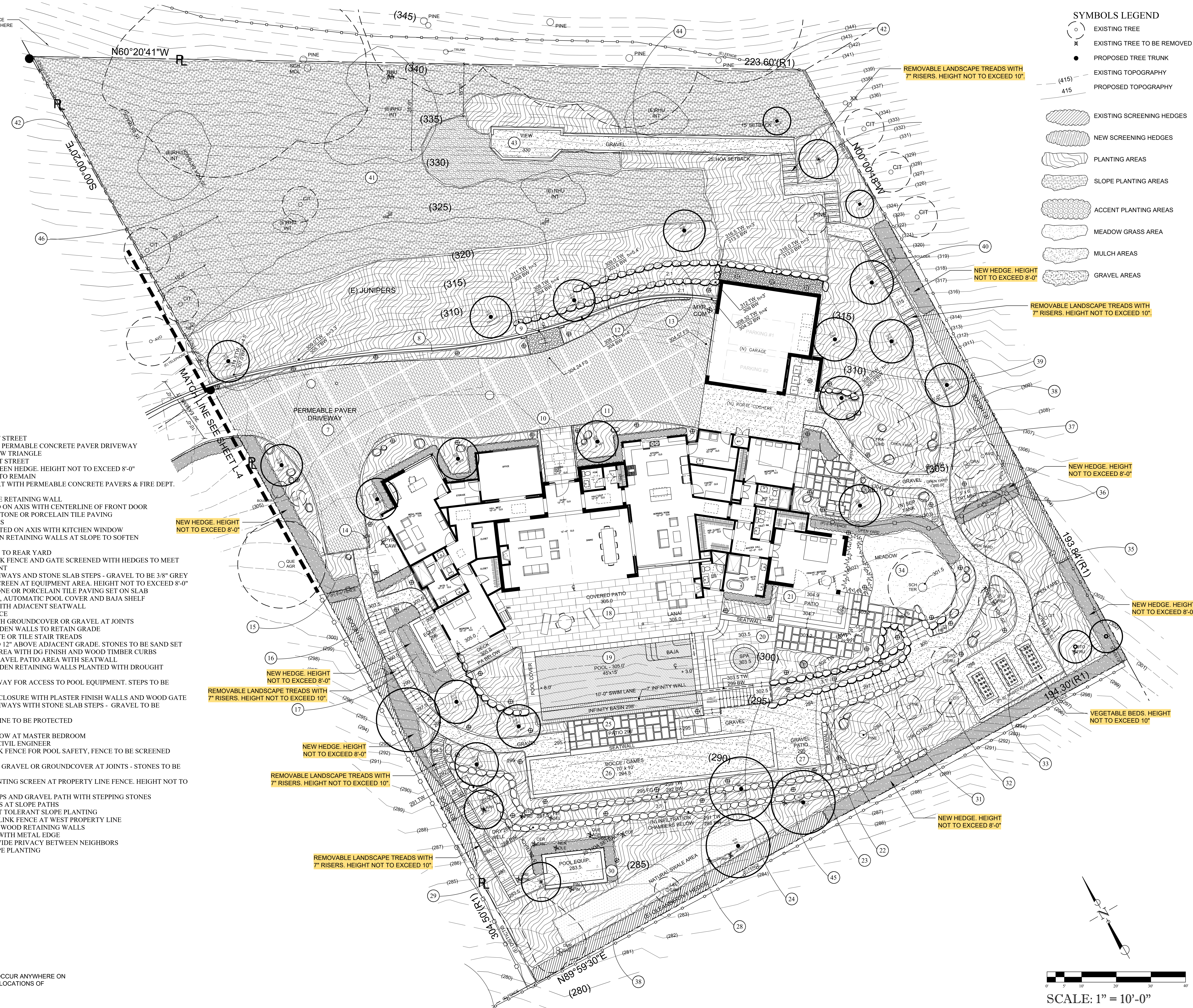
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 DRAWING NO.
 SAF-01998
 SHEET

L-6

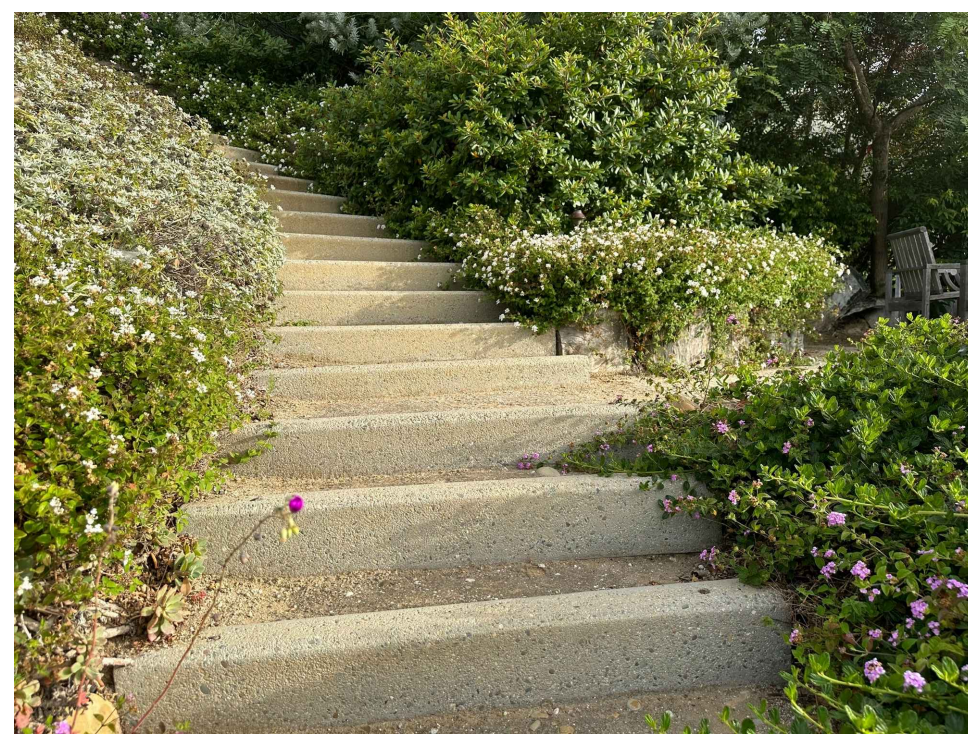
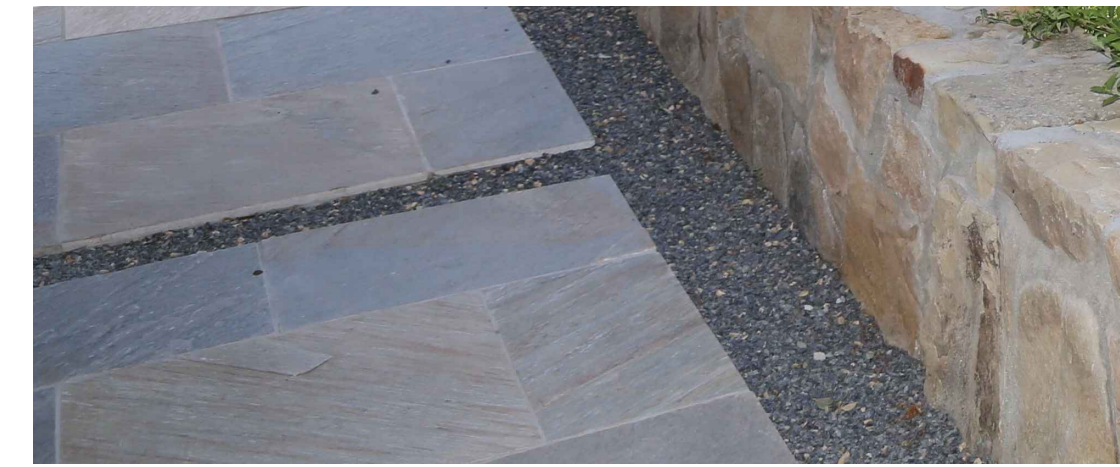
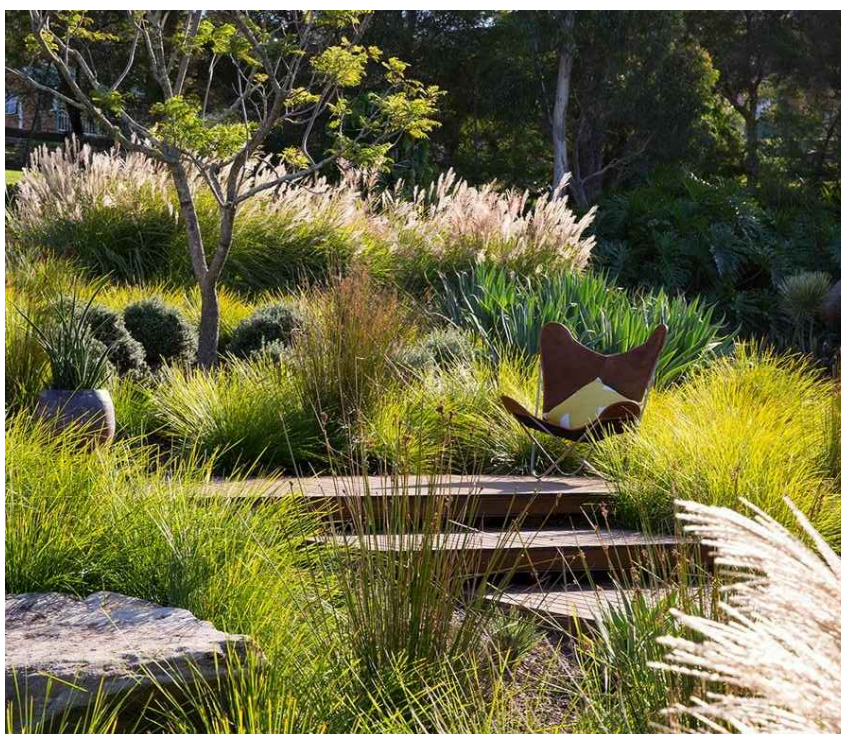
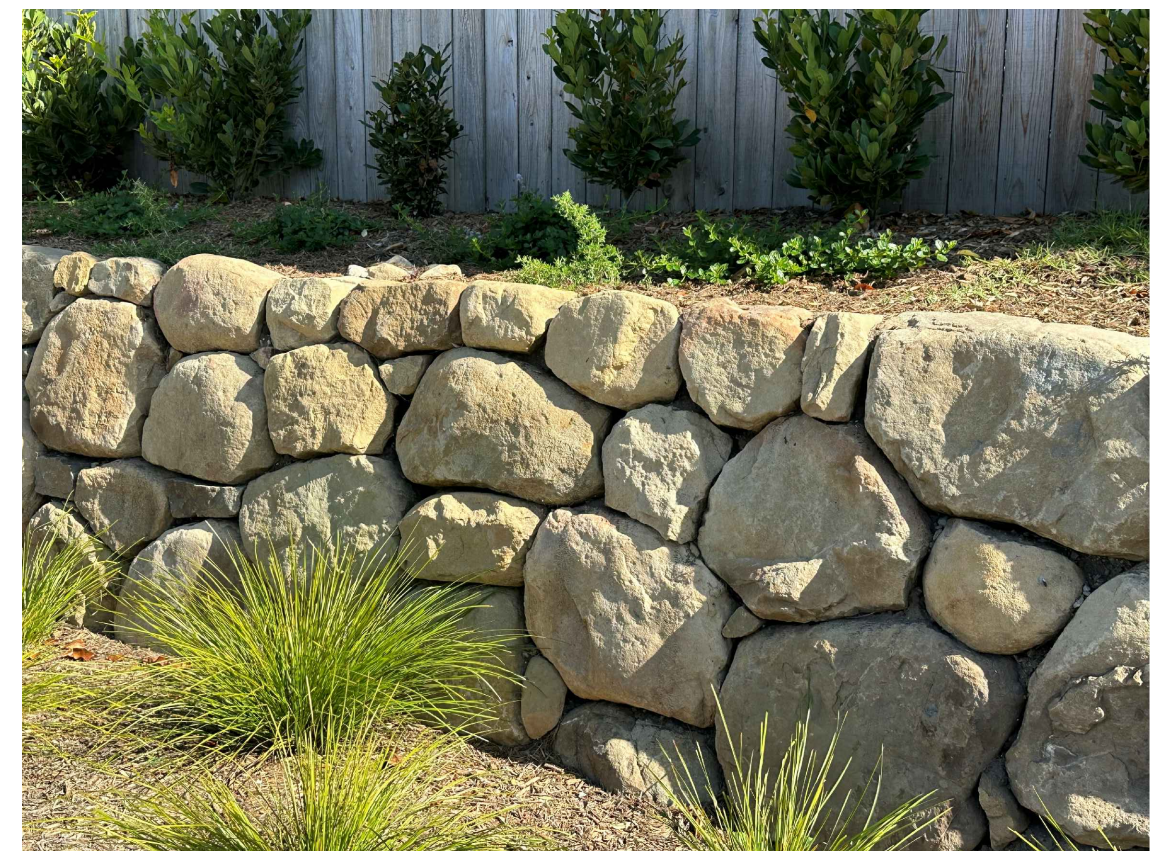
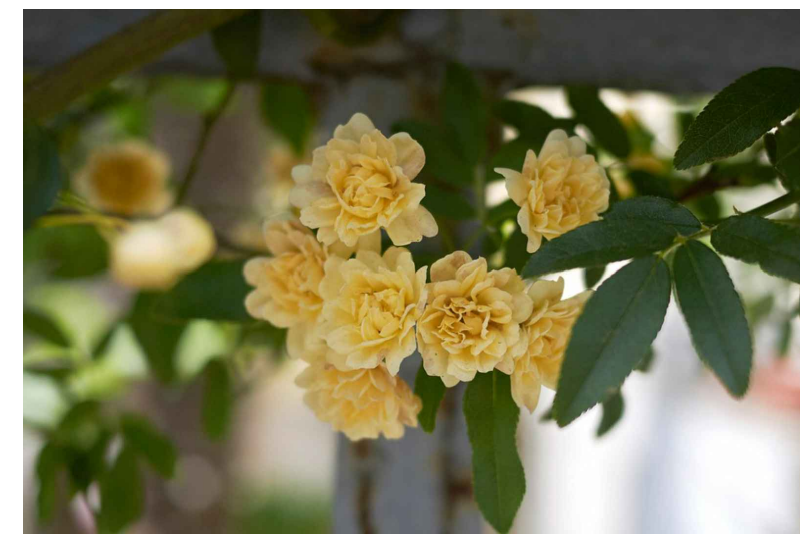
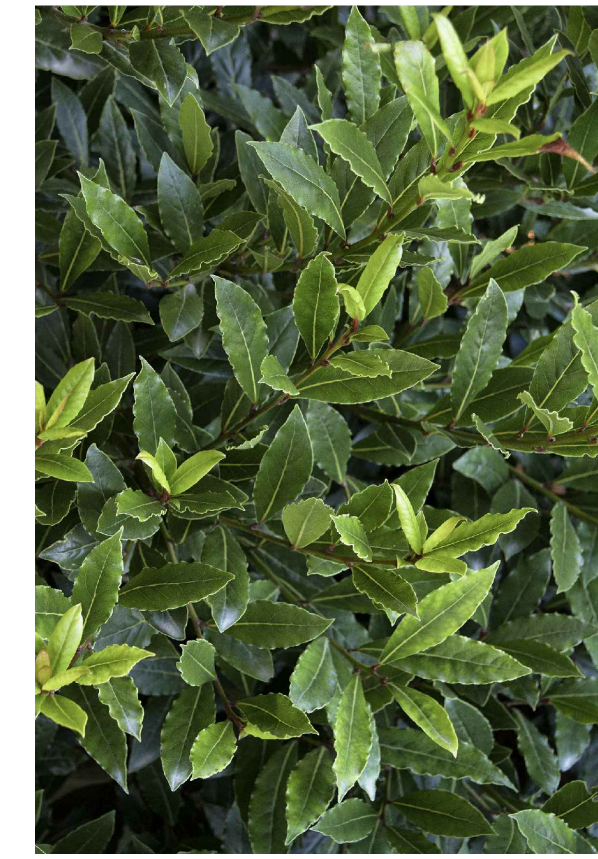
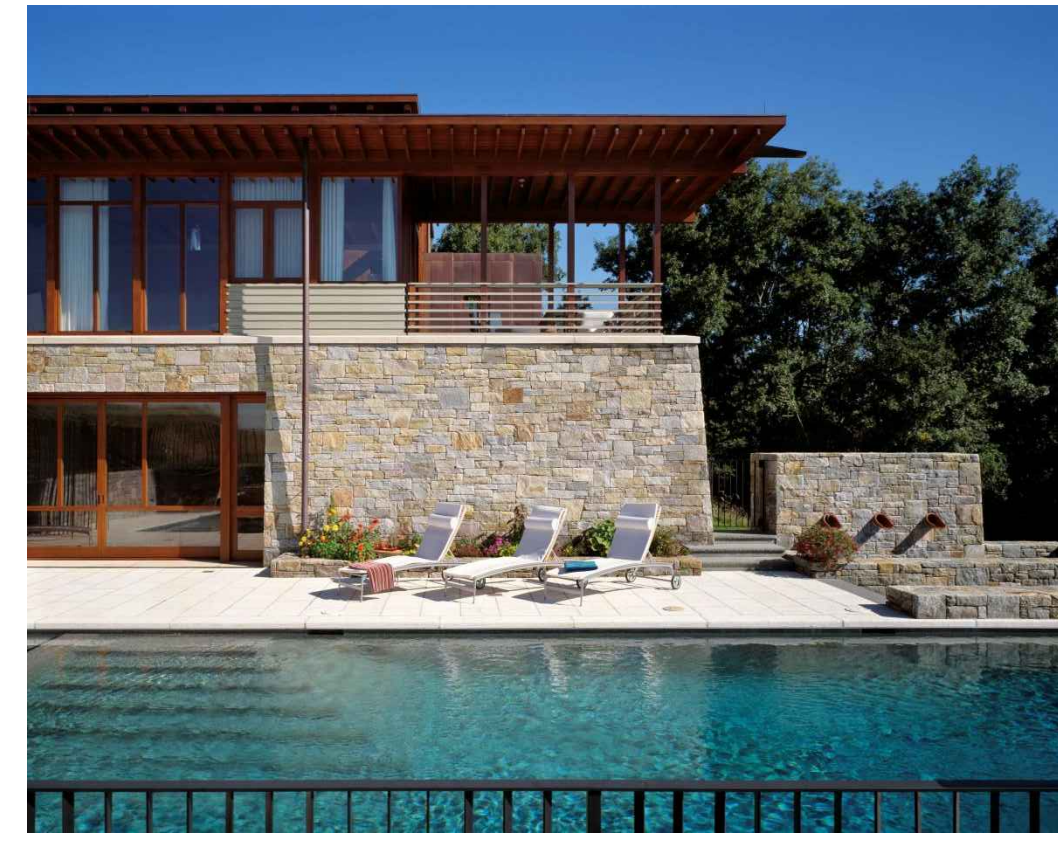
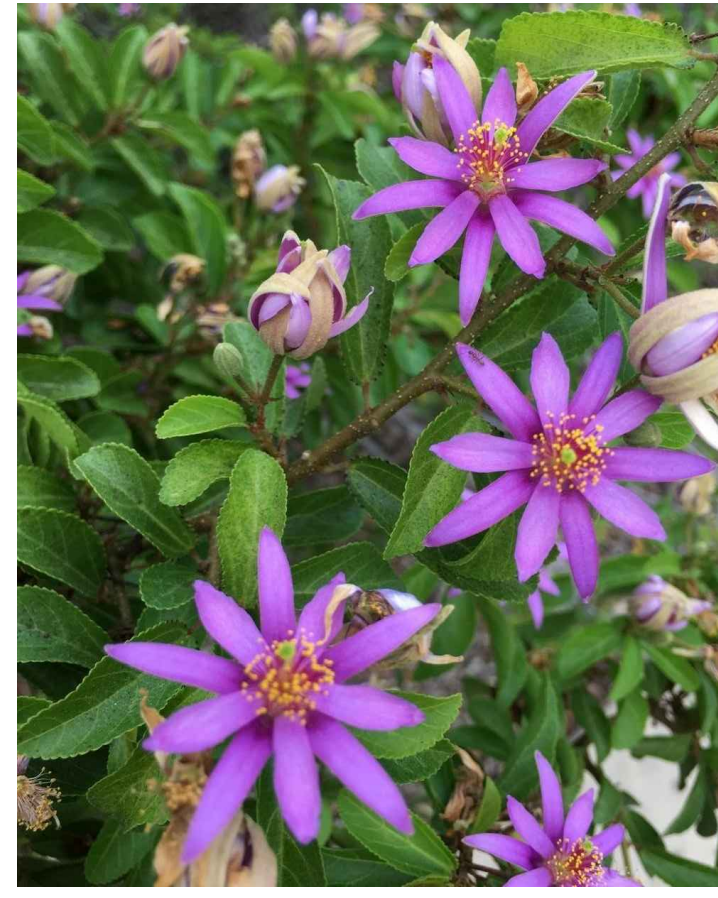
SYMBOLS LEGEND

- EXISTING TREE
- EXISTING TREE TO BE REMOVED
- PROPOSED TREE TRUNK
- EXISTING TOPOGRAPHY
- PROPOSED TOPOGRAPHY
- EXISTING SCREENING HEDGES
- NEW SCREENING HEDGES
- PLANTING AREAS
- SLOPE PLANTING AREAS
- ACCENT PLANTING AREAS
- MEADOW GRASS AREA
- MULCH AREAS
- GRAVEL AREAS

- KEYNOTES LEGEND**
1. NEW CONCRETE APRON AT STREET
 2. NEW 14" WIDE ASPHALT OR PERMEABLE CONCRETE PAVER DRIVEWAY
 3. NEW MAILBOX OUT OF VIEW TRIANGLE
 4. NEW ACCENT PLANTING AT STREET
 5. NEW LAURUS NOBILIS SCREEN HEDGE. HEIGHT NOT TO EXCEED 8'-0"
 6. EXISTING RHAPHIOLEPIS TO REMAIN
 7. DRIVEWAY & MOTORCOURT WITH PERMEABLE CONCRETE PAVERS & FIRE DEPT. TURNAROUND
 8. PLASTER FINISH CONCRETE RETAINING WALL
 9. FOCAL ELEMENT LOCATED ON AXIS WITH CENTERLINE OF FRONT DOOR
 10. FRONT ENTRY PAVING IN STONE OR PORCELAIN TILE PAVING
 11. ACCENT PLANTING & TREES
 12. ACCENT TREE TO BE LOCATED ON AXIS WITH KITCHEN WINDOW
 13. DRY-STACK STONE GARDEN RETAINING WALLS AT SLOPE TO SOFTEN ARCHITECTURE
 14. PEDESTRIAN ACCESS PATH TO REAR YARD
 15. 5' BLACK VINYL CHAIN LINK FENCE AND GATE SCREENED WITH HEDGES TO MEET POOL SAFETY REQUIREMENT
 16. PERMEABLE GRAVEL PATHWAYS AND STONE SLAB STEPS - GRAVEL TO BE 3/8" GREY
 17. LAURUS NOBILIS PLANT SCREEN AT EQUIPMENT AREA. HEIGHT NOT TO EXCEED 8'-0"
 18. SOUTH TERRACE WITH STONE OR PORCELAIN TILE PAVING SET ON SLAB
 19. POOL WITH INFINITY EDGE, AUTOMATIC POOL COVER AND BAJA SHELF
 20. LOWERED SPA TERRACE WITH ADJACENT SEATWALL
 21. MASTER BEDROOM TERRACE
 22. STONE STEPPING PADS WITH GROUND COVER OR GRAVEL AT JOINTS
 23. DRY-STACKED STONE GARDEN WALLS TO RETAIN GRADE
 24. STAIRCASE WITH CONCRETE OR TILE STAIR TREADS
 25. STONE VIEW PATIO RAISED 12" ABOVE ADJACENT GRADE. STONES TO BE SAND SET
 26. BOCCIE OR YARD GAMES AREA WITH DG FINISH AND WOOD TIMBER CURBS
 27. ADJACENT PERMEABLE GRAVEL PATIO AREA WITH SEATWALL
 28. DRY-STACKED STONE GARDEN RETAINING WALLS PLANTED WITH DROUGHT TOLERANT PLANTS
 29. GRAVEL OR MULCH PATHWAY FOR ACCESS TO POOL EQUIPMENT. STEPS TO BE PRE-CAST CONCRETE
 30. CMU POOL EQUIPMENT ENCLOSURE WITH PLASTER FINISH WALLS AND WOOD GATE
 31. PERMEABLE GRAVEL PATHWAYS WITH STONE SLAB STEPS - GRAVEL TO BE SELECTED 3/8" GREY
 32. EXISTING FRUIT TREES & PINE TO BE PROTECTED
 33. RAISED VEGETABLE BEDS
 34. PRIVATE GARDEN & MEADOW AT MASTER BEDROOM
 35. SEPTIC & DRY WELLS PER CIVIL ENGINEER
 36. 5' BLACK VINYL CHAINLINK FENCE FOR POOL SAFETY. FENCE TO BE SCREENED WITH HEDGES
 37. OPEN STONE PAVING WITH GRAVEL OR GROUND COVER AT JOINTS - STONES TO BE SAND SET
 38. REINFORCE EXISTING PLANTING SCREEN AT PROPERTY LINE FENCE. HEIGHT NOT TO EXCEED 8'-0"
 39. TERRACE STONE SLAB STEPS AND GRAVEL PATH WITH STEPPING STONES
 40. PRE-CAST CONCRETE STEPS AT SLOPE PATHS
 41. EXISTING & NEW DROUGHT TOLERANT SLOPE PLANTING
 42. NEW BLACK VINYL CHAINLINK FENCE AT WEST PROPERTY LINE
 43. LOOKOUT WITH STONE OR WOOD RETAINING WALLS
 44. GRAVEL OR MULCH PATH WITH METAL EDGE
 45. EVERGREEN TREE TO PROVIDE PRIVACY BETWEEN NEIGHBORS
 46. DROUGHT TOLERANT SLOPE PLANTING



811
 Know what's below.
 Call 811 before you dig.
DIG ALERT
 IMPORTANT NOTE:
 NO EXCAVATION OF ANY KIND IS TO OCCUR ANYWHERE ON SITE WITHOUT FIRST VERIFYING THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES.



S.A. FAUSSET-LANDSCAPE ARCHITECT, INC.
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 Direct: 805-340-7595 Office/Fax: 805-642-2877
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LANDSCAPE DESIGN IMAGERY

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ARKLEY RESIDENCE
 616 SEA RANCH DRIVE
 SANTA BARBARA, CA. 93109

REVISIONS

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DATE
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 SCALE
 N.T.S.
 PROJECT NO.
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 DRAWING NO.
 SAF-01999
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L-7



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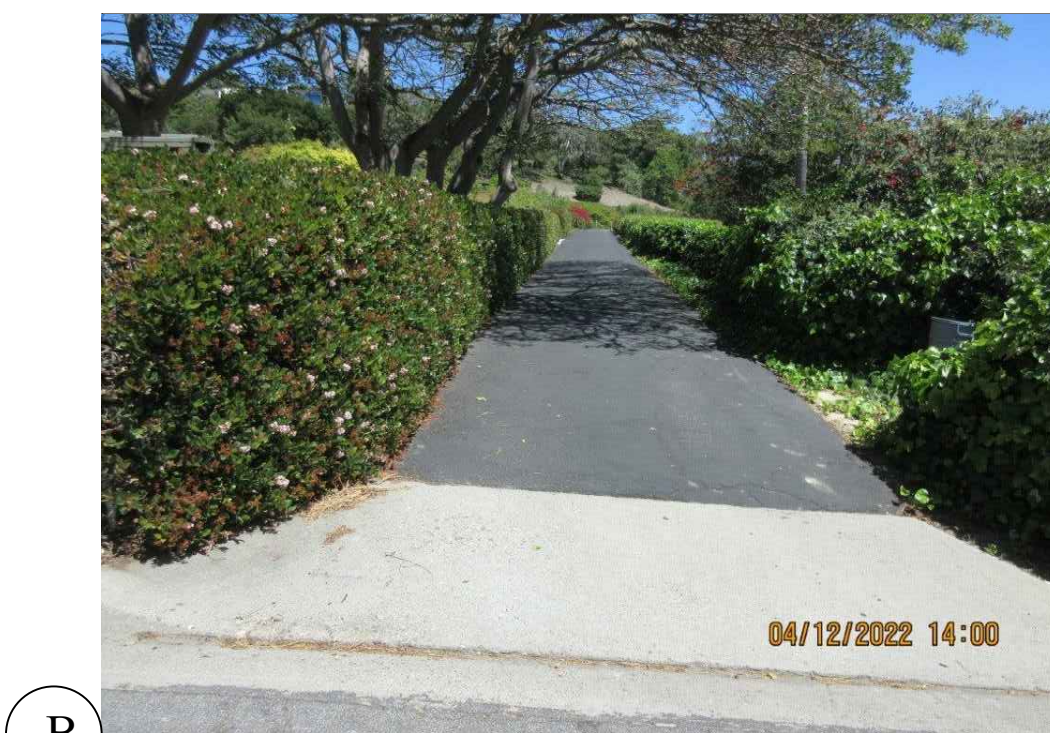
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 DRAWING NO.: SAF-02067
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L-8



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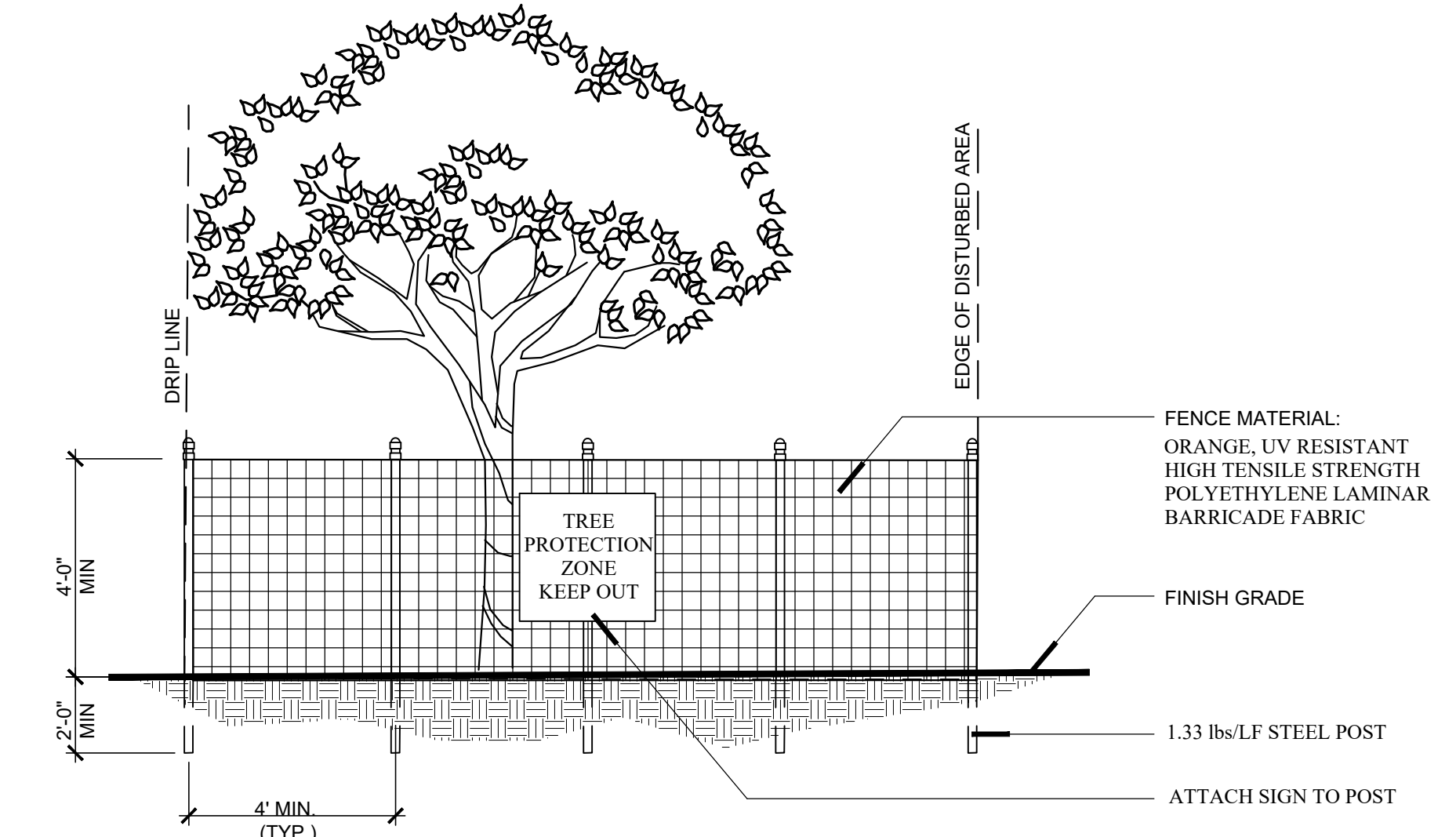
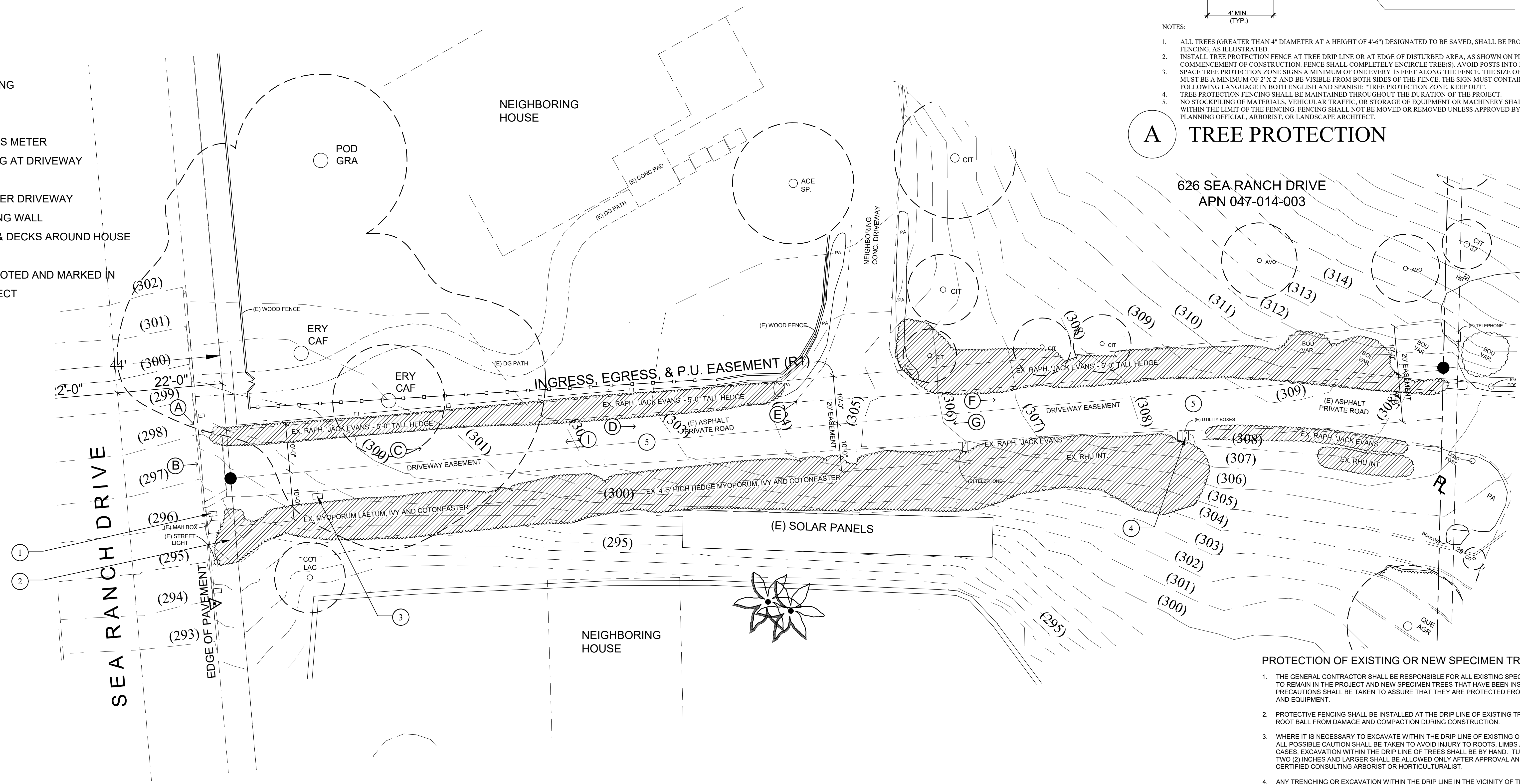
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C

D

DEMOLITION NOTES:

1. REMOVE EXISTING MAILBOX FOOTING
2. REMOVE IVY MASS & ROOTS
3. RELOCATED UTILITY BOX
4. RELOCATED TELEPHONE BOX & GAS METER
5. REMOVE EXISTING ASPHALT PAVING AT DRIVEWAY
6. REMOVE EXISTING LIGHT POSTS
7. REMOVE EXISTING CONCRETE PAVER DRIVEWAY
8. REMOVE EXISTING BLACK RETAINING WALL
9. REMOVE ALL HARDSCAPE PATIOS & DECKS AROUND HOUSE
10. REMOVE DG PATHS AND EDGING
11. REMOVE TREES AND PLANTS AS NOTED AND MARKED IN THE FIELD BY LANDSCAPE ARCHITECT



- NOTES:
1. ALL TREES (GREATER THAN 4" DIAMETER AT A HEIGHT OF 4'-6") DESIGNATED TO BE SAVED, SHALL BE PROTECTED BY FENCING, AS ILLUSTRATED.
 2. INSTALL TREE PROTECTION FENCE AT TREE DRIP LINE OR AT EDGE OF DISTURBED AREA, AS SHOWN ON PLANS, PRIOR TO COMMENCEMENT OF CONSTRUCTION. FENCE SHALL COMPLETELY ENCLOSE TREE(S). AVOID POSTS INTO MAJOR ROOTS. SPACE TREE PROTECTION ZONE SIGNS A MINIMUM OF ONE EVERY 15 FEET ALONG THE FENCE. THE SIZE OF EACH SIGN MUST BE A MINIMUM OF 2' X 2' AND BE VISIBLE FROM BOTH SIDES OF THE FENCE. THE SIGN MUST CONTAIN THE FOLLOWING LANGUAGE IN BOTH ENGLISH AND SPANISH: "TREE PROTECTION ZONE, KEEP OUT".
 3. TREE PROTECTION FENCING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.
 4. NO STOCKPILING OF MATERIALS, VEHICULAR TRAFFIC, OR STORAGE OF EQUIPMENT OR MACHINERY SHALL BE ALLOWED WITHIN THE LIMIT OF THE FENCING. FENCING SHALL NOT BE MOVED OR REMOVED UNLESS APPROVED BY THE CITY PLANNING OFFICIAL, ARBORIST, OR LANDSCAPE ARCHITECT.

A TREE PROTECTION N.T.S.

626 SEA RANCH DRIVE
 APN 047-014-003

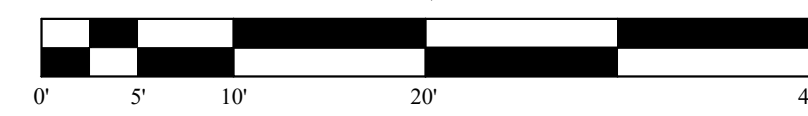
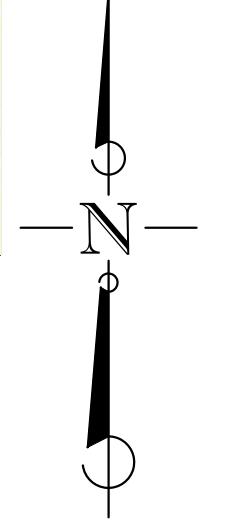
PROTECTION OF EXISTING OR NEW SPECIMEN TREES:

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING SPECIMEN TREES THAT ARE TO REMAIN IN THE PROJECT AND NEW SPECIMEN TREES THAT HAVE BEEN INSTALLED. ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO ASSURE THAT THEY ARE PROTECTED FROM DAMAGE BY WORKERS AND EQUIPMENT.
2. PROTECTIVE FENCING SHALL BE INSTALLED AT THE DRIP LINE OF EXISTING TREES TO PROTECT THE ROOT BALL FROM DAMAGE AND COMPACTION DURING CONSTRUCTION.
3. WHERE IT IS NECESSARY TO EXCAVATE WITHIN THE DRIP LINE OF EXISTING OR NEW SPECIMEN TREES, ALL POSSIBLE CAUTION SHALL BE TAKEN TO AVOID INJURY TO ROOTS, LIMBS AND TRUNKS. IN ALL CASES, EXCAVATION WITHIN THE DRIP LINE OF TREES SHALL BE BY HAND. TUNNELING UNDER ROOTS TWO (2) INCHES AND LARGER SHALL BE ALLOWED ONLY AFTER APPROVAL AND DIRECTION BY A CERTIFIED CONSULTING ARBORIST OR HORTICULTURIST.
4. ANY TRENCHING OR EXCAVATION WITHIN THE DRIP LINE IN THE VICINITY OF TREES SHALL BE BACKFILLED WITHIN 24 HOURS. WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE EXCAVATION ADJACENT TO THE TREE SHALL BE KEPT COVERED WITH MOIST BURLAP OR A BREATHABLE CANVAS. PLASTIC SHALL NOT BE USED TO COVER ROOT ZONES DUE TO ITS ANAEROBIC NATURE.
5. THE CONTRACTOR SHALL INSURE THAT WASH OUT AREAS OCCUR WITHIN THE DRIP LINE OF ANY TREE AND THAT NO FOREIGN MATERIAL AND/OR LIQUID, SUCH AS PAINT, CONCRETE, CEMENT, OIL, TURPENTINE, ACID OR THE LIKE, BE ALLOWED TO CONTAMINATE ANY SOIL WITHIN THE DRIP LINE. IF SUCH CONTAMINATION SHOULD OCCUR, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING THE SOIL UNDER THE DIRECTION OF A CERTIFIED CONSULTING ARBORIST OR HORTICULTURIST, AT NO EXPENSE TO THE OWNER.
6. ANY AND ALL DAMAGE TO EXISTING TREES SHALL BE REPAIRED BY THE RESPONSIBLE PARTY AT NO EXPENSE TO THE OWNER. REPAIR OR REPLACEMENT SHALL BE DETERMINED BY A QUALIFIED ARBORIST OR HORTICULTURIST.
7. EXISTING IRRIGATION SYSTEMS AT EXISTING OR NEW SPECIMEN TREES SHALL BE MAINTAINED IN WORKING ORDER FOR THE DURATION OF CONSTRUCTION. DAMAGE TO THE EXISTING IRRIGATION SYSTEMS SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER.
8. A TEMPORARY IRRIGATION SYSTEM MAY BE IMPLEMENTED AS NEEDED DURING CONSTRUCTION TO ASSURE THE HEALTH OF THE EXISTING OR NEWLY PLANTED TREES OR SPECIMENS PRIOR TO THE INSTALLATION OF THE PERMANENT SYSTEM.

NOTE: SEE ALSO SPECIFICATIONS SECTIONS 02230 AND 02231 PERTAINING TO SITE CLEARING AND PROTECTION.

SYMBOLS LEGEND

- (o) EXISTING TREE TRUNK
- (R) EXISTING TREE TO BE RELOCATED
- (X) EXISTING TREE TO BE REMOVED
- (415) EXISTING TOPOGRAPHY
- (A) SITE PHOTO REFERENCE



SCALE: 1" = 10'-0"



E

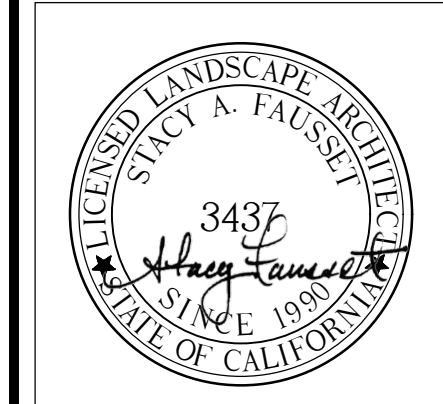
F

G

H

I

ORIGINAL SURVEY INFORMATION OBTAINED FROM:
 PROBER LAND SURVEYING
 CONTACT INFO: 645 FLORA VISTA DRIVE, (805) 452-9690
 APN NO: 047-104-002
 DATE: OCTOBER 27, 2021



S.A. FAUSSET-LANDSCAPE ARCHITECT, INC.
 163 Nob Hill Lane, Ventura, California 93003
 Direct: 805-340-7595 Office/Fax: 805-642-2877
 E-mail: stacy@saandscape.com



EXISTING CONDITIONS PLAN

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ARKLEY RESIDENCE
 616 SEA RANCH DRIVE
 SANTA BARBARA, CA. 93109

REVISIONS

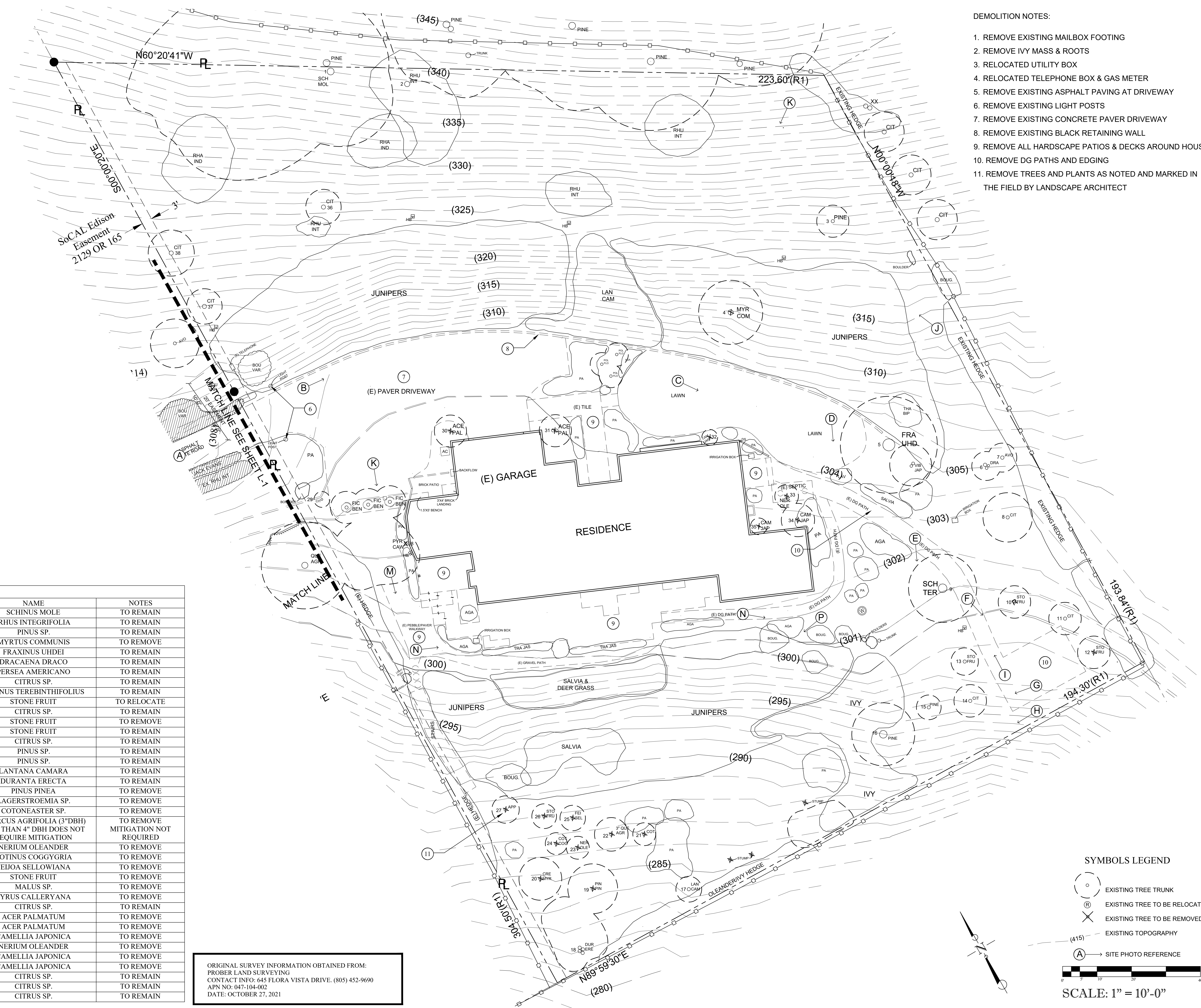
ISSUED FOR:
 CITY OF SANTA BARBARA
 DATE:
 JULY 19, 2024
 DESIGNED BY/DRAFTED BY:
 SAF / KLD
 SCALE:
 1" = 10' - 0"
 PROJECT NO.
 22-310
 DRAWING NO.
 SAF-02068
 SHEET

L-9

- DEMOLITION NOTES:
1. REMOVE EXISTING MAILBOX FOOTING
 2. REMOVE IVY MASS & ROOTS
 3. RELOCATED UTILITY BOX
 4. RELOCATED TELEPHONE BOX & GAS METER
 5. REMOVE EXISTING ASPHALT PAVING AT DRIVEWAY
 6. REMOVE EXISTING LIGHT POSTS
 7. REMOVE EXISTING CONCRETE PAVER DRIVEWAY
 8. REMOVE EXISTING BLACK RETAINING WALL
 9. REMOVE ALL HARDSCAPE PATIOS & DECKS AROUND HOUSE
 10. REMOVE DG PATHS AND EDGING
 11. REMOVE TREES AND PLANTS AS NOTED AND MARKED IN THE FIELD BY LANDSCAPE ARCHITECT

#	SYMBOL	NAME	NOTES
1	SCH MOL	SCHINUS MOLE	TO REMAIN
2	RHU INT	RHUS INTEGRIFOLIA	TO REMAIN
3	PINE	PINUS SP.	TO REMAIN
4	MYR COM	MYRTUS COMMUNIS	TO REMOVE
5	FRA UHD	FRAXINUS UHDEI	TO REMAIN
6	DRA	DRACAENA DRACO	TO REMAIN
7	AVO	PERSEA AMERICANO	TO REMAIN
8	CIT	CITRUS SP.	TO REMAIN
9	SCH TER	SCHINUS TEREBINTHIFOLIUS	TO REMAIN
10	STO FRU	STONE FRUIT	TO RELOCATE
11	CIT	CITRUS SP.	TO REMAIN
12	STO FRU	STONE FRUIT	TO REMOVE
13	STO FRU	STONE FRUIT	TO REMAIN
14	CIT	CITRUS SP.	TO REMAIN
15	PINE	PINUS SP.	TO REMAIN
16	PINE	PINUS SP.	TO REMAIN
17	LAN CAM	LANTANA CAMARA	TO REMAIN
18	DUR ERE	DURANTA ERECTA	TO REMAIN
19	PIN PIN	PINUS PINEA	TO REMOVE
20	CRE MYR	LAGERSTROEMIA SP.	TO REMOVE
21	COT	COTONEASTER SP.	TO REMOVE
22	QUE AGR	QUERCUS AGRIFOLIA (3"DBH) LESS THAN 4" DBH DOES NOT REQUIRE MITIGATION	TO REMOVE MITIGATION NOT REQUIRED
23	NER OLE	NERIUM OLEANDER	TO REMOVE
24	COT COG	COTINUS COGGYRIA	TO REMOVE
25	FEJ SEL	FEIJOA SELLOWIANA	TO REMOVE
26	STO FRU	STONE FRUIT	TO REMOVE
27	APP	MALUS SP.	TO REMOVE
28	PYR CAL	PYRUS CALLERYANA	TO REMOVE
29	CIT	CITRUS SP.	TO REMAIN
30	ACE PAL	ACER PALMATUM	TO REMOVE
31	ACE PAL	ACER PALMATUM	TO REMOVE
32	CAM JAP	CAMELLIA JAPONICA	TO REMOVE
33	NER OLE	NERIUM OLEANDER	TO REMOVE
34	CAM JAP	CAMELLIA JAPONICA	TO REMOVE
35	CAM JAP	CAMELLIA JAPONICA	TO REMOVE
36	CIT	CITRUS SP.	TO REMAIN
37	CIT	CITRUS SP.	TO REMAIN
38	CIT	CITRUS SP.	TO REMAIN

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SYMBOLS LEGEND

- (o) EXISTING TREE TRUNK
- (o with dot) EXISTING TREE TO BE RELOCATED
- (o with cross) EXISTING TREE TO BE REMOVED
- (415) EXISTING TOPOGRAPHY
- (A) SITE PHOTO REFERENCE

SCALE: 1" = 10'-0"

LANDSCAPE CONSTRUCTION GENERAL NOTES:

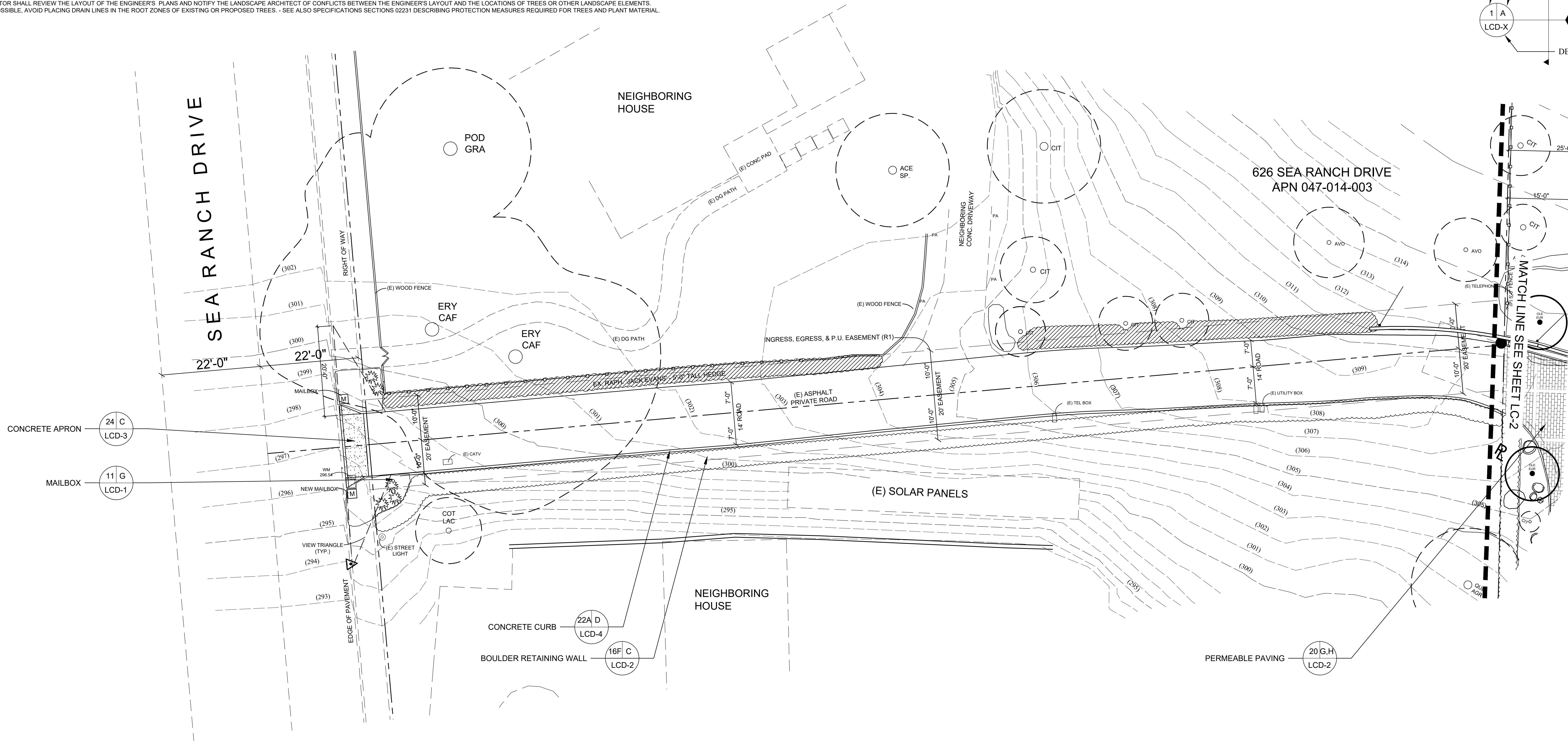
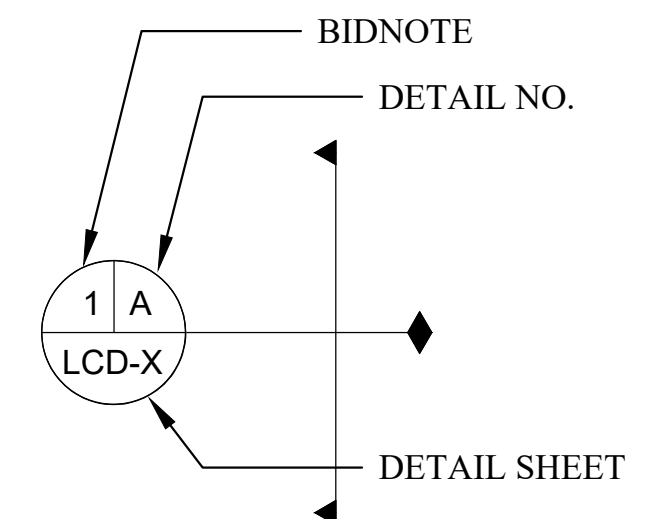
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- REFER TO STRUCTURAL ENGINEER'S PLANS, DETAILS AND SPECIFICATIONS BY STRUCTURAL ENGINEER.
- FOR LOCATIONS OF EXISTING CONDITIONS, PROPERTY LINES, EASEMENTS, UTILITIES, ETC., REFER TO THE BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY PROBER LAND SURVEYING. PHONE NUMBER 805-452-9890. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING IN THE FIELD ALL PROPERTY LINES, EASEMENTS AND RESTRICTIONS IDENTIFIED ON THE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE LAYOUT OF THE PROJECT, FOR ESTABLISHING ALL REFERENCE POINTS, ELEVATIONS AND LINES SET FOR CONSTRUCTION, FOR CERTIFICATION OF FINISH GRADES AS SHOWN ON THE LANDSCAPE ARCHITECT'S AND CIVIL ENGINEER'S DRAWINGS, AND TO MATCH EXISTING SURFACES WHERE APPLICABLE. IF NEEDED, THE CONTRACTOR SHALL EMPLOY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR IN ORDER TO ACCURATELY DETERMINE ALL HORIZONTAL AND VERTICAL DIMENSIONS.
- CONTRACTOR SHALL VISIT THE SITE, VERIFY EXISTING CONDITIONS, BECOME FAMILIAR WITH EXISTING GRADES, SITE AND SOIL CONDITIONS, AND COORDINATE ALL WORK WITH OTHER TRADES SO AS NOT TO DISRUPT THE FLOW OF WORK ON SITE.
- THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE ACTUAL SITE CONDITIONS AND THE PLANS PRIOR TO BEGINNING CONSTRUCTION.
- WRITTEN DIMENSIONS SHALL PREVAIL OVER SCALED MEASUREMENTS ON THE PLANS AND DETAILS.
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VISIBILITY TRIANGLE NOTES:

- NO FENCE, SCREEN, WALL, HEDGE OR OTHER LANDSCAPING MATERIAL EXCEEDING A HEIGHT OF 3'-6" SHALL BE LOCATED IN VISIBILITY TRIANGLE.
- IF ANY LANDSCAPE MATERIAL EXCEEDS 42" IN HEIGHT UPDATE PLANS TO NOTE ALL ITEMS TO BE REDUCED AND MAINTAINED TO NOT EXCEED A MAXIMUM HEIGHT OF 42".

SYMBOLS LEGEND

- EXISTING TREE TRUNK
- ⊙ EXISTING TREE TO BE RELOCATED
- PROPOSED TREE TRUNK
- ⊗ EXISTING TREE TO BE REMOVED
- (415) EXISTING TOPOGRAPHY
- 415 PROPOSED TOPOGRAPHY
- ⊕ ATRIUM DRAIN
- ⊖ DECK DRAIN
- DIRECTION OF SURFACE FLOW
- PA PLANTING AREA



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 Direct: 805-340-7595 Office/Fax: 805-642-2877
 E-mail: stacy@sfaulandscape.com



LANDSCAPE CONSTRUCTION PLAN

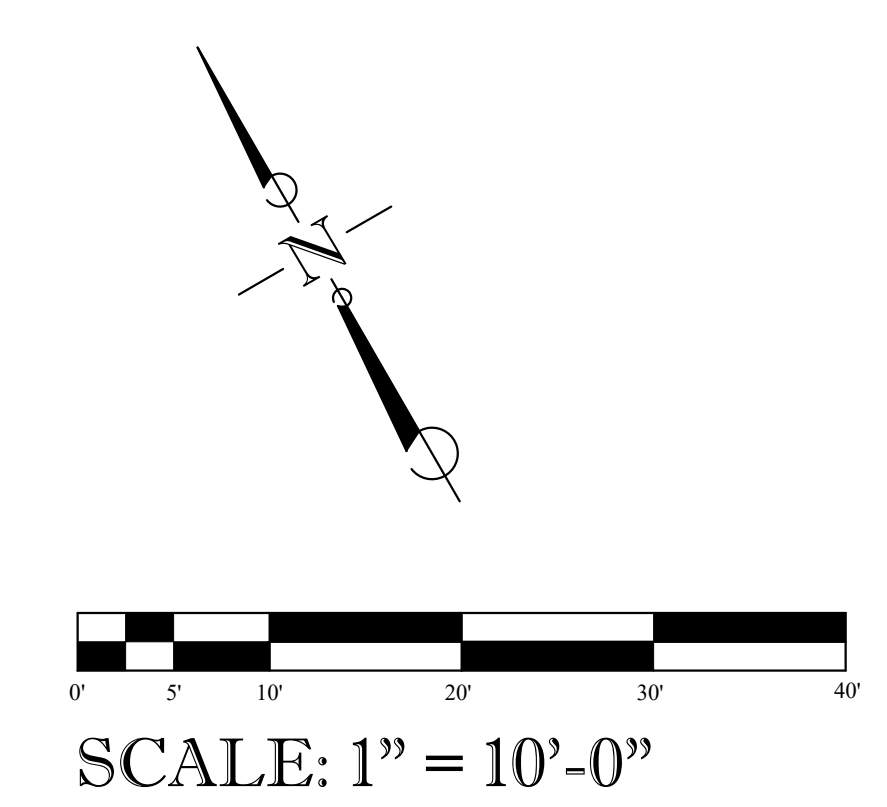
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ARKLEY RESIDENCE
 616 SEA RANCH DRIVE
 SANTA BARBARA, CA. 93109

REVISIONS

ISSUED FOR:
 CITY OF SANTA BARBARA
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 SAF / KLD
 SCALE:
 1" = 10' - 0"
 PROJECT NO.
 23-310
 DRAWING NO.
 SAF-02074
 SHEET

L-13



IMPORTANT NOTE:
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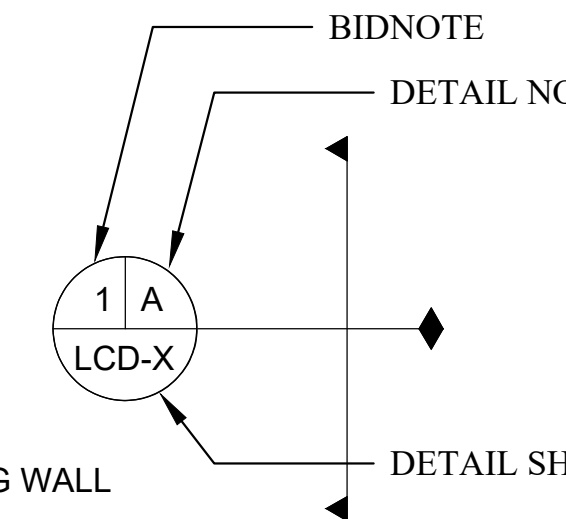
REVISIONS

ISSUED FOR:	CITY OF SANTA BARBARA
DATE:	JULY 19, 2024
DESIGNED BY/DRAFTED BY:	SAF / KLD
SCALE:	1" = 10' - 0"
PROJECT NO.:	23-310
DRAWING NO.:	SAF-02075
SHEET:	L-14

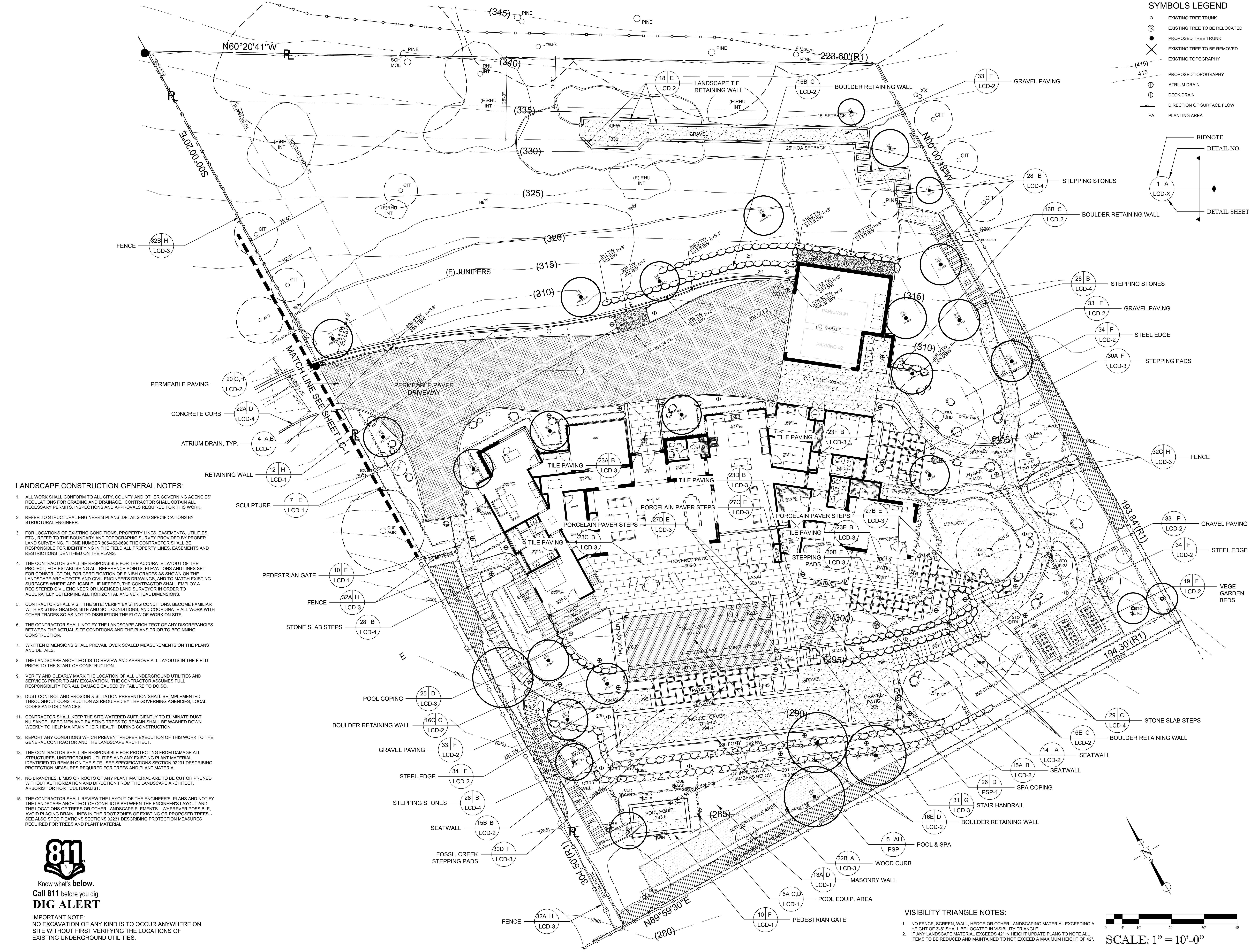
L-14

SYMBOLS LEGEND

- EXISTING TREE TRUNK
- Ⓡ EXISTING TREE TO BE RELOCATED
- PROPOSED TREE TRUNK
- ✕ EXISTING TREE TO BE REMOVED
- - - - EXISTING TOPOGRAPHY
- 415 PROPOSED TOPOGRAPHY
- ⊕ ATRIUM DRAIN
- ⊕ DECK DRAIN
- DIRECTION OF SURFACE FLOW
- PA PLANTING AREA



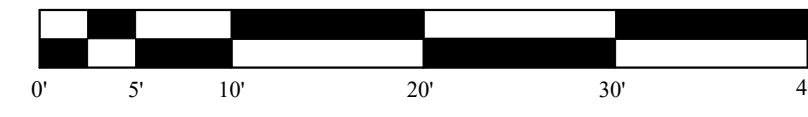
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SCALE: 1" = 10'-0"



Know what's below.
 Call 811 before you dig.
DIG ALERT

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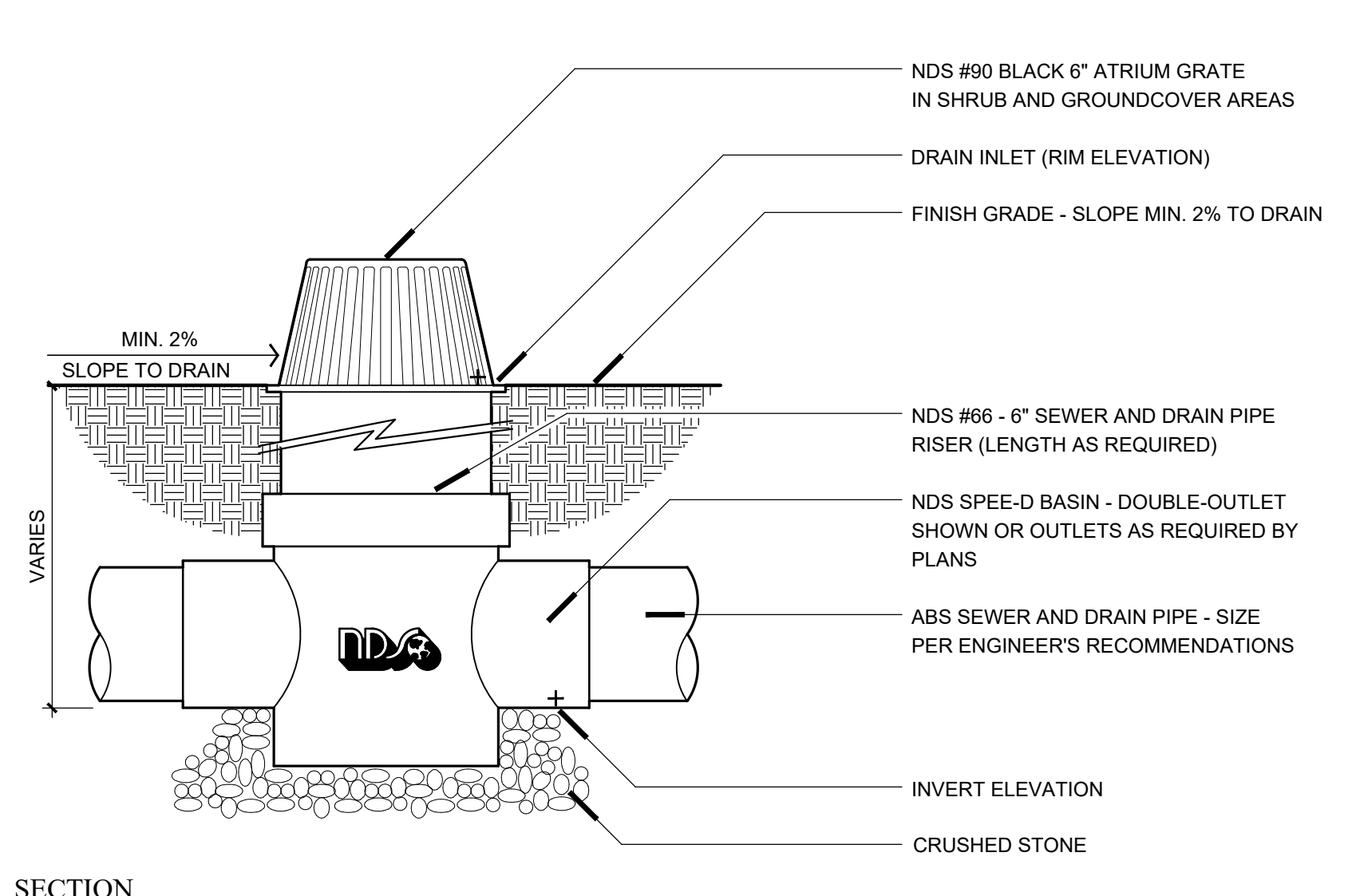
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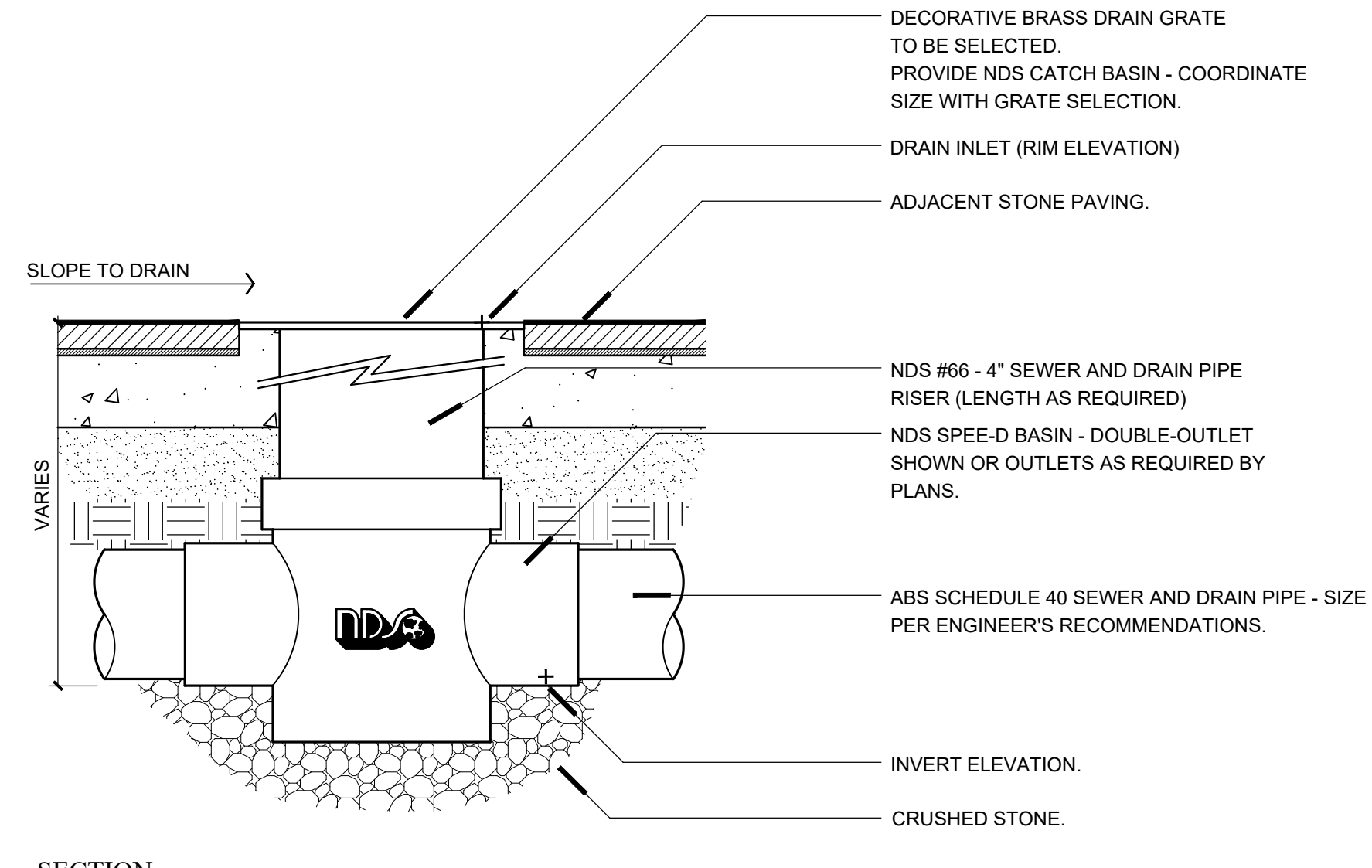
ARKLEY RESIDENCE
616 SEA RANCH DRIVE
SANTA BARBARA, CA. 93109

REVISIONS

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SCALE:
N.T.S.
PROJECT NO.
23-310
DRAWING NO.
SAF-02076
SHEET

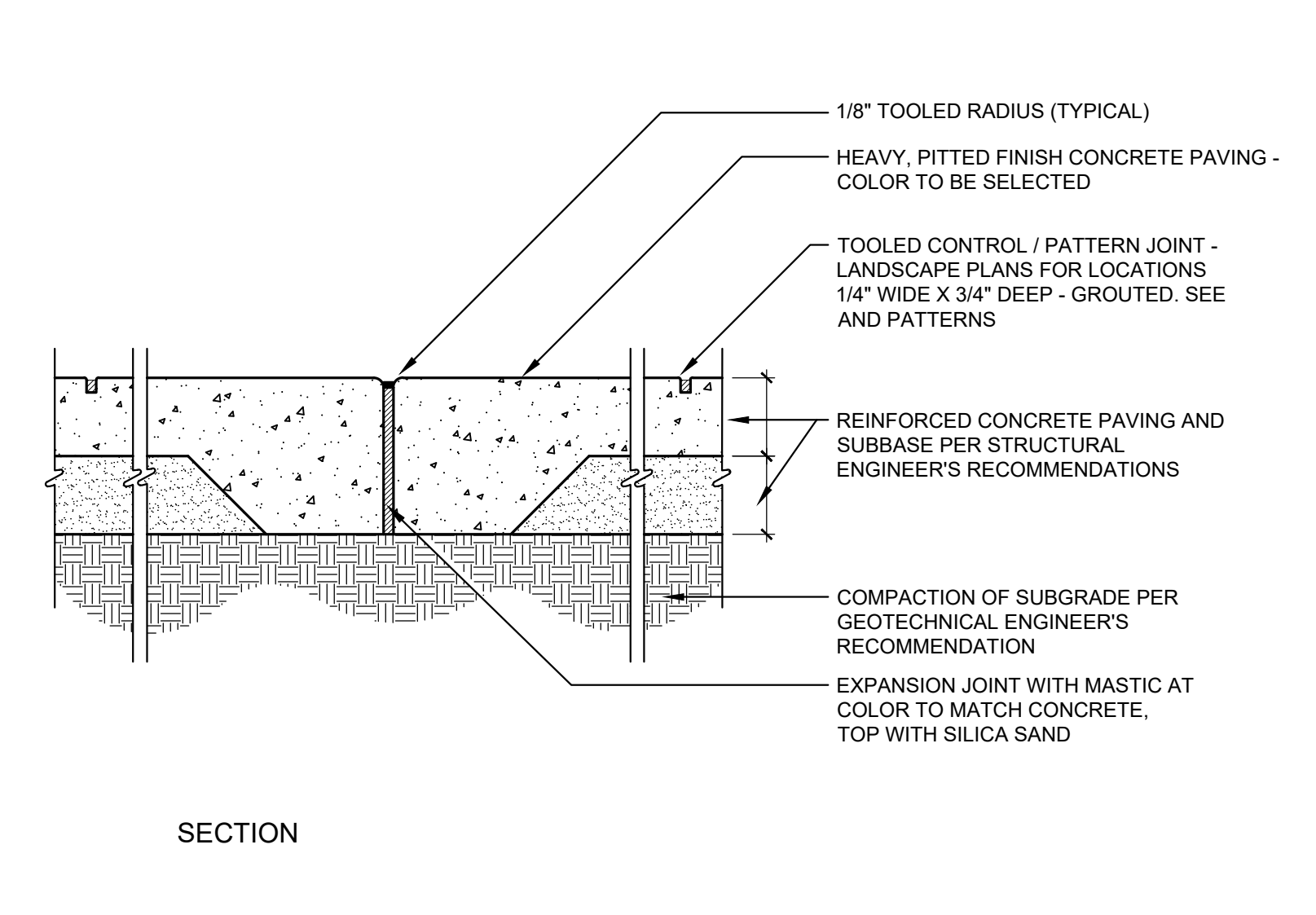


A 6" CATCH BASIN WITH NDS #90 BLACK 6" ATRIUM GRATE N.T.S.

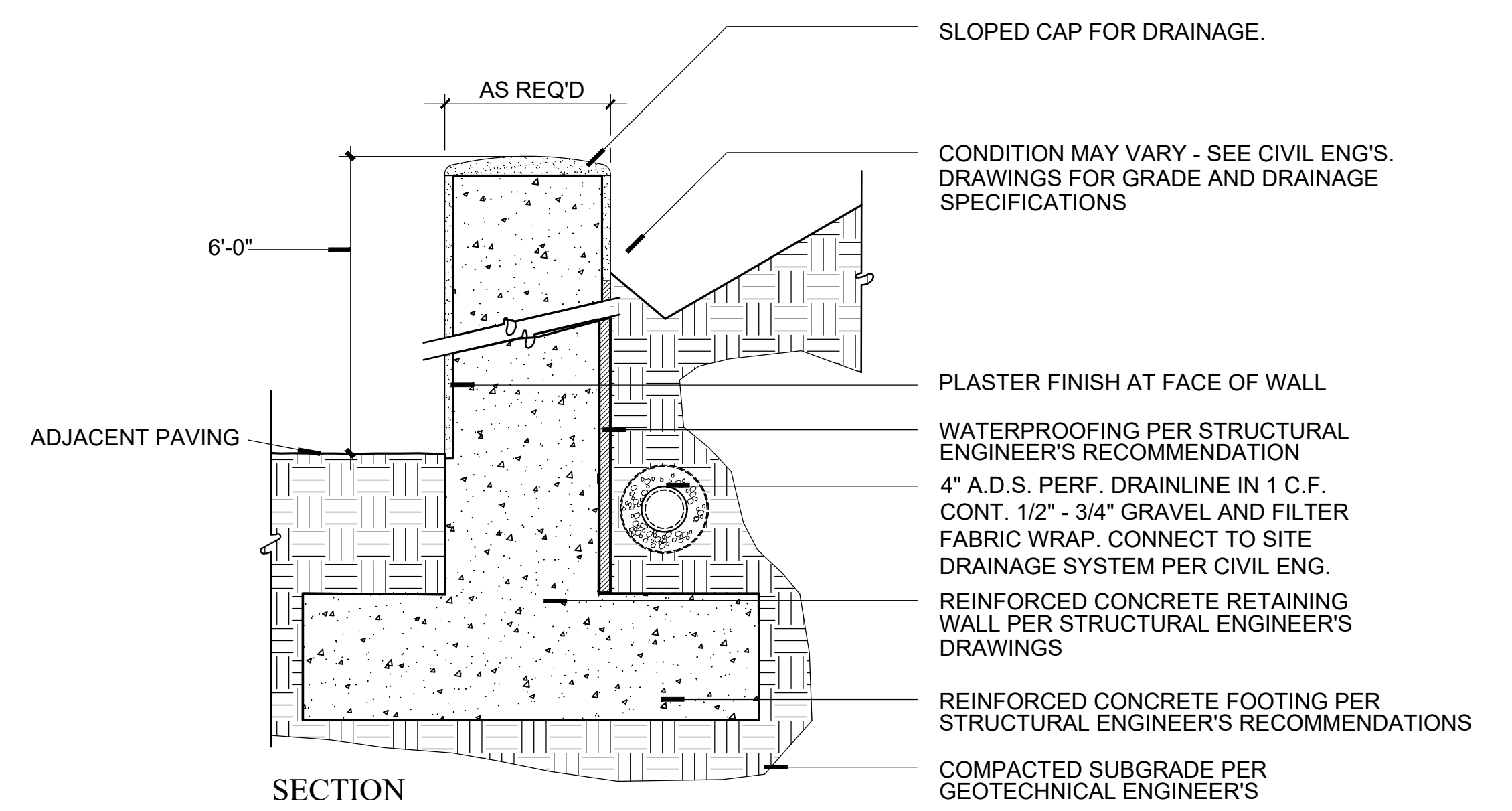


B DRAIN IN PAVING AREA N.T.S.

NOTE: SEE SHEET LC-1 FOR DRAIN LOCATIONS - TO BE APPROVED BY LANDSCAPE ARCHITECT. TIE INTO EXISTING DRAINAGE SYSTEM. SEE ALSO ANY CIVIL ENGINEER'S GRADING AND DRAINAGE PLAN FOR PIPE SIZES AND LOCATIONS.

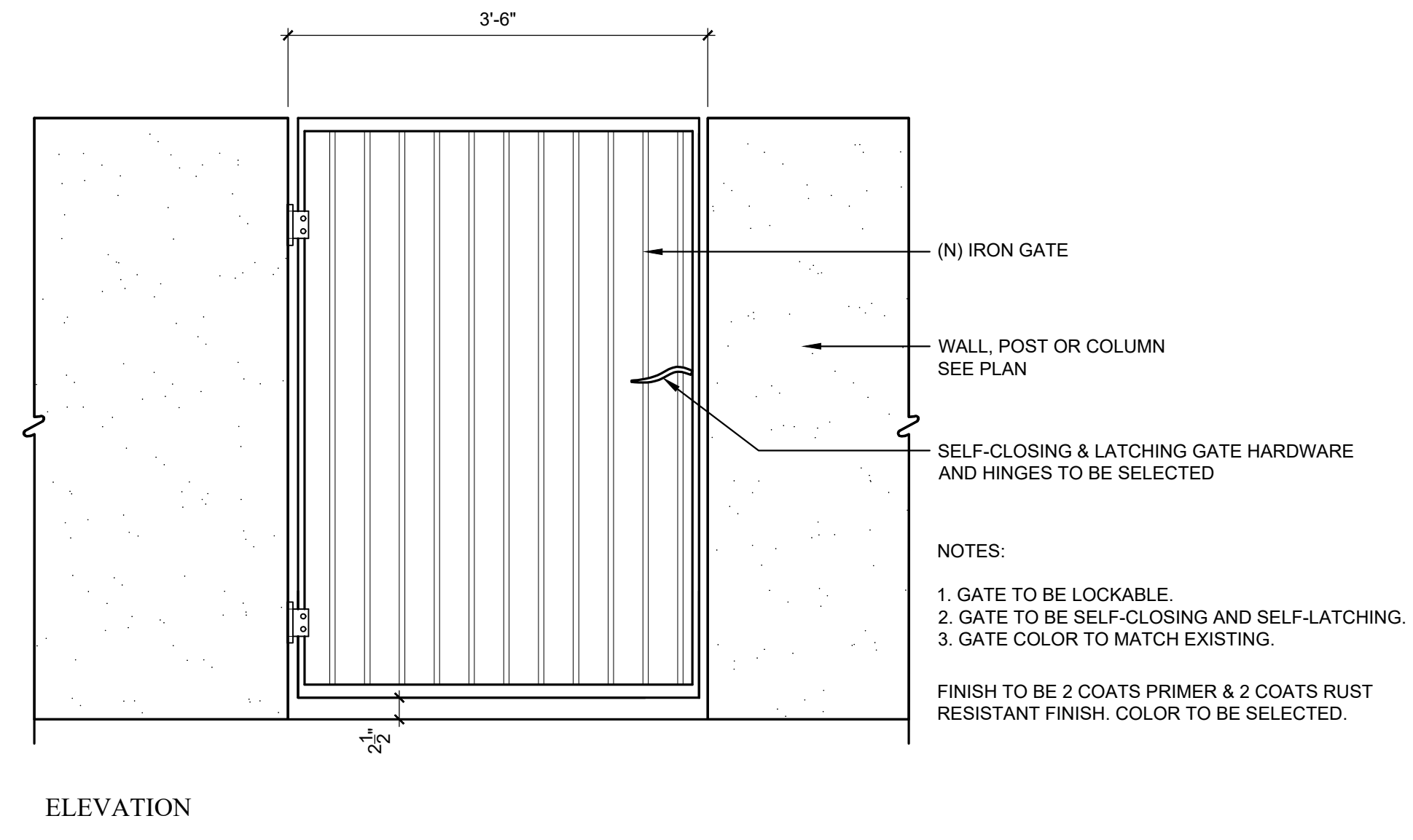


C CONCRETE PAVING AT POOL EQUIPMENT & TRASH AREA N.T.S.

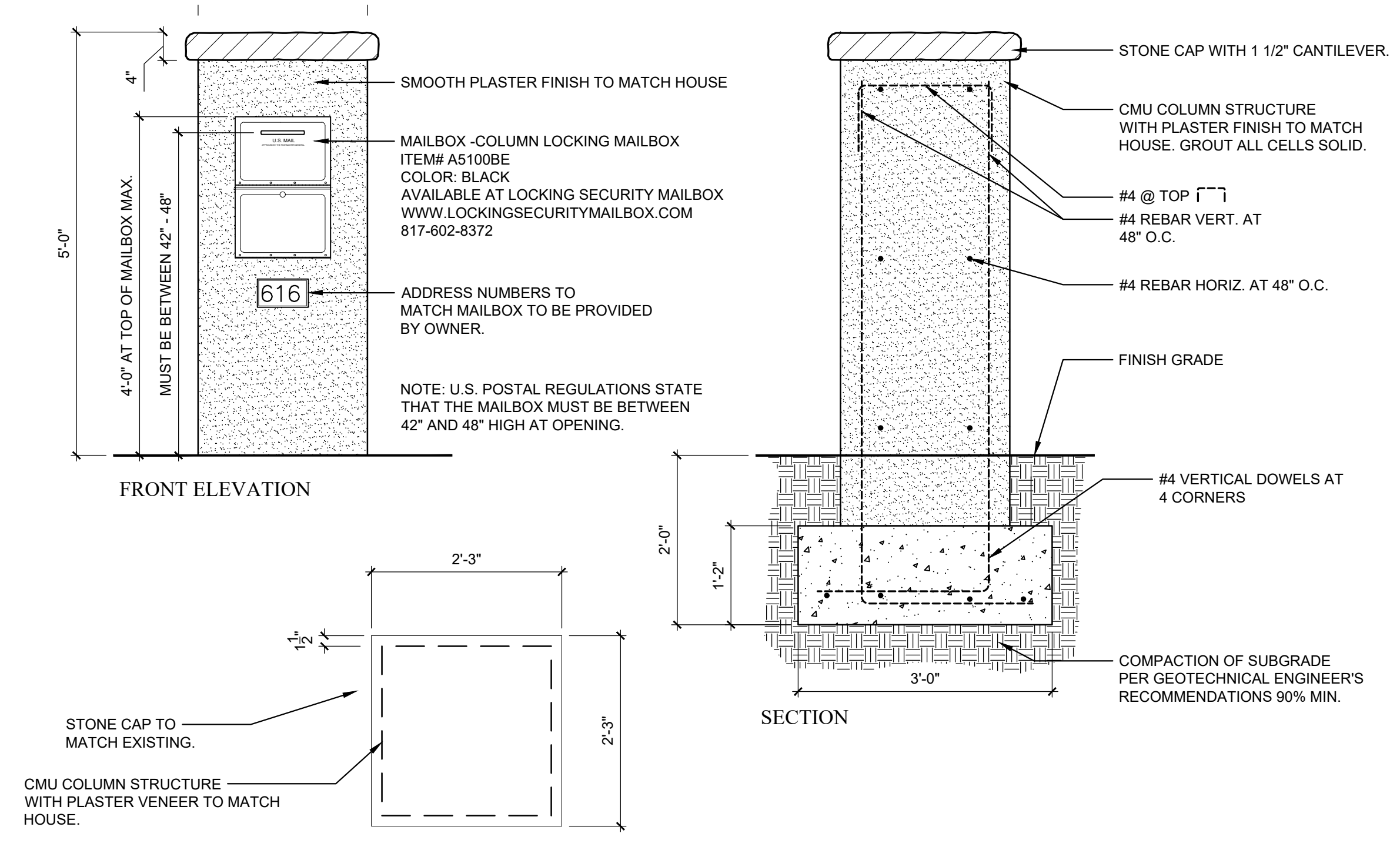


D MASONRY WALL AT POOL EQUIPMENT N.T.S.

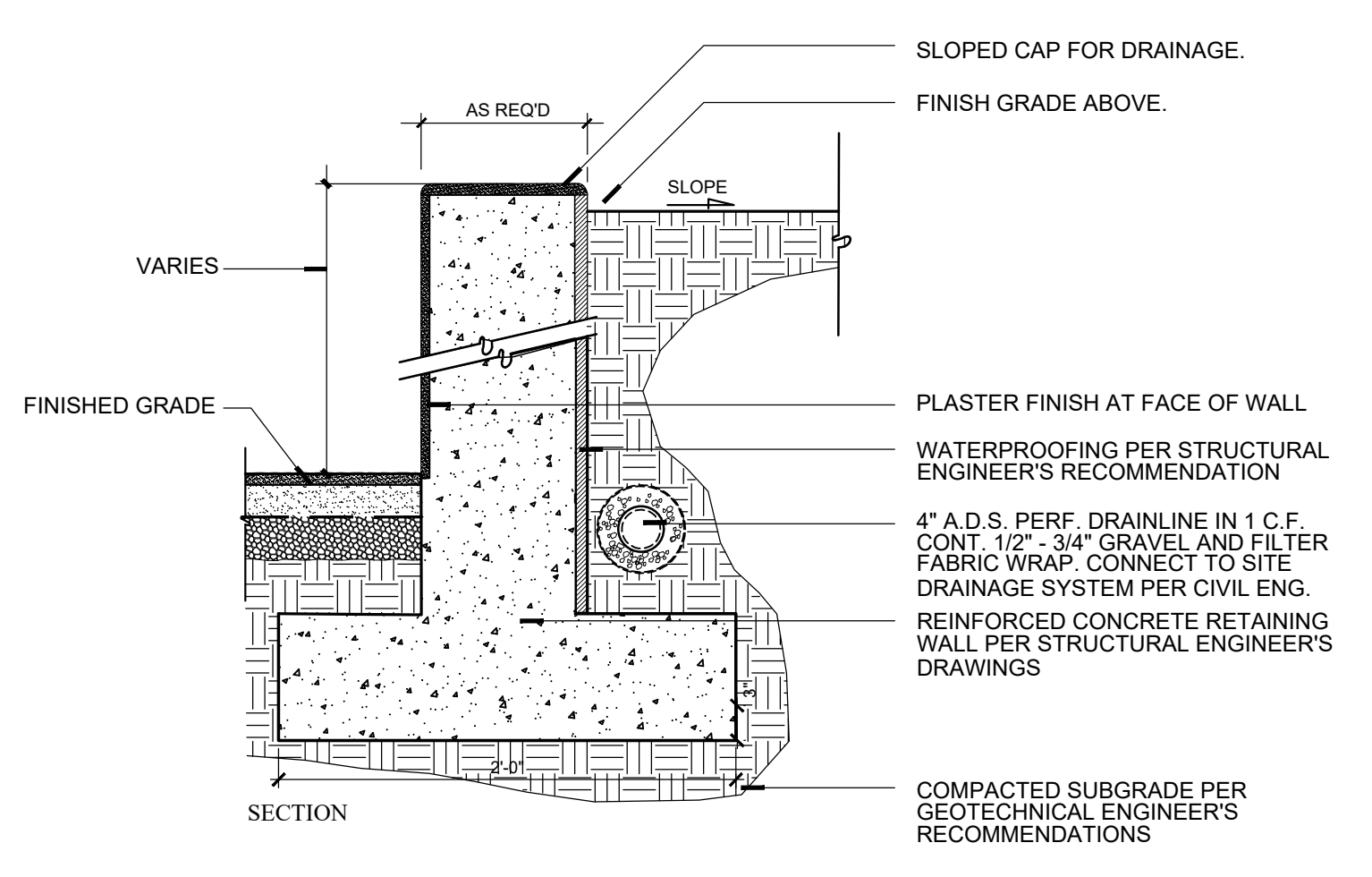
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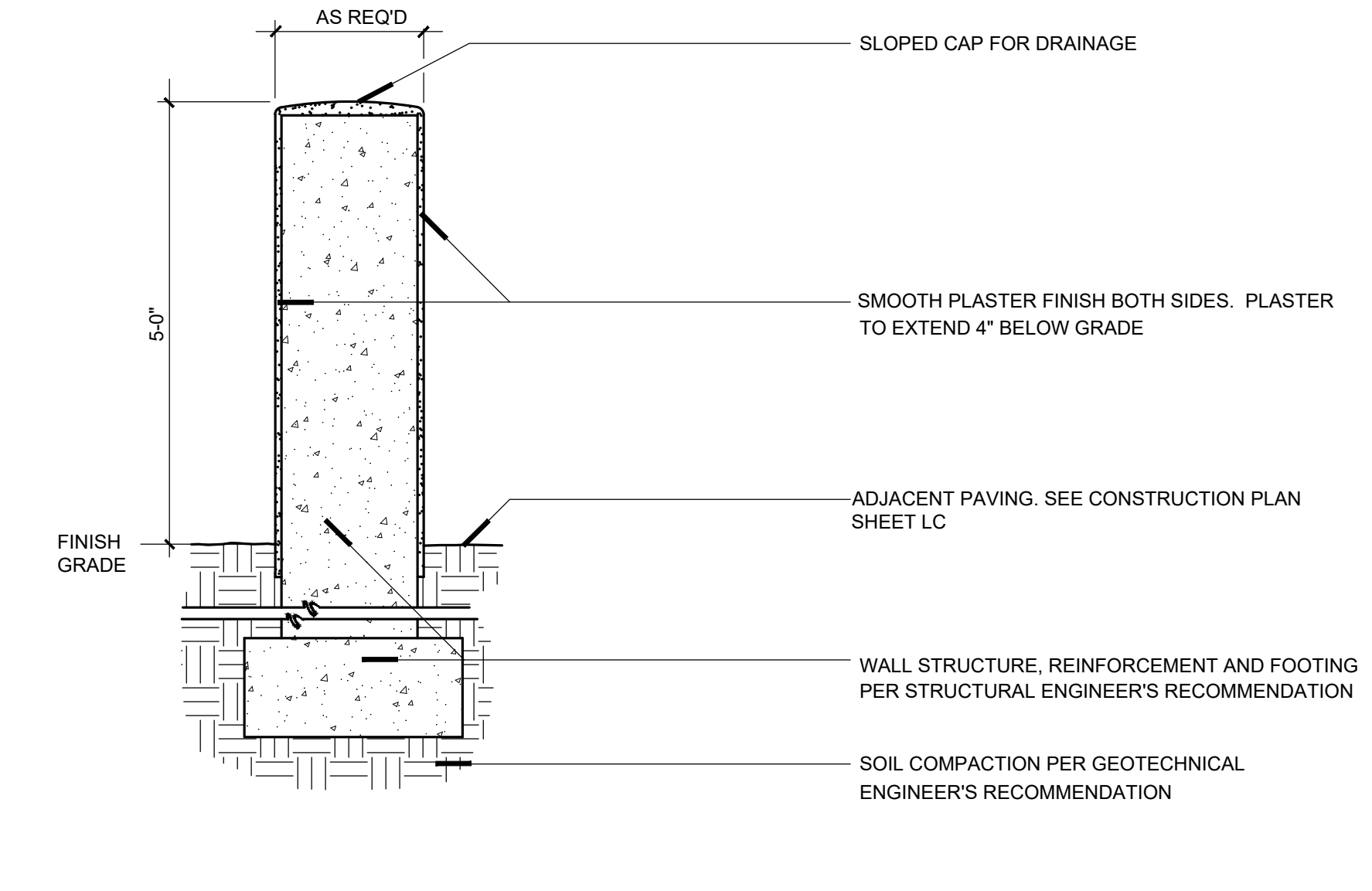
F PEDESTRIAN GATES AT POOL EQUIPMENT & TRASH AREA N.T.S.



G MAILBOX N.T.S.



H RETAINING WALL AT DRIVEWAY N.T.S.



I MASONRY WALL AT TRASH AREA N.T.S.



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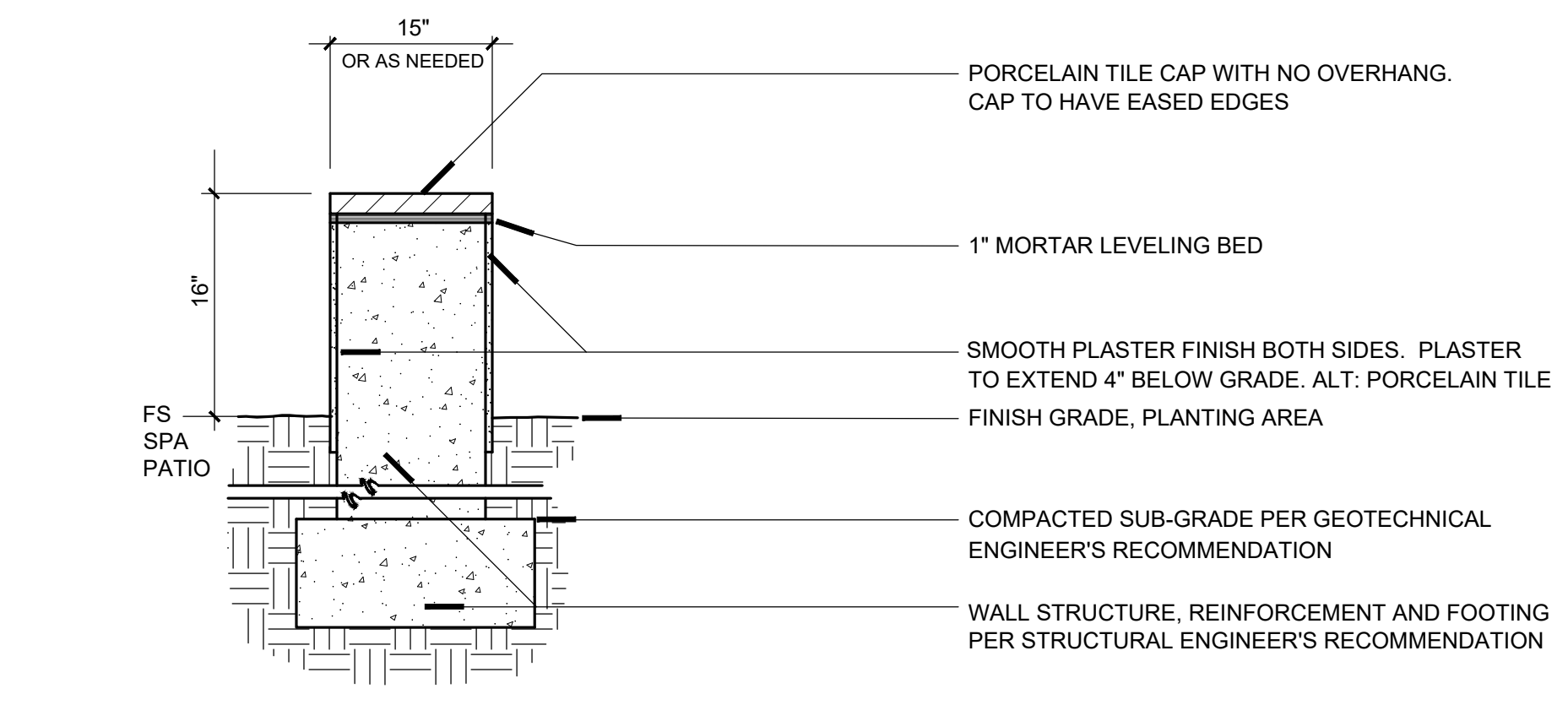
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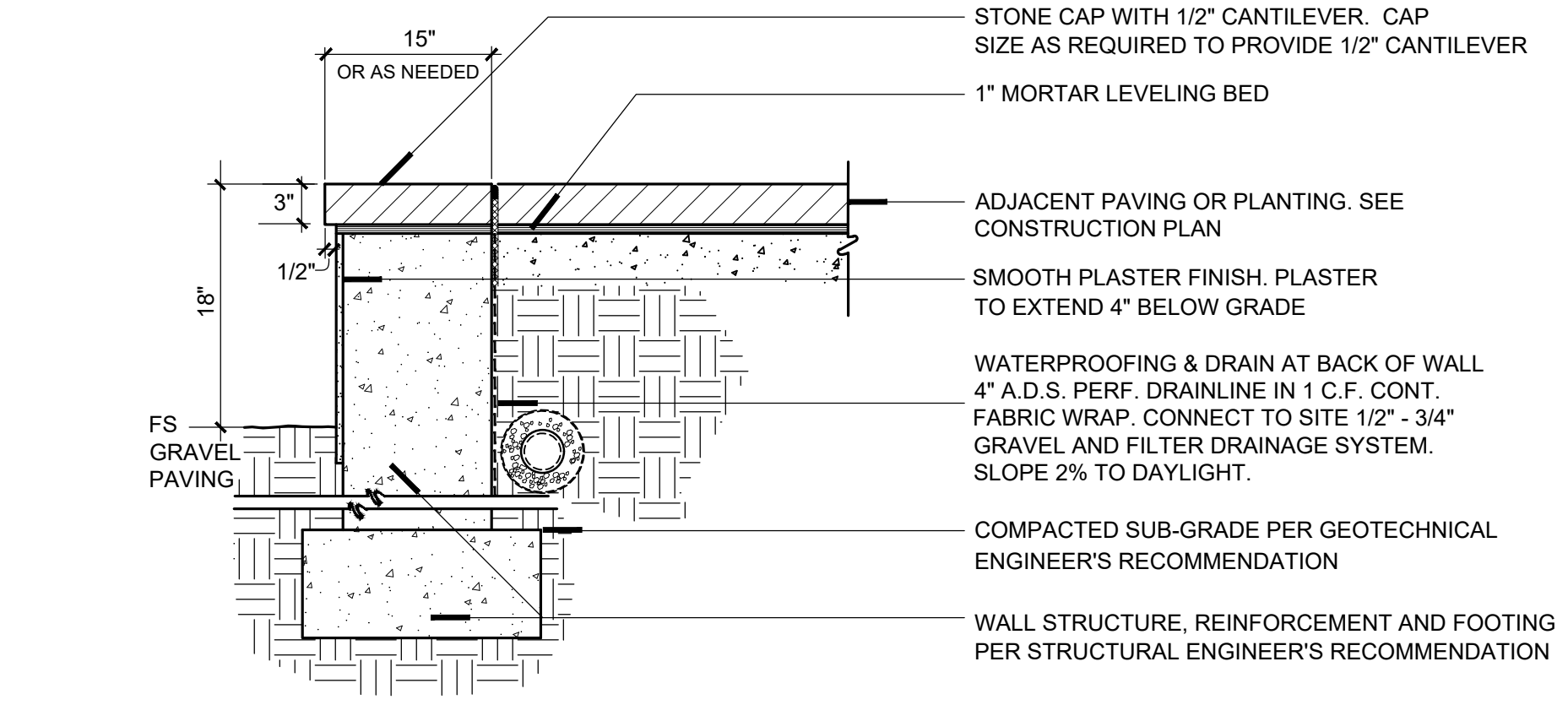
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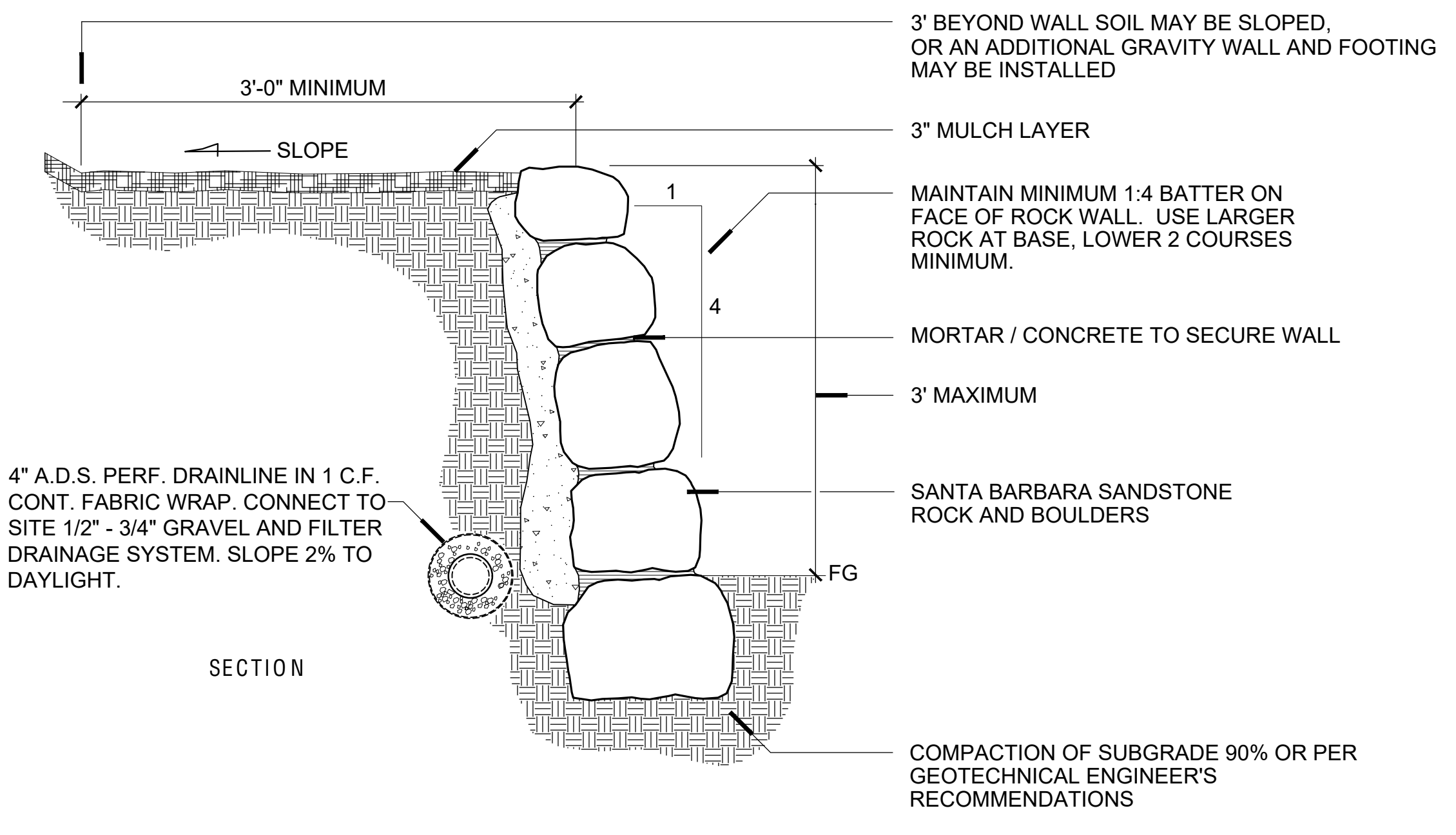
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SECTION



SECTION

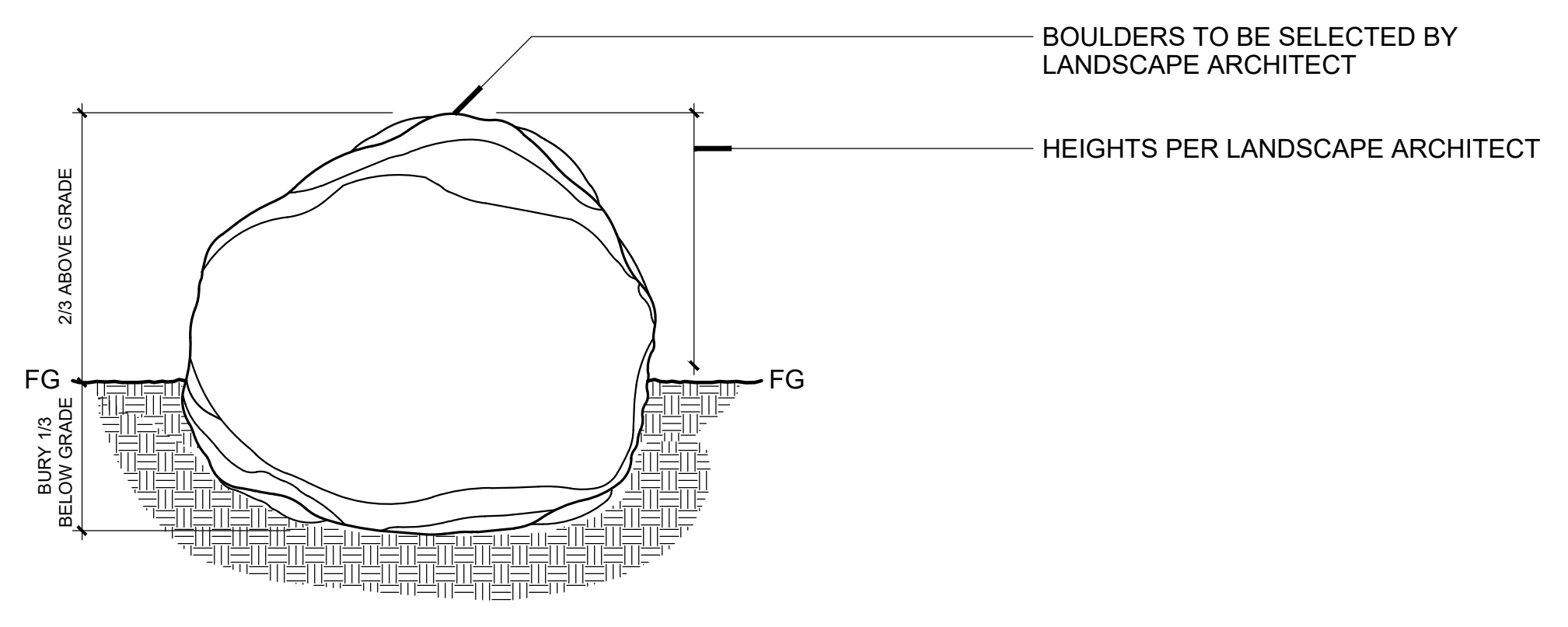


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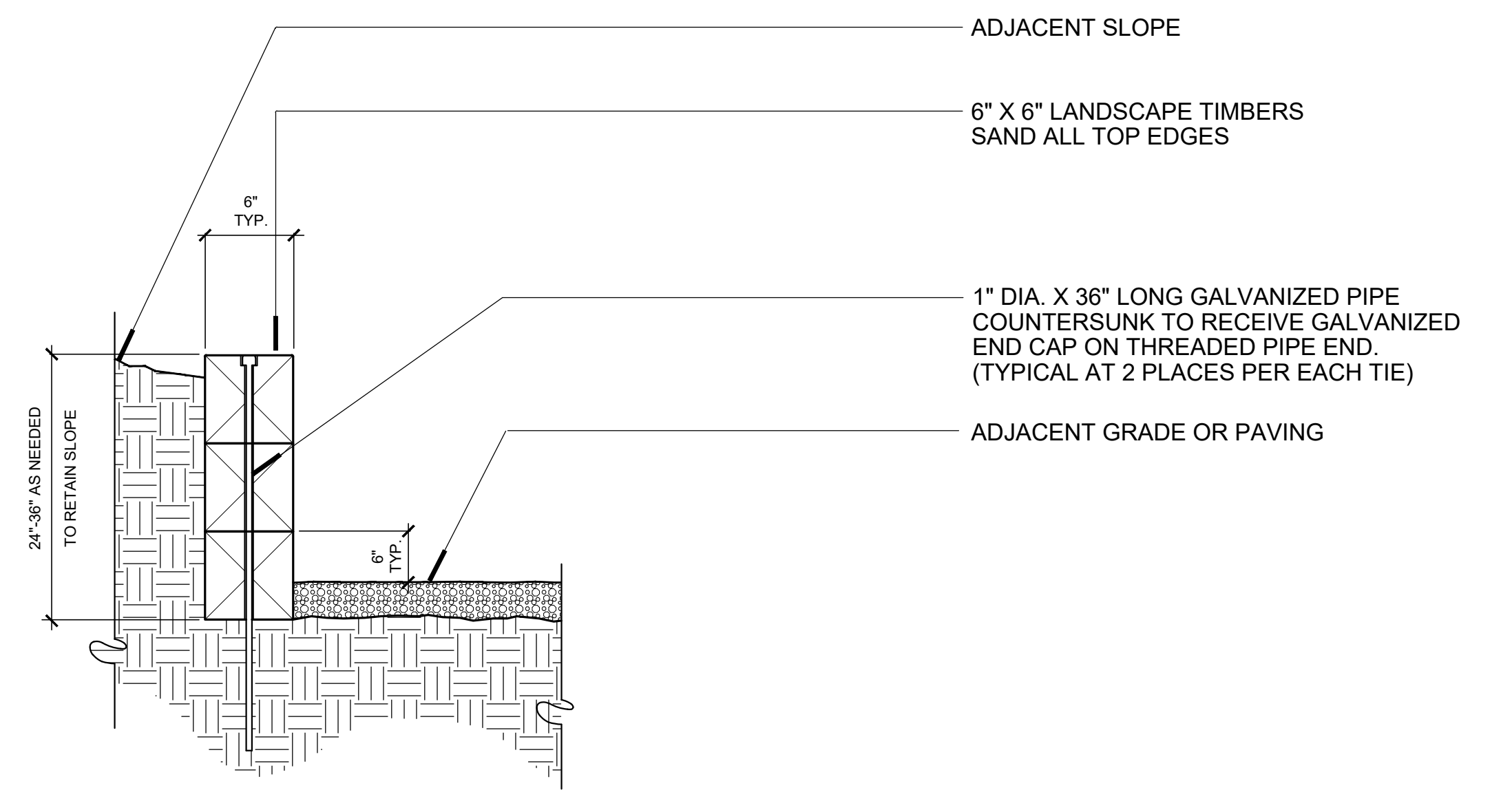
A SEATWALL AT SPA DECK N.T.S.

B SEATWALL AT BOCCIE AREA N.T.S.

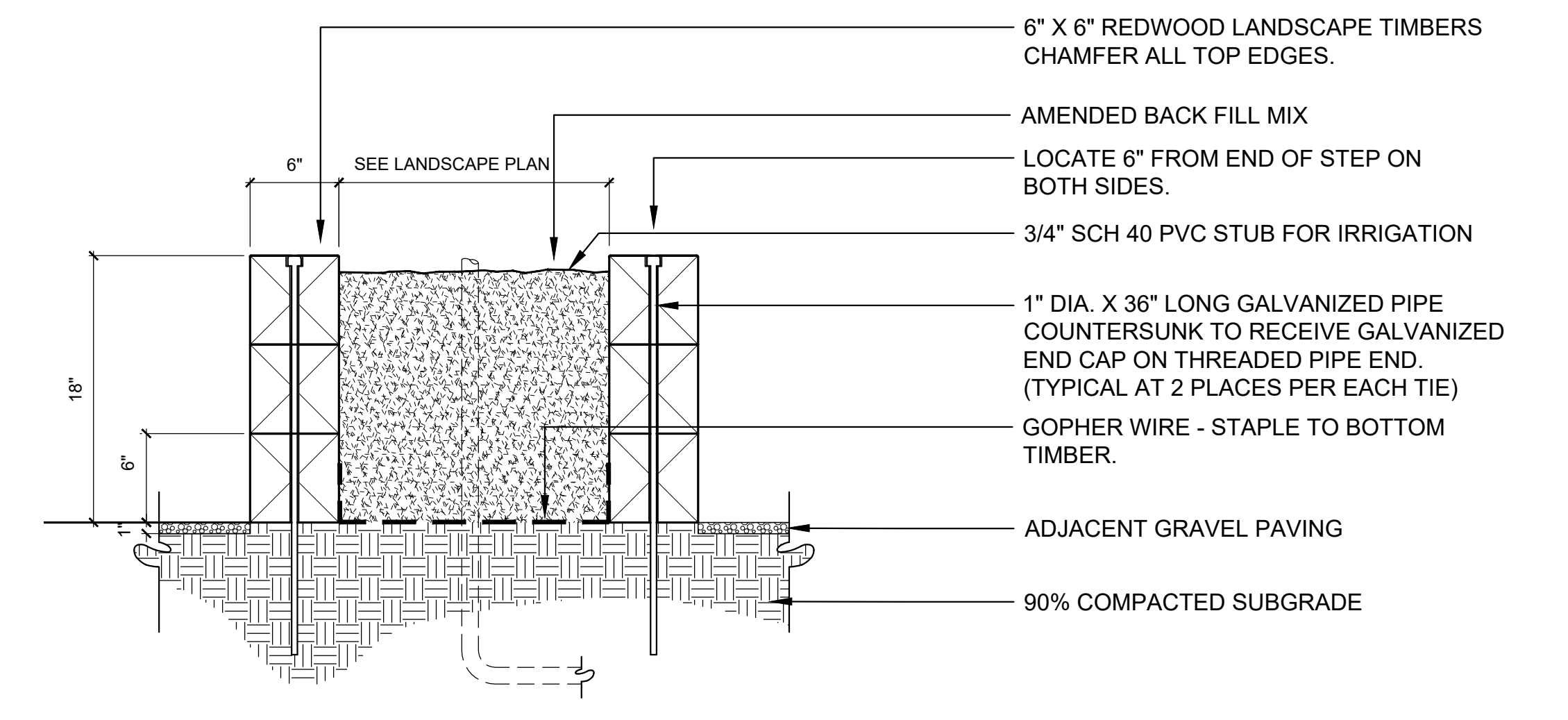
C DRYSTACKED BOULDER RETAINING WALL N.T.S.



SECTION



SECTION

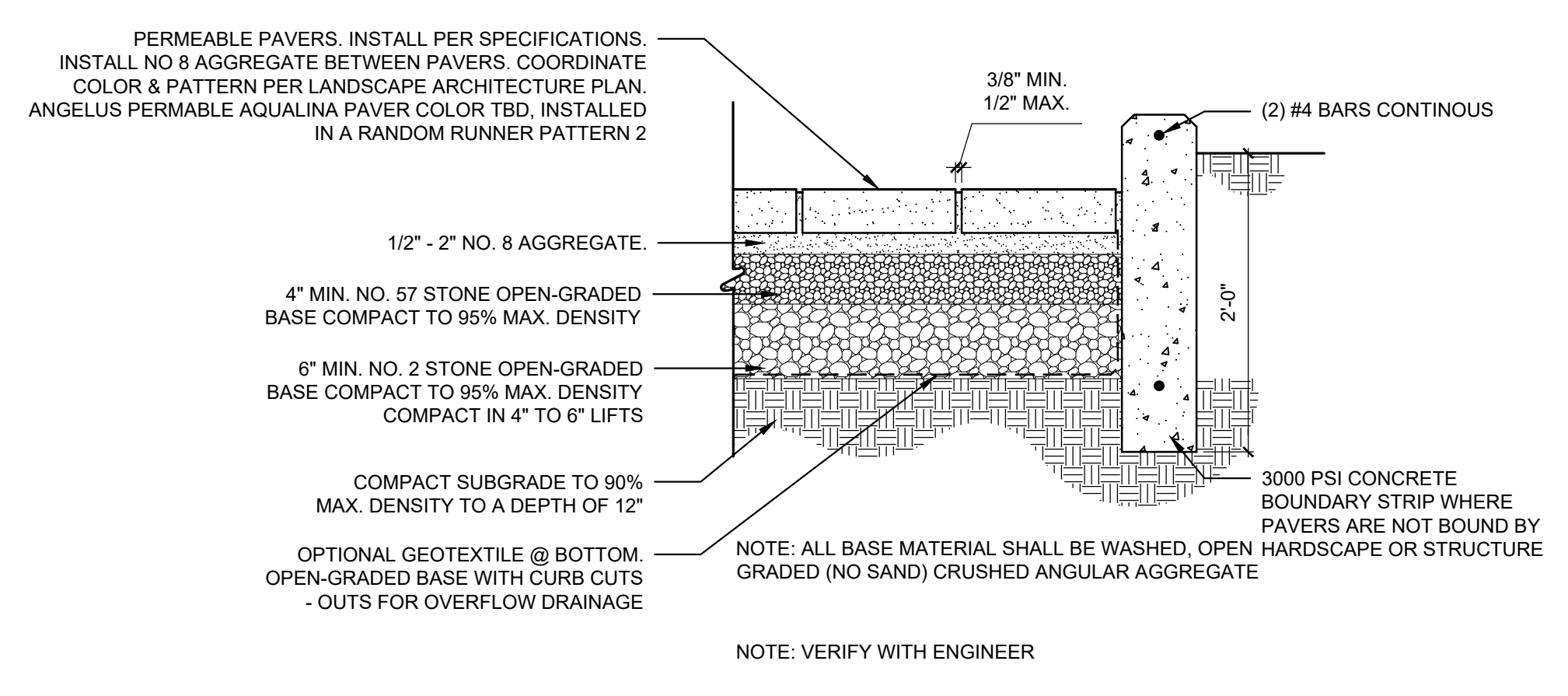


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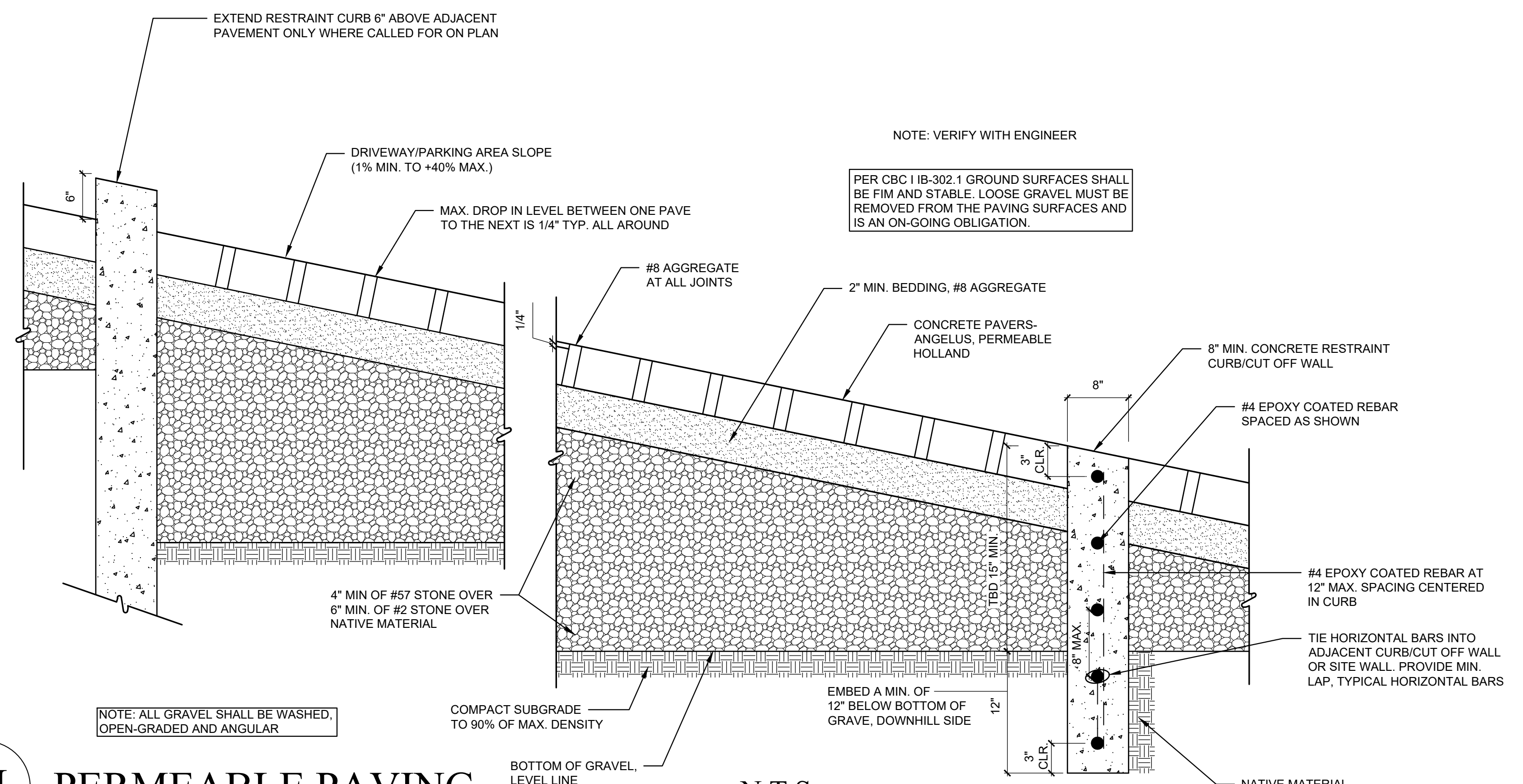
D BOULDER IN LANDSCAPE N.T.S.

E LANDSCAPE TIE RETAINING WALL N.T.S.

F RAISED VEGETABLE BEDS DETAILNAME2 N.T.S.



G PERMEABLE PAVING AT DRIVEWAY N.T.S.



H PERMEABLE PAVING AT DRIVEWAY N.T.S.



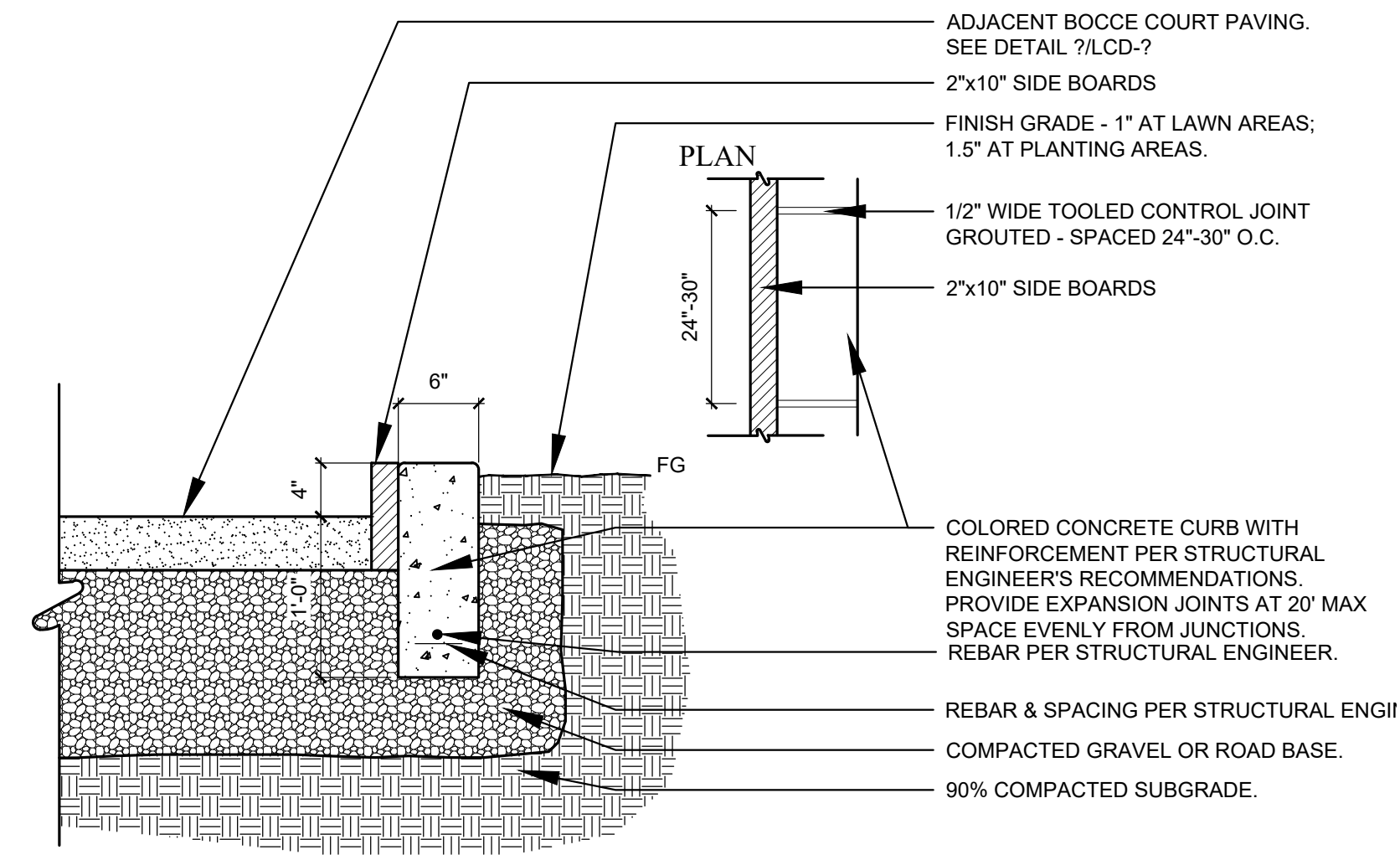
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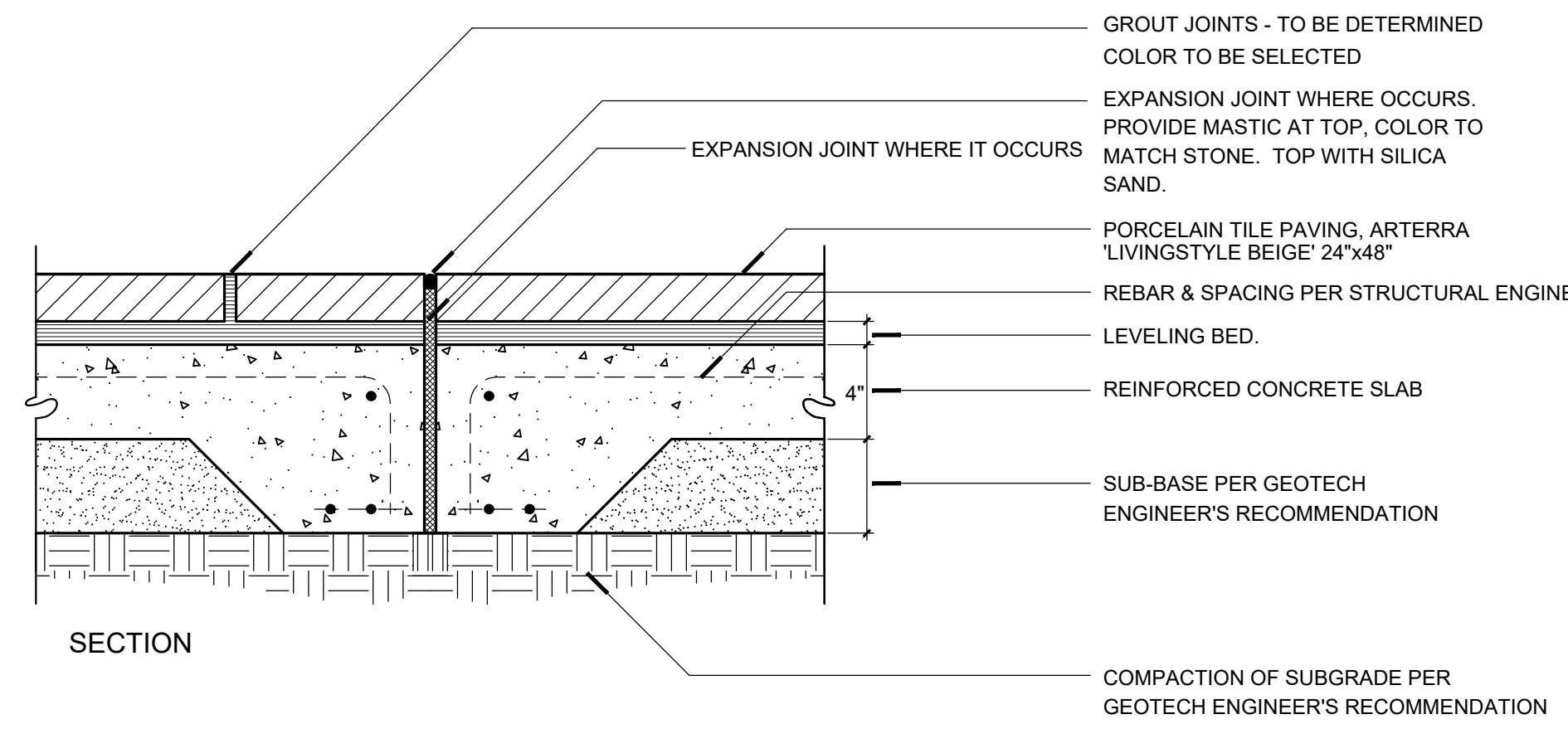
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DRAWING NO.
SAF-02076
SHEET



SECTION

A WOOD CURB AT BOCCÉ

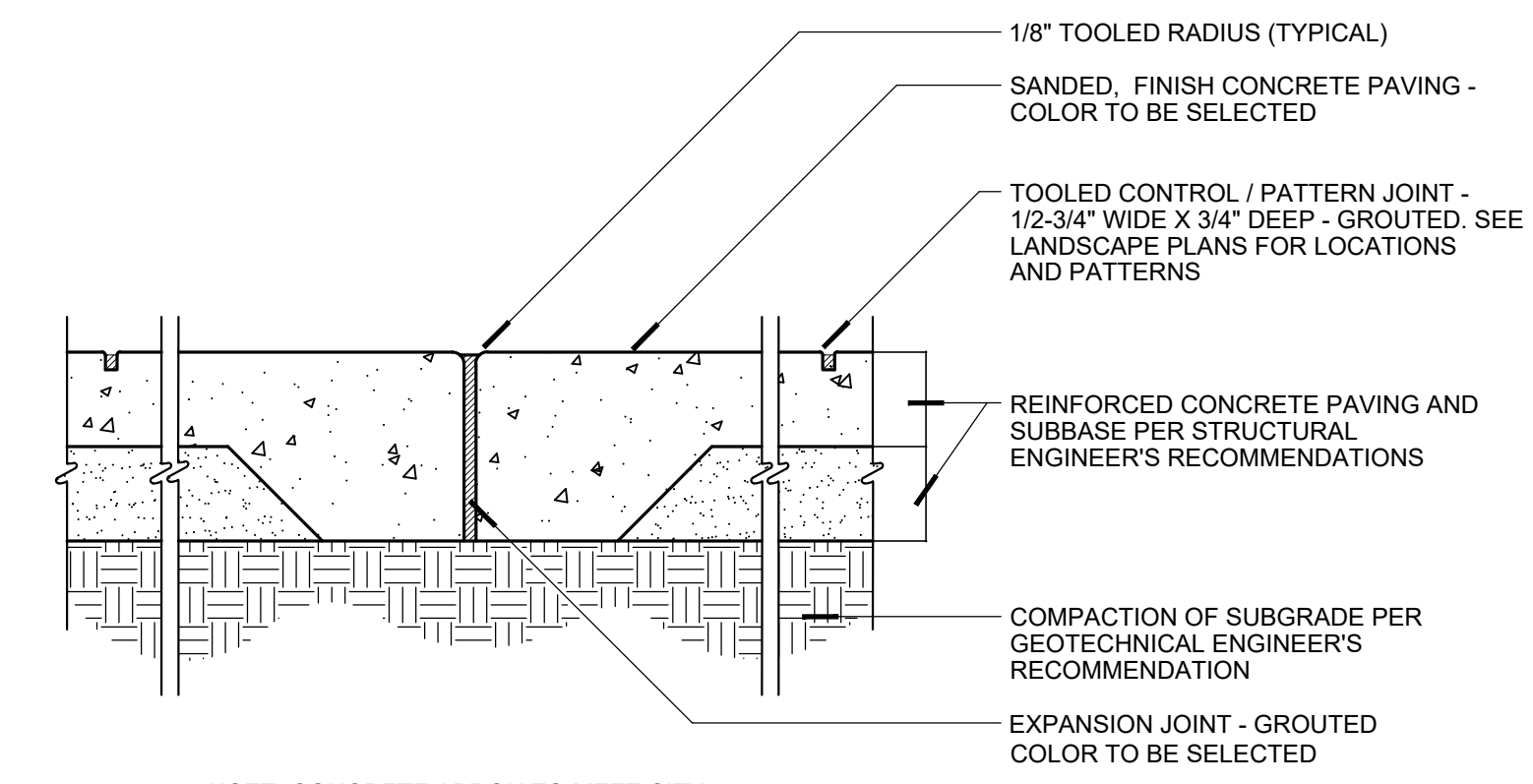
N.T.S.



SECTION

B PORCELAIN TILE PAVING ON SLAB

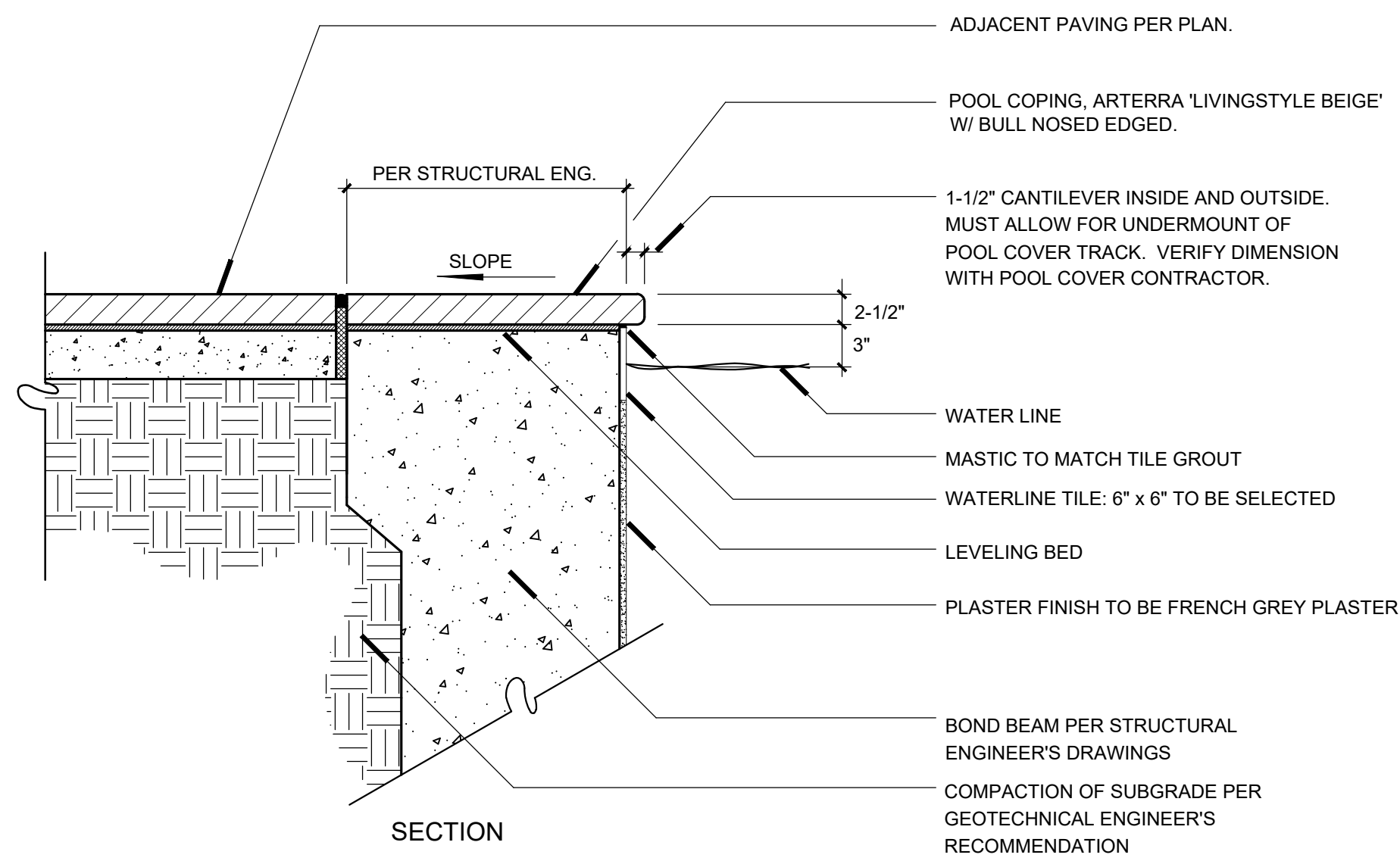
N.T.S.



SECTION

C CONCRETE APRON AT DRIVEWAY

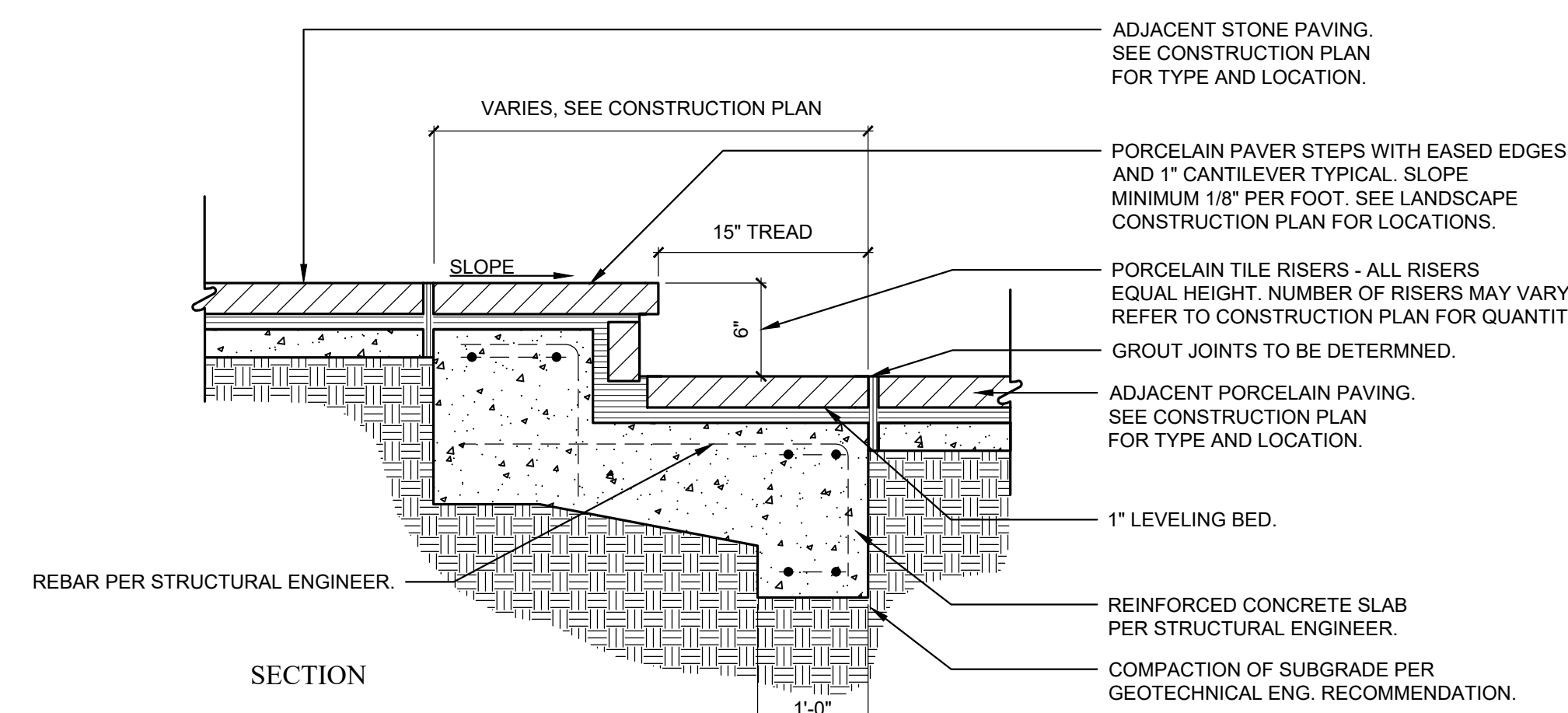
N.T.S.



SECTION

D POOL COPING

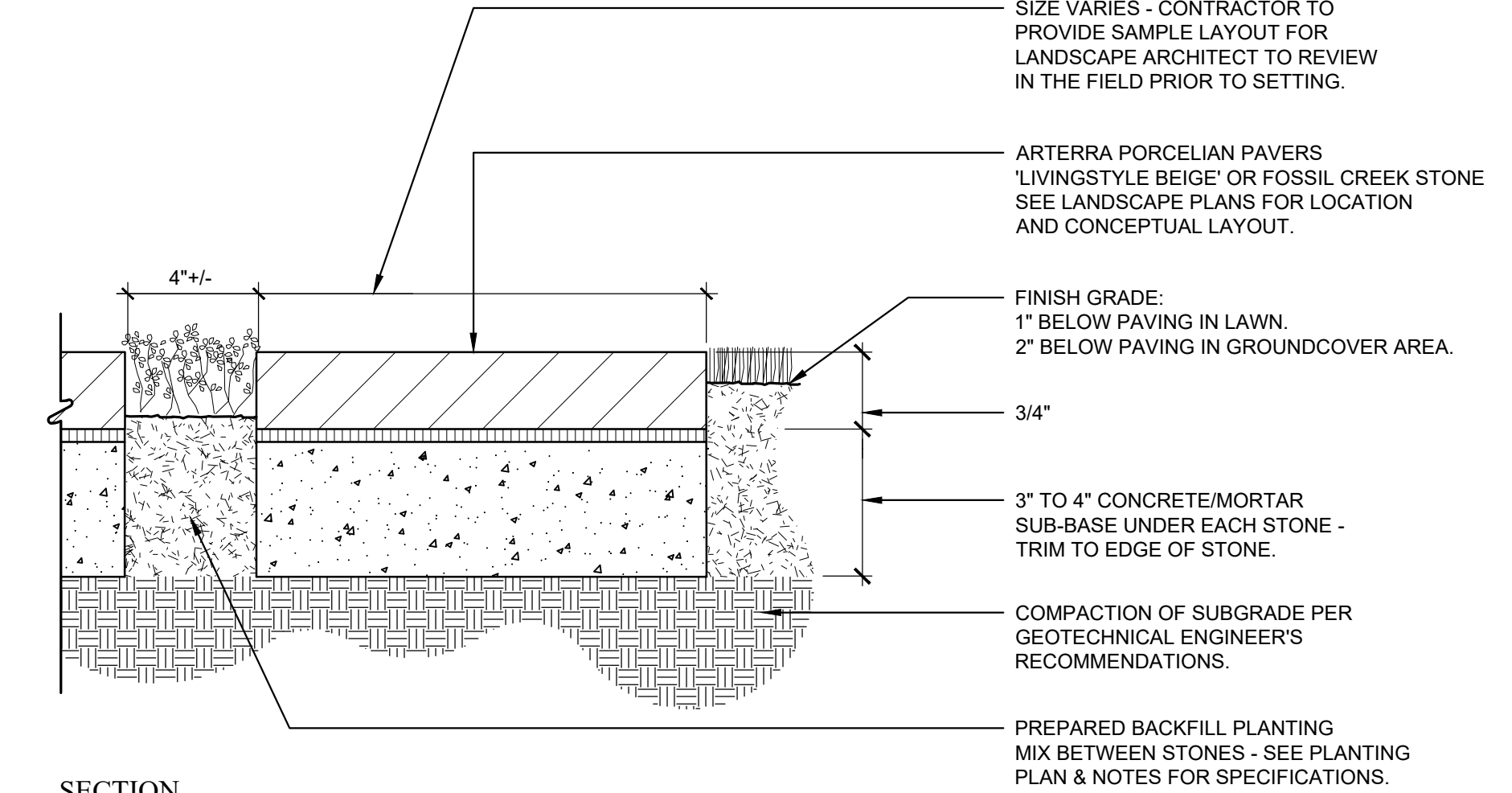
N.T.S.



SECTION

E PORCELAIN PAVER STEPS

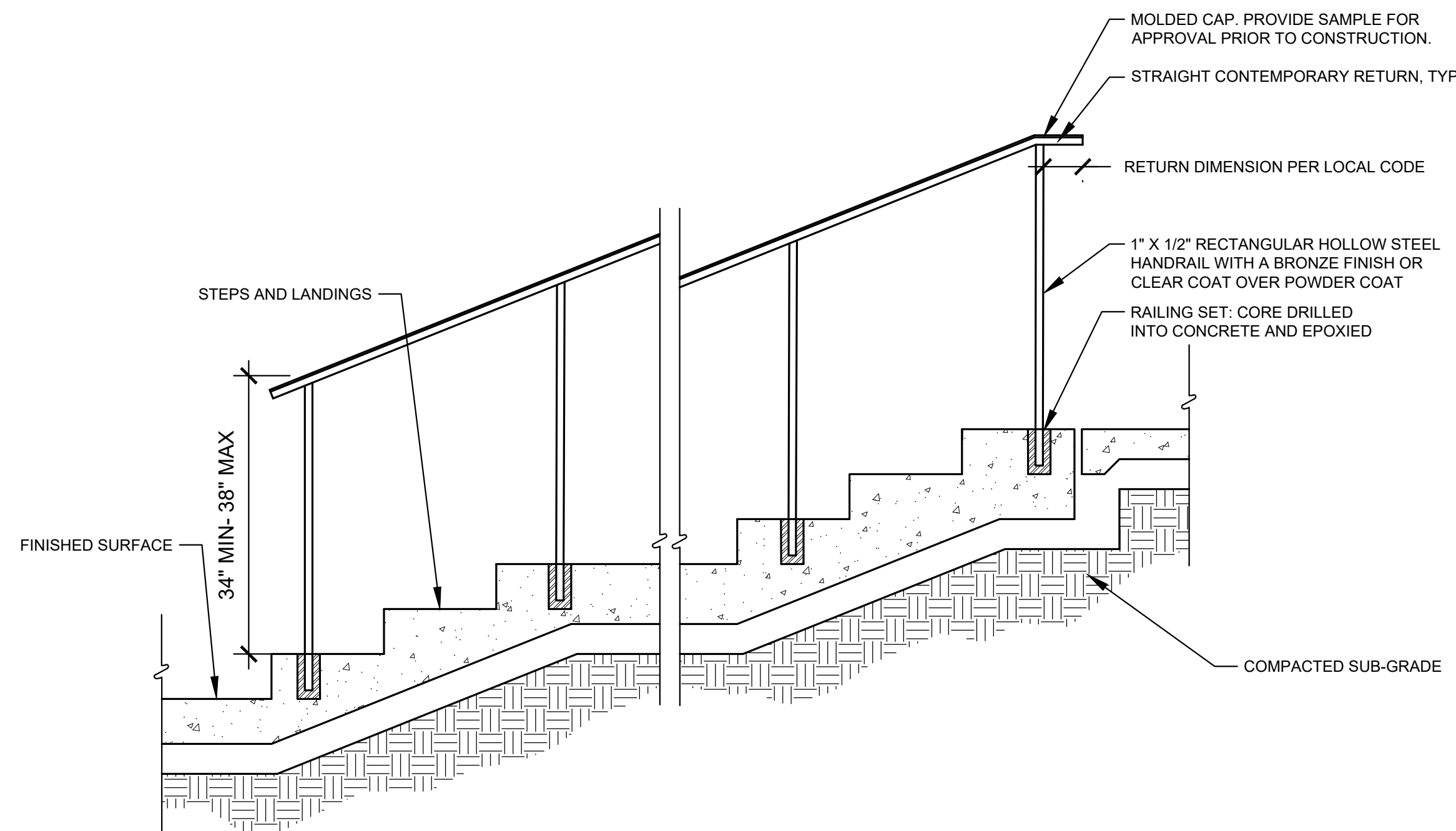
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SECTION

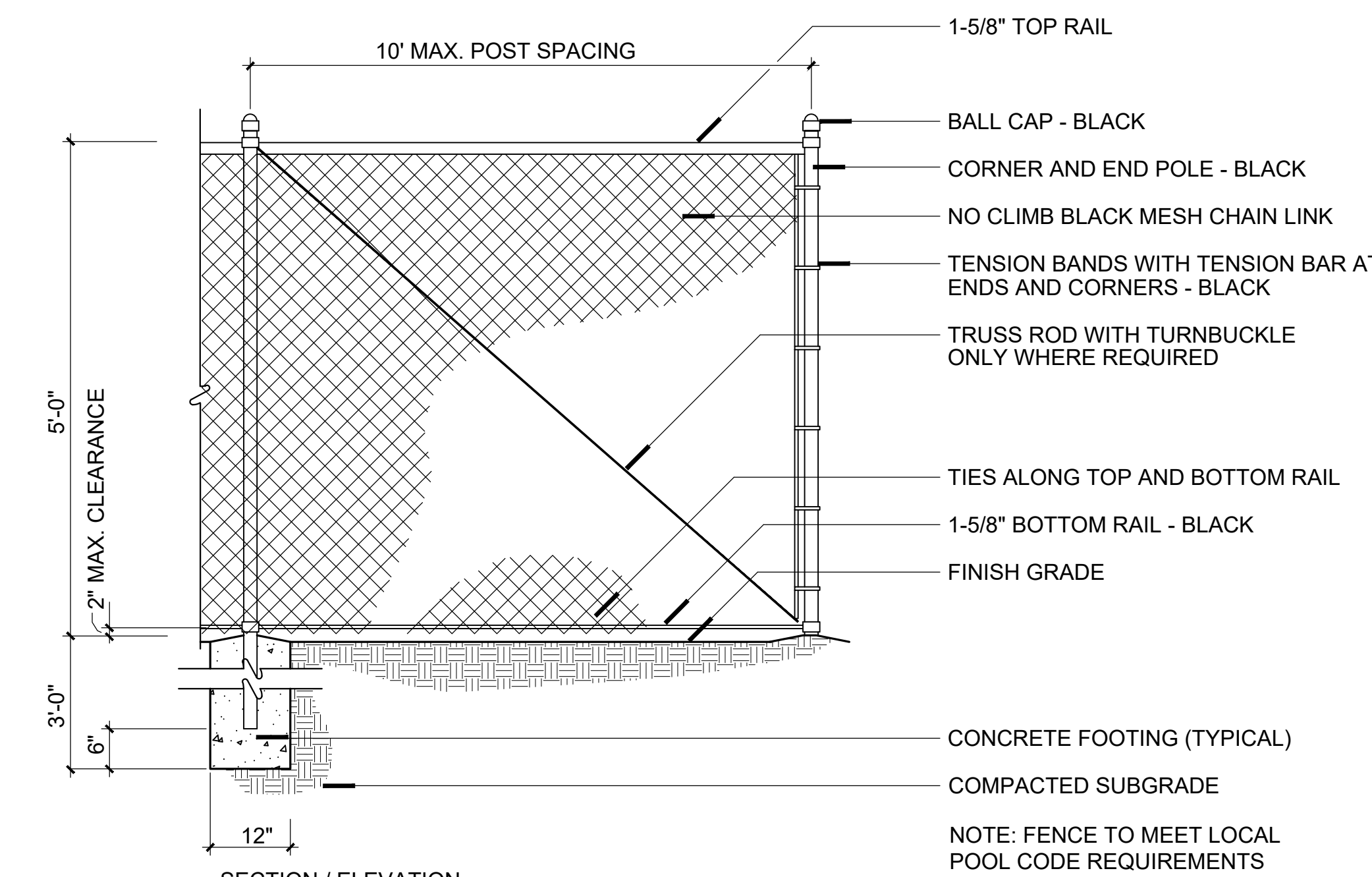
F STEPPING PADS W/ OPEN JOINTS

N.T.S.



G STAIR HANDRAILS

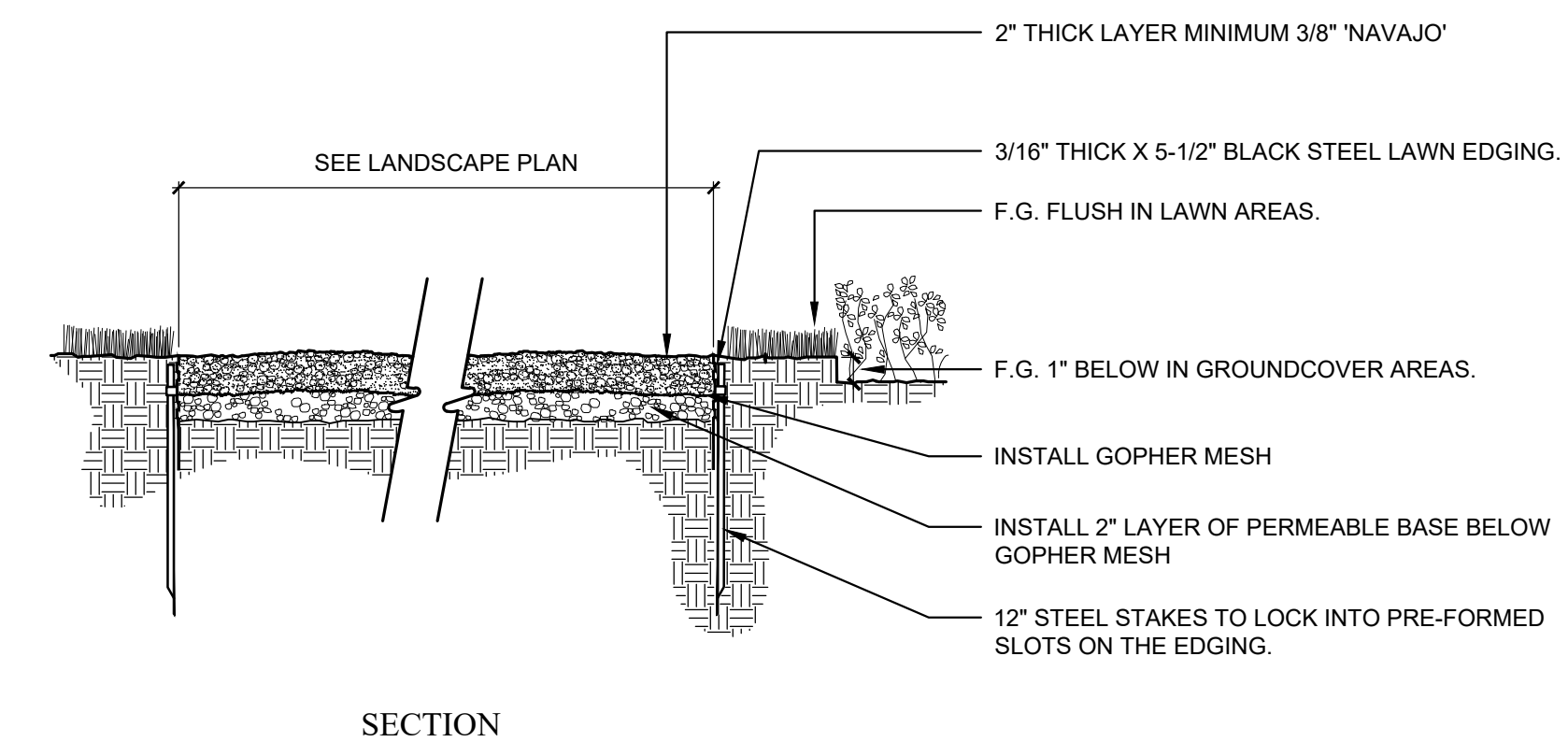
N.T.S.



SECTION / ELEVATION

H CHAINLINK FENCE

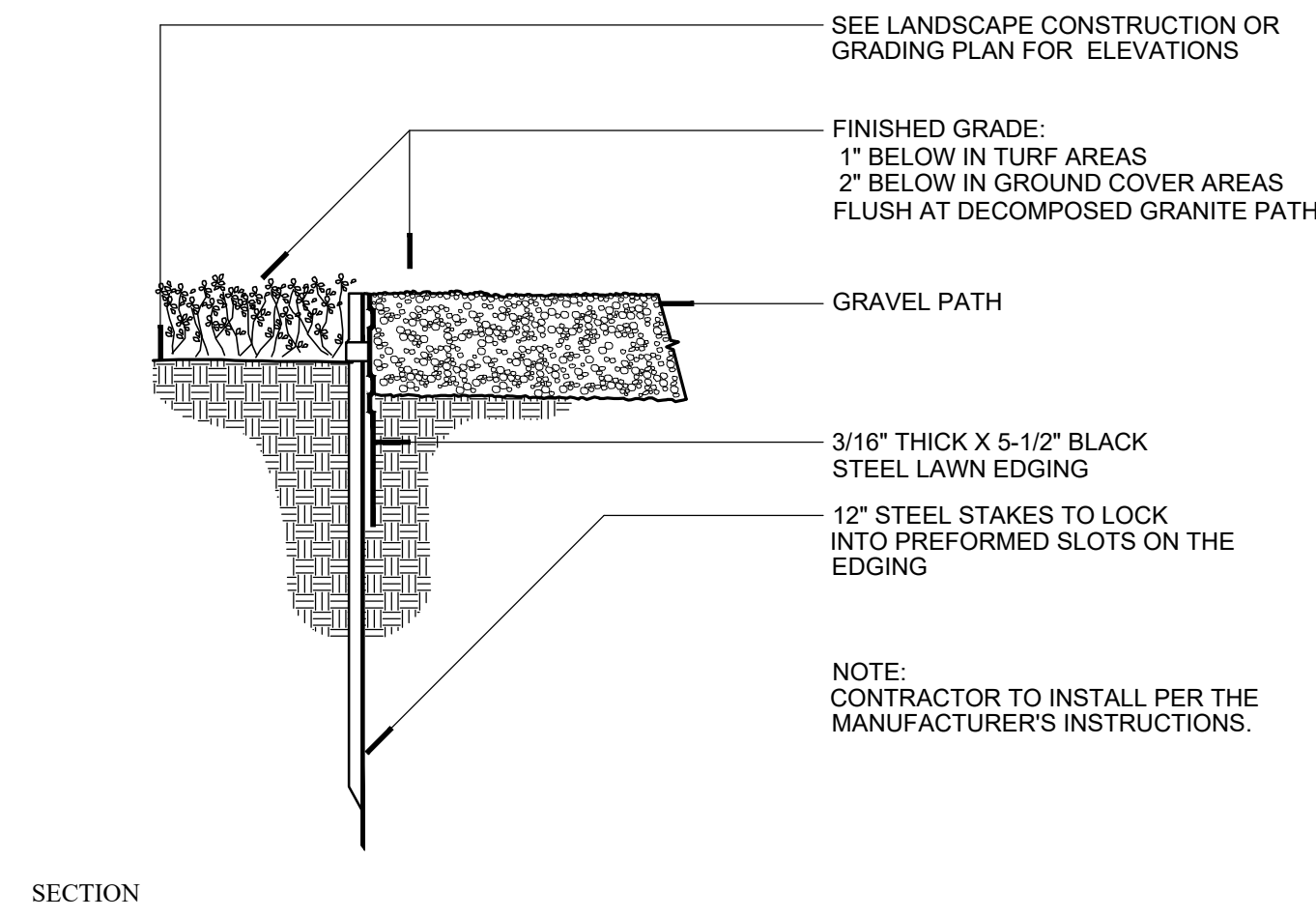
N.T.S.



SECTION

I GRAVEL PATHWAYS / PAVING

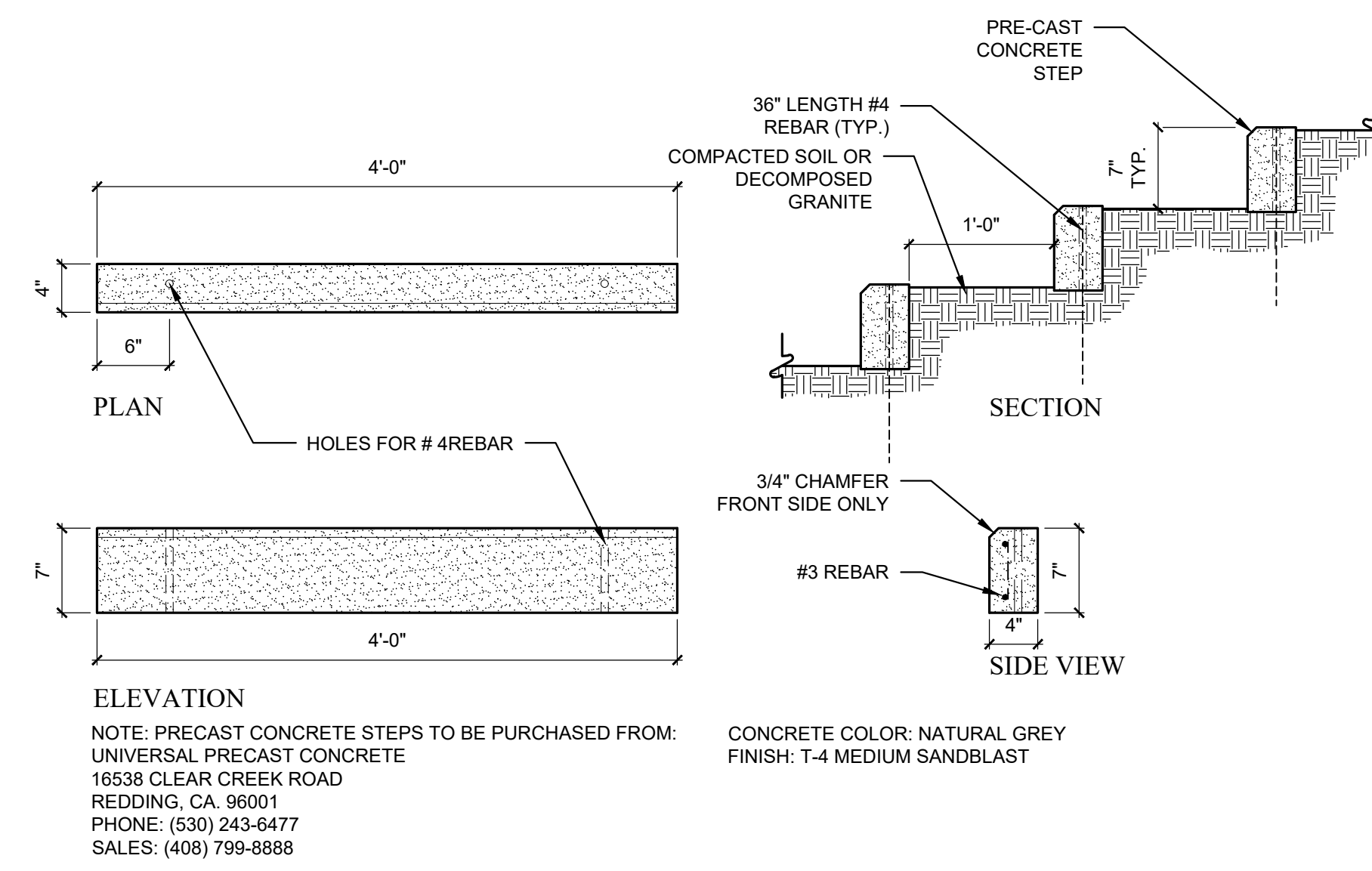
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SECTION

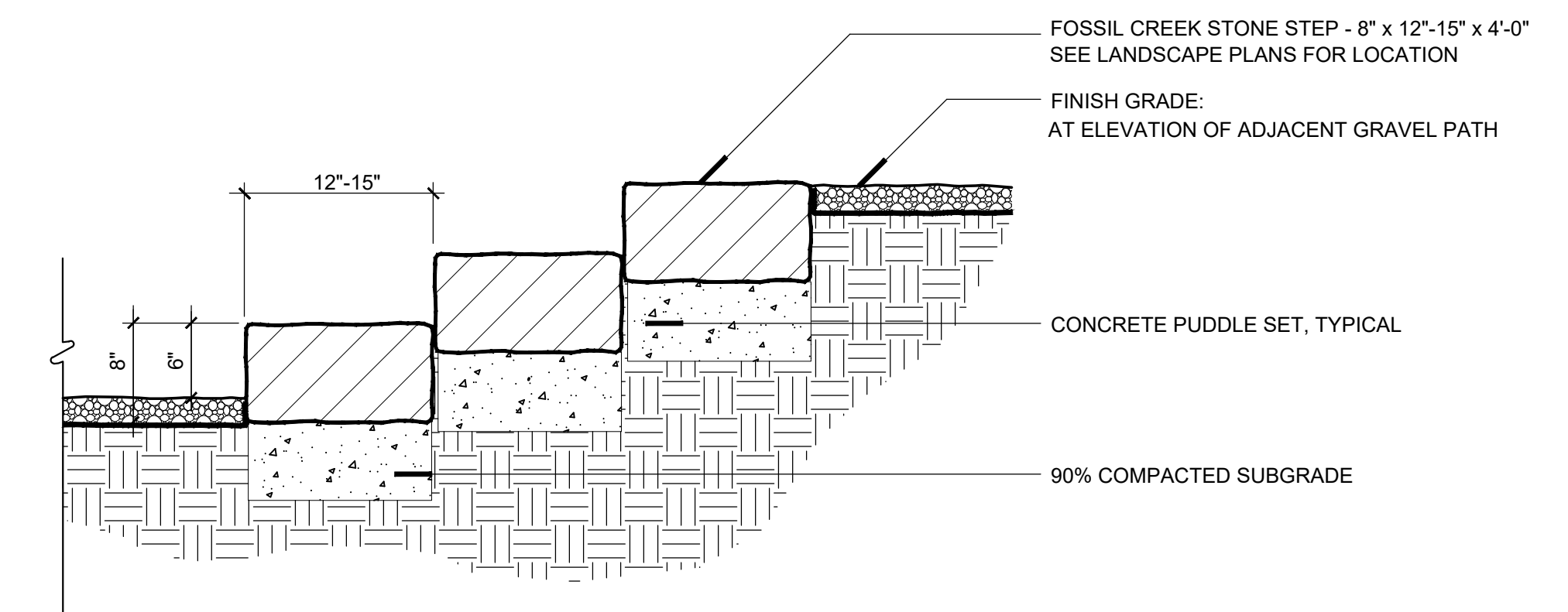
A GRAVEL PATH EDGING

N.T.S.



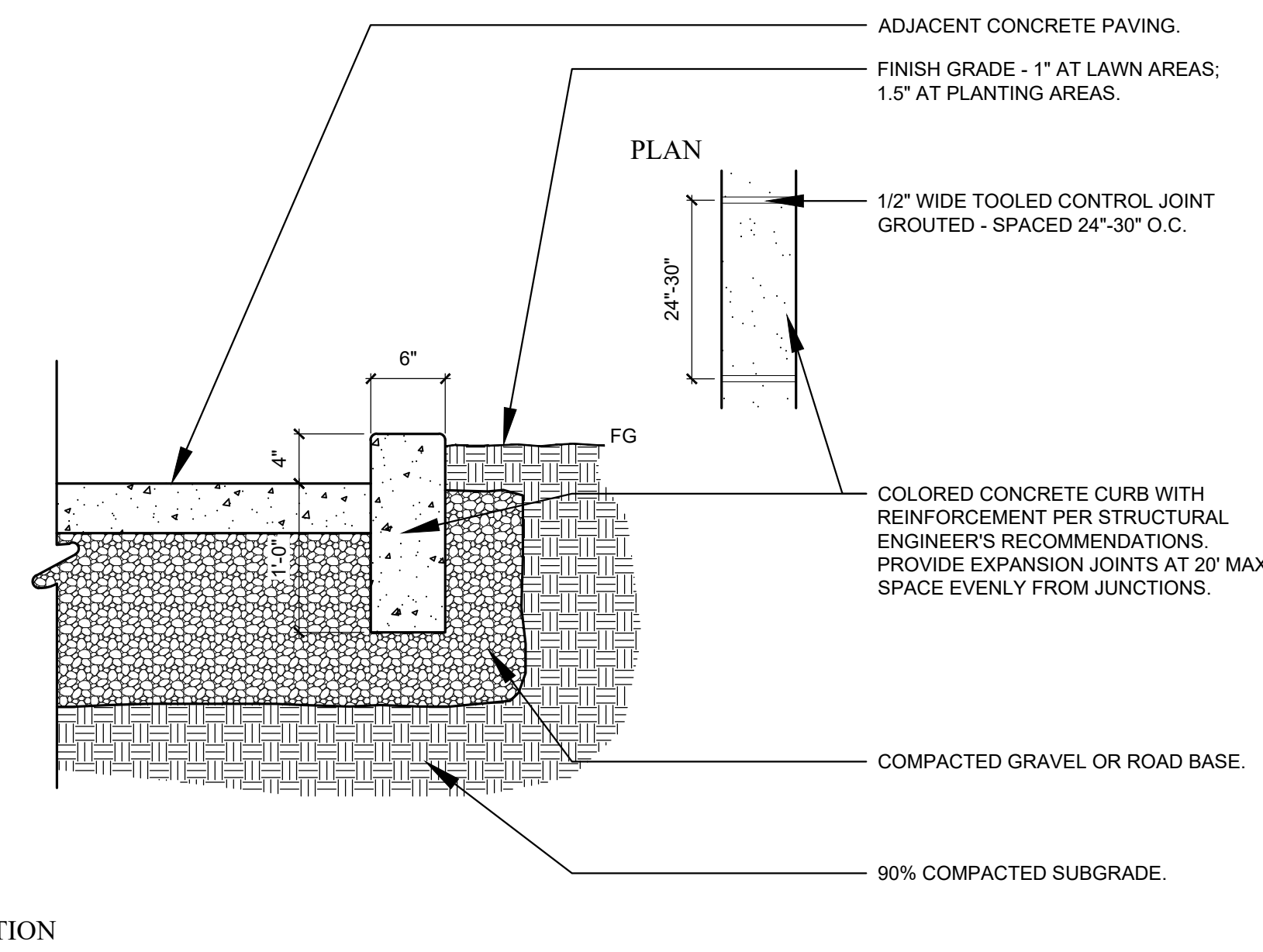
B PRE-FAB CONCRETE GARDEN STEPS

N.T.S.



C FOSSIL CREEK STONE SLAB STEPS

N.T.S.



D CONCRETE CURB AT DRIVEWAY

N.T.S.



S.A. FAUSSET-LANDSCAPE ARCHITECT, INC.
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LANDSCAPE CONSTRUCTION DETAILS

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ARKLEY RESIDENCE
616 SEA RANCH DRIVE
SANTA BARBARA, CA. 93109

REVISIONS

ISSUED FOR:
CITY OF SANTA BARBARA

DATE
JULY 19, 2024
DESIGNED BY/DRAFTED BY
SAF / KLD

SCALE
N.T.S.

PROJECT NO.
23-310

DRAWING NO.
SAF-02078

SHEET

L-18

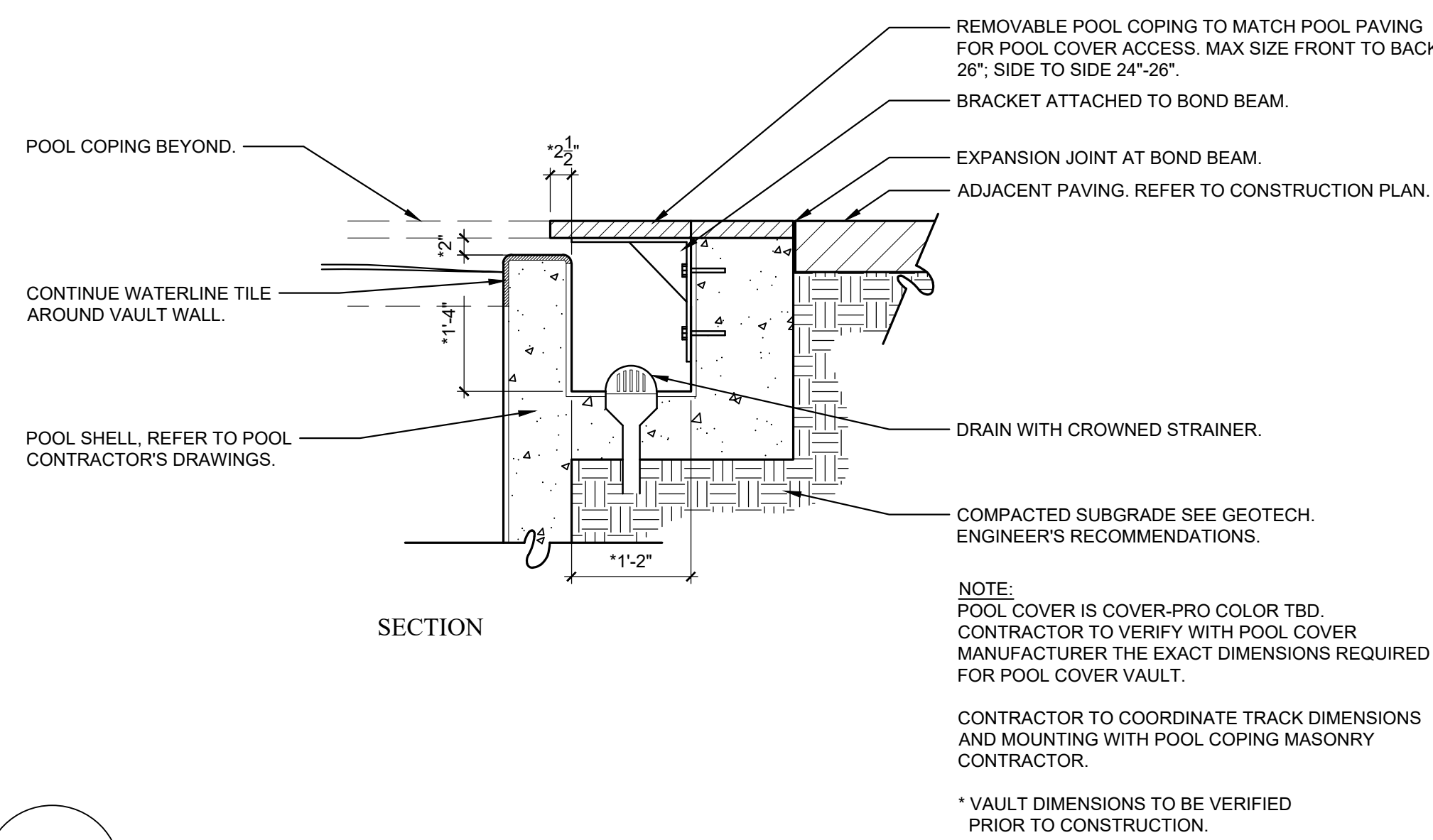
SYMBOL	DESCRIPTION
▲	SPA JETS
☼	LED POOL LIGHT - OR 500 WATT POOL LIGHT
☼	LED SPA LIGHT - OR 250 WATT POOL LIGHT
⊗	AQUASTAR 20" UNBLOCKABLE MAIN DRAIN (PREFERRED)
→	POOL OVERFLOW TO APPROVED DRAINAGE SYSTEM
⊗	SKIMMER TYPICAL - VERIFY LOCATION
■	SPA CONTROL BUTTONS
⊕	SPA MAIN DRAIN UNBLOCKABLE
△	JUNCTION BOX
⊙	OVERFLOW SKIMMER AT SPA

POOL EQUIPMENT SPECIFICATIONS

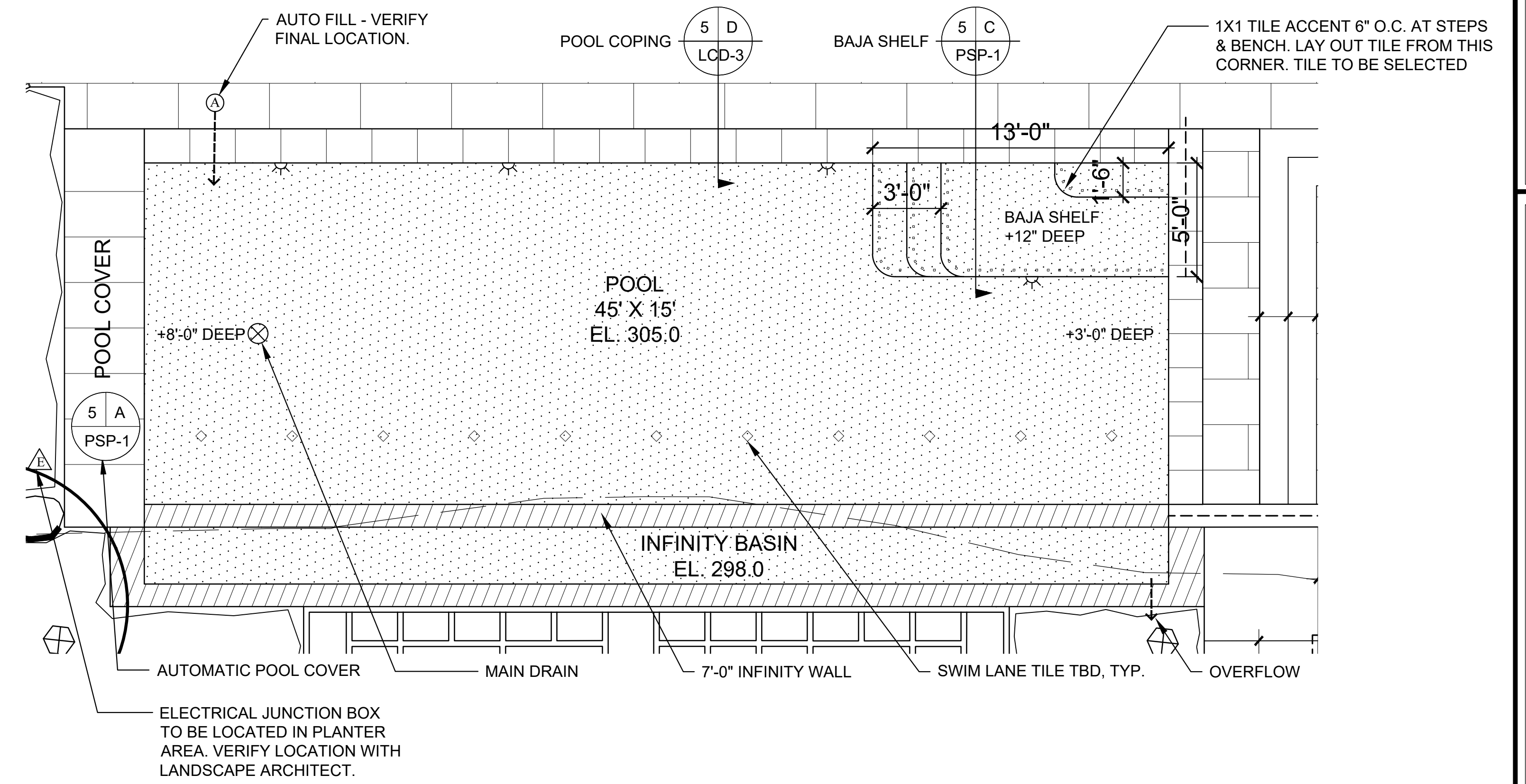
- POOL HEATER:** PENTAIR MASTERTEMP #SR400NA 400,000 BTU NATURAL GAS POOL HEATER.
- POOL FILTER:** (1) PENTAIR CLEAN & CLEAR PLUS 520 CARTRIDGE FILTER #CCP520
- PUMPS:** (1) PRIMARY FILTRATION PUMP - PENTAIR INTELLIFLO VSF VARIABLE SPEED PUMP
(1) PENTAIR WHISPERFLO 1.5-2.0 HP SHARED SYSTEM PUMP
THE QUIETEST POOL PUMP ON THE MARKET. OPERATING AT ONLY 45 dB (DECIBELS), THE INTELLIFLO VSF IS THE QUIETEST PUMP AVAILABLE. BECAUSE IT HAS A COMPLETELY CLOSED DESIGN AND AN EXCLUSIVE COOLING SYSTEM WITH FAN, IT OPERATES ALMOST SILENTLY. THE INTELLIFLO VSF IS SO QUIET THAT YOU MIGHT NOT EVEN NOTICE IT IS WORKING.
- POOL/WATER PURIFICATION COMPONENTS:** CLEARWATER TECH, INC. CONTACT REPRESENTATIVE: R.J. MAROSEY 805-340-6150
1. OZONE GENERATOR MODEL #P-2000 CORONA DISCHARGE 240 VOLT.
2. OXYGEN CONCENTRATOR/FEED GAS PREPARATION - 'AERIOUS' SERIES
3. SAFETY INTERLOCKS AND CONTROLS MODEL #TB CLEARWATER TECH ELECTRICAL INTERLOCK CONTROL BOX.
4. AIR PREPARATION MODEL #AD-40 AUTOMATIC HEAT REGENERATIVE AIR DRYER.
5. CONTACT VESSEL/TANK
6. OZONE INJECTION MANIFOLD - 'MAZZEI'
7. PENTAIR - AUTOMATIC ORP & PH CONTROLLER 'INTELLICHEM' ORP (OXIDATION REDUCTION POTENTIAL) CONTROLLER.
- CHEMICAL PUMPS:** ROLA-CHEM #RC 25 / 53 - MAX FEED 12GPD PUMP (1) FOR ACID AND (1) FOR CHLORINE. USE POLYETHYLENE TUBING
- CONTROL SYSTEM:** RESIDENCE - PENTAIR INTELLITOUCH COMPUTERIZED CONTROL SYSTEM. LOCATION IN RESIDENCE TO BE DETERMINED BY THE ARCHITECT AND INTERIOR DESIGNER. CONTRACTOR TO PROVIDED ELECTRICAL CONDUIT TO INSTALL CONTROLLER.
POOL HOUSE - PENTAIR INTELLITOUCH INDOOR CONTROL PANEL. LOCATION IN POOL HOUSE TO BE DETERMINED BY ARCHITECT AND INTERIOR DESIGNER CONTRACTOR TO PROVIDE ELECTRICAL CONDUIT TO INSTALL CONTROLLER.
- POOL LIGHTS:** PENTAIR AUTOMATIC VALVE ACTUATORS
(3) NEXXUS 'SAVI-MELODY' BLANCO - 12VAC LED LIGHT, WITH DIMMABLE TRANSFORMER. FACE RING TO MATCH PLASTER COLOR.
NOTE WELL: ORDER WITH CORD OF SUFFICIENT LENGTH BASED ON JUNCTION BOX LOCATED IN THE FIELD.
- JUNCTION BOX:** AMERICAN PRODUCTS (BRASS).
- SKIMMERS:** POOL-(2) AMERICAN PRODUCTS - 'ADMIRAL' OR APPROVED EQUAL-FABRICATE SKIMMER COVER TO MATCH PAVING. PROVIDE 1 SKIMMER PER EVERY 600 SQ.FT. POOL AREA
- VALVES:** JANDY 'NEVER LUBE' 2 PORT SHUT-OFF AND 3 PORT CHECK VALVE
- FILL LINE:** STUB OUT FROM HOUSE WATER LINE. USE 'SUPERIOR' MECHANICAL AUTOFILL DEVICE. LOCATION DETERMINED IN THE FIELD WITH APPROVAL OF LANDSCAPE ARCHITECT.
- RETURN LINE FITTINGS:** AMERICAN PRODUCTS - 86200 SERIES OR EQUAL WITH ORIFICE SIZES ADJUSTED BY THE POOL CONTRACTOR TO PROVIDE OPTIMUM POOL CIRCULATION AFTER THE START-UP OF THE POOL EQUIPMENT. FITTINGS TO MATCH POOL PLASTER OR TILE COLOR.
- POOL COVER:** 'COVERSTAR' AUTOMATIC POOL COVER BY COVER-PRO PHONE: (805)646-4232 416 BRYANT CIRCLE SUITE J, OJAI, CA 93023. COLOR TO BE SELECTED AND APPROVED BY OWNER AND/OR OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.

POOL NOTES:

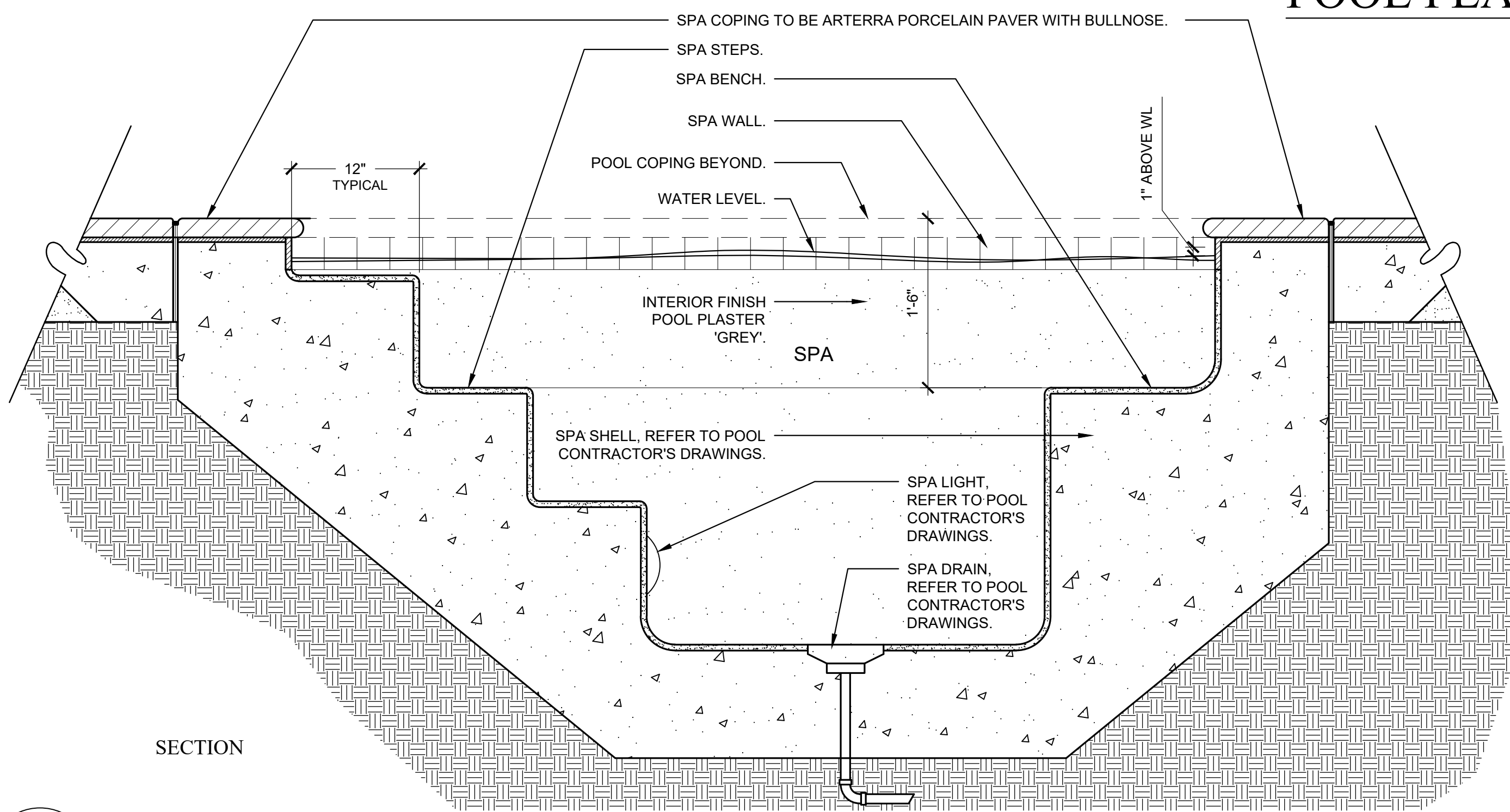
- REFER TO STRUCTURAL ENGINEERING PLANS BY POOL CONTRACTOR'S ENGINEER.
- REMOVE UNWANTED SOIL TO A LEGAL DUMPSITE.
- SOIL COMPACTION BELOW AND AROUND THE POOL TO BE CERTIFIED BY THE ENGINEERING GEOLOGIST.
- STRUCTURAL ENGINEER TO INSPECT STEEL 48 HOURS PRIOR TO APPLICATION OF GUNITE.
- PROVIDE CHECK VALVES BETWEEN THE HEATER AND THE CHEMICAL INJECTOR.
- THE STRUCTURAL ENGINEER, SOILS ENGINEER AND THE ENGINEERING GEOLOGIST ARE TO NOTIFY EACH OTHER, IMMEDIATELY UPON OBSERVATION OR DISCOVERY, OF ANY DEVIATION FROM THE ORIGINAL DRAWINGS, REPORTS OR SITE CONDITIONS.
- THE RELATIONSHIPS OF ALL CONSTRUCTION POINTS ARE TO BE PRECISELY ESTABLISHED IN THE FIELD. LAYOUT TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT, OWNER AND/OR OWNER'S REPRESENTATIVE PRIOR TO EXCAVATION.
- ALL GUNITE TO BE PLACED UNDER THE CONTINUOUS SUPERVISION OF A DEPUTY GUNITE INSPECTOR. THE STRUCTURAL ENGINEER, SOILS ENGINEERING AND THE ENGINEERING GEOLOGIST ARE TO MEET AT THE START OF GUNITING TO VERIFY AND CERTIFY ALL CONDITIONS.
- ALL POOL PLUMBING AND ELECTRICAL SHALL BE A MINIMUM OF EIGHTEEN (18) INCHES BELOW THE PROPOSED FINISHED GRADE AS NOTED ON THE GRADING PLANS AS AUTHORIZED BY THE CIVIL ENGINEER.
- THE POOL ELECTRICAL, MECHANICAL CONTROLS AND SWITCHING ARE DESIGNED BY THE POOL CONTRACTOR AND ARE TO BE REVIEWED AND APPROVED BY THE OWNER AND/OR THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- THE POOL CONTRACTOR SHALL PROVIDE SPECIFICATIONS AND MANUFACTURER'S SPECIFICATIONS FOR THE POOL EQUIPMENT TO BE REVIEWED AND APPROVED BY THE OWNER AND/OR THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
- POOL FINISH IS TO BE POOL PLASTER - LIGHT GREY. COLOR TO BE APPROVED BY THE OWNER AND/OR THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.



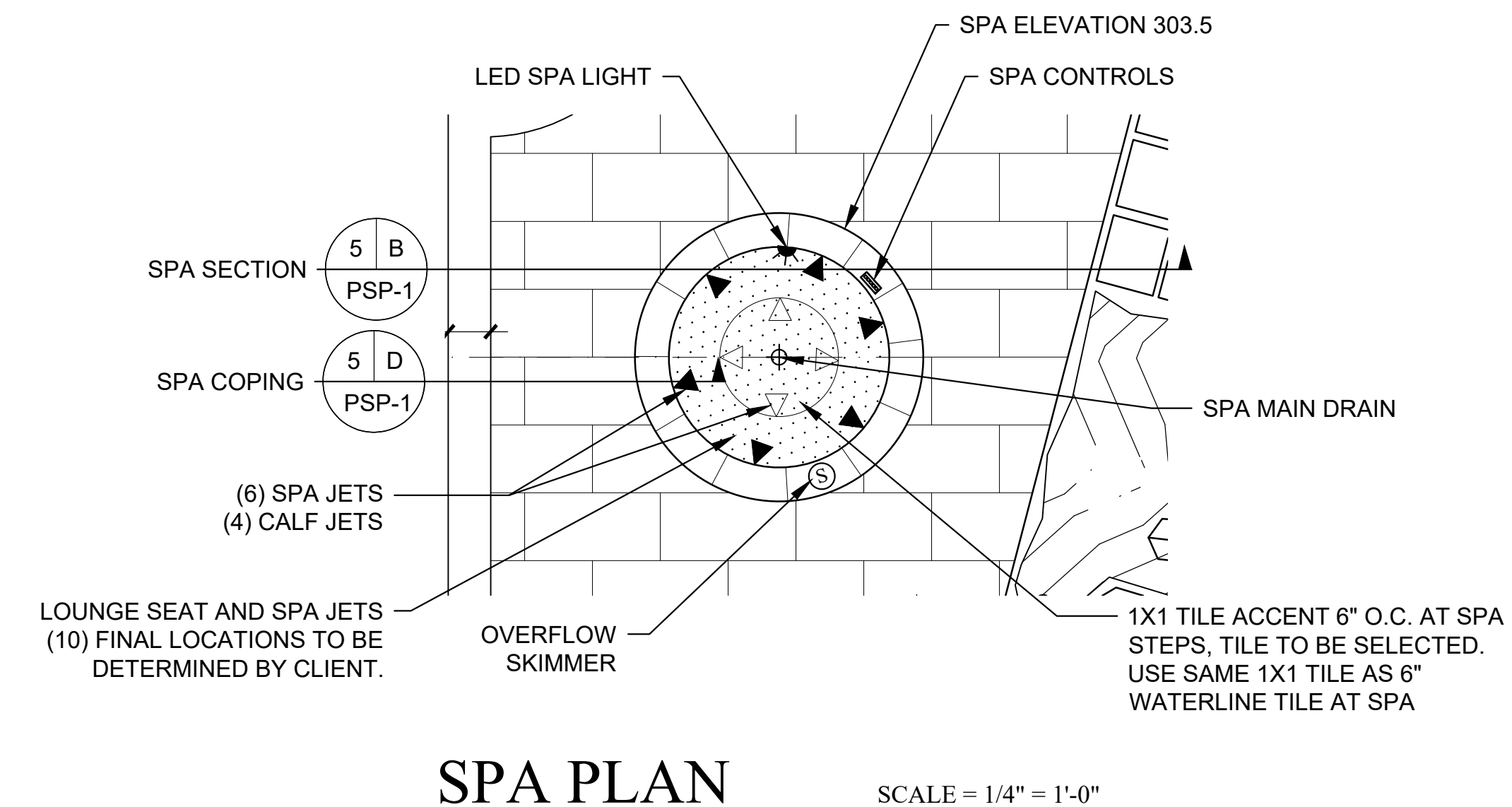
A AUTOMATIC POOL COVER N.T.S.



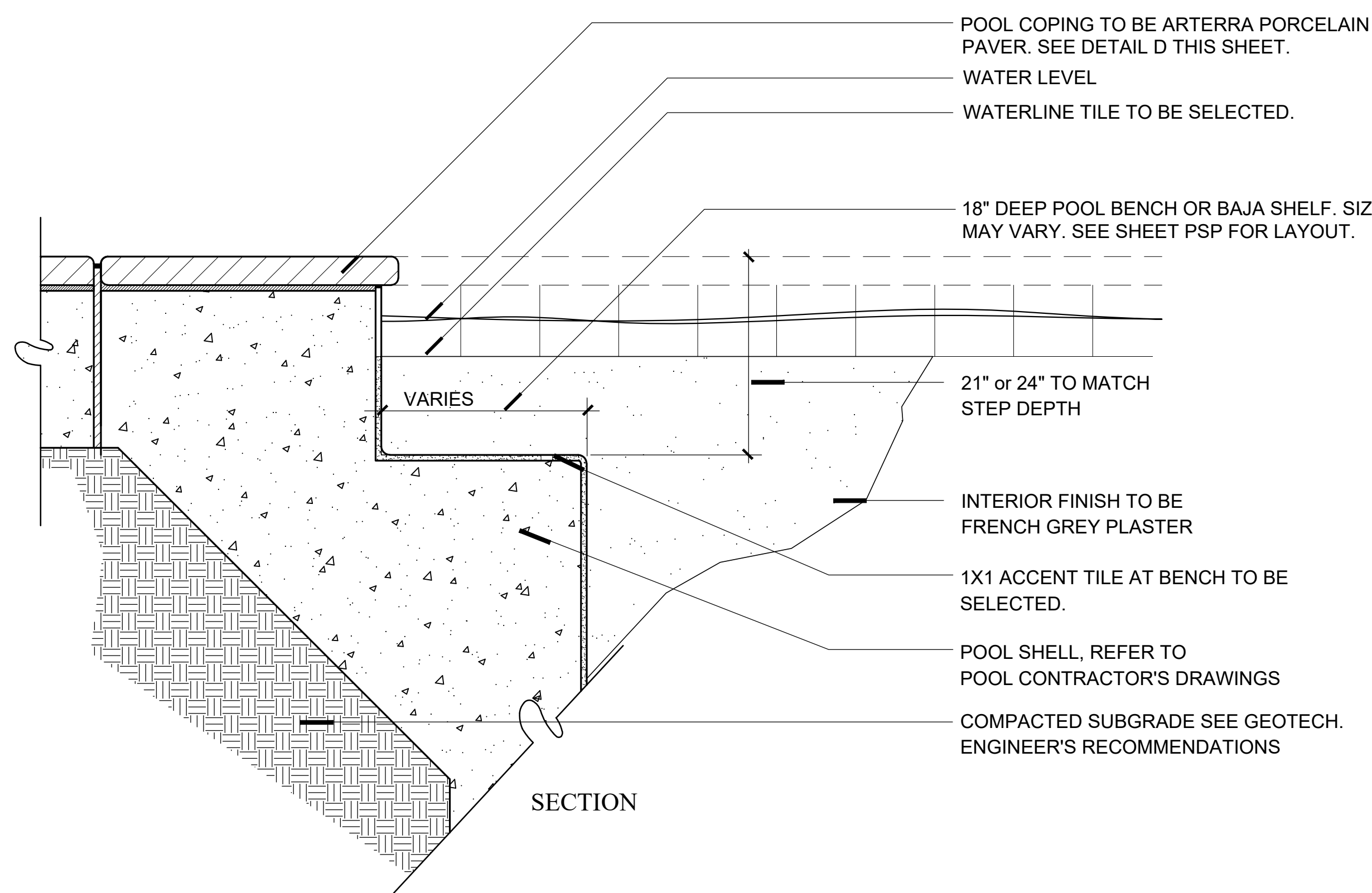
POOL PLAN SCALE = 1/4" = 1'-0"



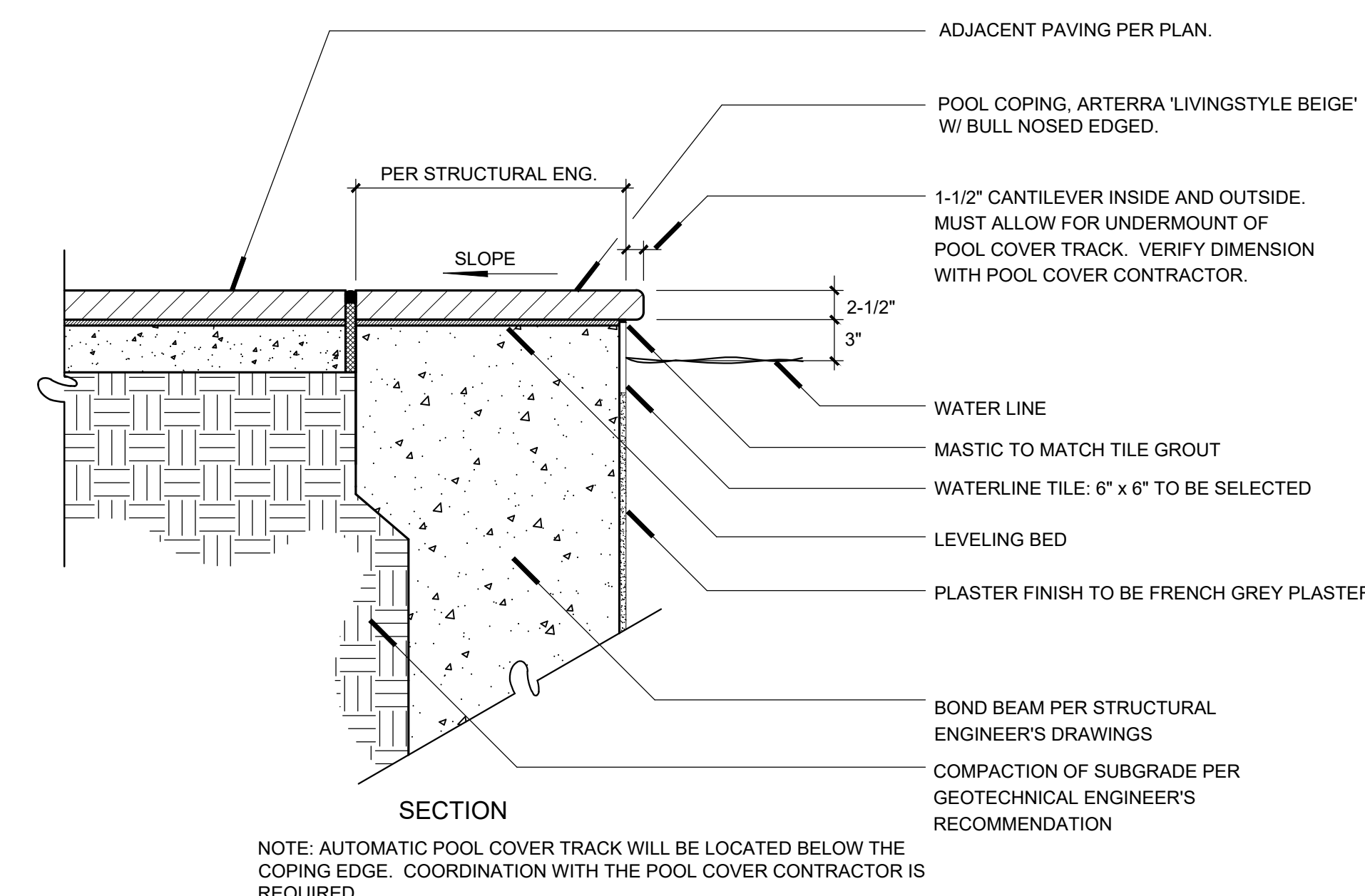
B SPA SECTION N.T.S.



SPA PLAN SCALE = 1/4" = 1'-0"



C POOL BAJA BENCH N.T.S.

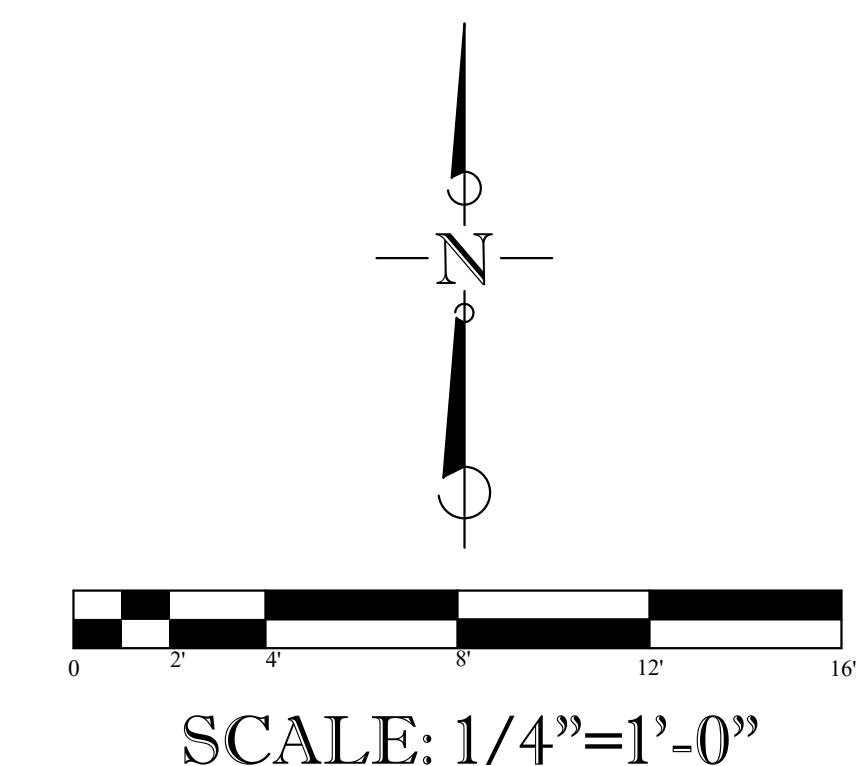


D SPA COPING N.T.S.



Know what's below.
Call 811 before you dig.
DIG ALERT

IMPORTANT NOTE:
NO EXCAVATION OF ANY KIND IS TO OCCUR ANYWHERE ON SITE WITHOUT FIRST VERIFYING THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES.



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POOL & SPA PLAN

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REVISIONS

ISSUED FOR:	CITY OF SANTA BARBARA
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SCALE	N.T.S.
PROJECT NO.	23-310
DRAWING NO.	SAF-02080
SHEET	

L-19

IRRIGATION POINT-OF-CONNECTION NOTES:

- THE SPRINKLER SYSTEM DESIGN IS BASED ON A MINIMUM AVAILABLE FLOW OF 16 GPM AND A MINIMUM STATIC WATER PRESSURE OF 140 PSI AT THE POINT OF CONNECTION. THE IRRIGATION CONTRACTOR SHALL PROVIDE A PRESSURE REGULATOR AT THE POINT OF CONNECTION SPECIFIED ON PLAN IF NEEDED. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE ON SITE PRIOR TO CONSTRUCTION, REPORT TO THE LANDSCAPE ARCHITECT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS, AND THE ACTUAL PRESSURE READING IN THE FIELD.
- THE SPRINKLER SYSTEM DESIGN IS BASED ON THE FOLLOWING EXISTING CONDITIONS:
EXISTING CONDITION INFORMATION PER CITY OF SANTA BARBARA WATER:
1" WATER METER
1" COPPER SERVICE LINE FROM STREET MAIN TO METER
140 PSI @ 10' ELEVATION
MAXIMUM GPM: 12
1/2 GPM THROUGH 1" COPPER SERVICE @ 7 FPS, ASSUMING 75% OF TOTAL FLOW AVAILABLE FOR IRRIGATION SYSTEM, OR 100% WHEN METER IS DEDICATED EXCLUSIVELY FOR IRRIGATION PURPOSES)
- IRRIGATION CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONNECTION TO THE P.O.C. WITH MINIMAL DISRUPTION TO THE EXISTING SITE WATER SUPPLY. NOTIFY THE GENERAL CONTRACTOR AND/OR OWNER'S AGENT WITHIN 48 HOURS IN ADVANCE OF INSTALLATION.
- ALL PIPING BETWEEN POINT OF CONNECTION AND THE BACK FLOW PREVENTION DEVICE SHALL BE OF MATERIALS AND INSTALLATION METHODS REQUIRED BY LOCAL CODE AND GOVERNING AGENCIES.

IRRIGATION GENERAL NOTES:

- THE IRRIGATION DESIGN AND LAYOUT IN THESE PLANS IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY, AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. AVOID ANY CONFLICTS BETWEEN THE IRRIGATION SYSTEM AND EXISTING STRUCTURES, UTILITIES AND PLANTING. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS ARISING IN THE FIELD.
- IRRIGATION SLEEVING UNDER PAVING TO BE PROVIDED BY IRRIGATION CONTRACTOR. VERIFY SLEEVING REQUIREMENTS IN FIELD AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT. SLEEVES SHALL BE PROVIDED BY IRRIGATION CONTRACTOR AND SHALL BE SCH 40 PVC AND SIZED PER THE SPECIFICATIONS AND THE LEGEND, EXTEND ALL ACCESS SLEEVES MINIMUM TWELVE (12) INCHES BEYOND PAVING EDGES.
- EXERCISE EXTREME CARE WHEN EXCAVATING FOR IRRIGATION SYSTEM DUE TO EXISTING UTILITIES. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO BECOME FAMILIAR WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, STRUCTURES AND UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES. UTILIZE UNDERGROUND UTILITY LOCATIONS SERVICES WHENEVER POSSIBLE AND BE FAMILIAR WITH EXISTING AND PROPOSED GRADE CHANGES AND RELATIONS TO STRUCTURES, WALLS AND UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS REQUIRED TO ASSURE THAT EXISTING PLANT MATERIAL TO REMAIN ON SITE IS PROTECTED FROM DAMAGE.
- IN THE INSTANCE THAT THE EXISTING IRRIGATION SYSTEM IS TURNED OFF OR ABANDONED, THE CONTRACTOR SHALL ARRANGE FOR TEMPORARY IRRIGATION TO WATER EXISTING PLANTS AND TREES TO REMAIN. ALL POSSIBLE CAUTION SHALL BE EXERCISED TO AVOID INJURY TO ROOTS AND TRUNKS OR EXISTING PLANT MATERIALS. TUNNELING UNDER ROOTS TWO (2) INCHES OR LARGER SHALL BE ALLOWED ONLY AFTER REVIEW BY THE LANDSCAPE ARCHITECT. THE PRUNING AND TRIMMING OF BRANCHES AND ROOTS OF PLANT MATERIALS WILL BE DONE BY EXPERIENCED WORKERS WITH THE CONSENT OF THE ARBORIST.
- WHERE OBSTRUCTIONS, GRADE DIFFERENCES, OR DISCREPANCIES IN THE DIMENSIONS OF IRRIGATED AREAS DIMENSIONS EXIST, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR THE OWNER'S ON SITE REPRESENTATIVE FOR RESOLUTION. IF SUCH NOTIFICATION IS NOT GIVEN, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY NECESSARY REPAIRS AND/OR REVISIONS.
- IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR PULLING VALVE WIRING TO ACCOMMODATE ALL STATIONS ON THE CONTROLLER PLUS A MINIMUM OF 2 ADDITIONAL STATIONS, OR AS INDICATED ON PLANS.
- INSTALL ALL MATERIALS AND EQUIPMENT AS SHOWN IN THE PLANS AND DETAILS. USE TEFLON PIPE TAPE ON ALL OUTSIDE (MALE) PIPE THREADS, ON ALL SPRINKLER SWING JOINT ASSEMBLIES, AND VALVE ASSEMBLIES.
- ALL POP-UP HEADS SHALL BE INSTALLED WITH TRIPLE SWING JOINTS.
- THE IRRIGATION PLANS ARE DIAGRAMMATIC AND ALL VALVES AND QUICK COUPLERS SHALL BE LOCATED IN SHRUB PLANTING AREAS WHEREVER POSSIBLE. VALVE BOXES SHALL BE A MINIMUM OF 36" FROM TURF EDGES, HARDSCAPE, PATHS, CURBS, AND WALLS. REMOTE CONTROL VALVES SHALL BE INSTALLED BELOW GRADE IN VALVE BOXES PER THE IRRIGATION DETAILS.
- 110 VOLT ELECTRICAL POWER OUTLET SHALL BE PROVIDED BY THE OWNER WITHIN REACH OF THE IRRIGATION CONTROLLER. THE IRRIGATION CONTRACTOR WILL BE RESPONSIBLE FOR THE FINAL HOOKUP FROM THE ELECTRICAL OUTLET TO THE AUTOMATIC CONTROLLER.

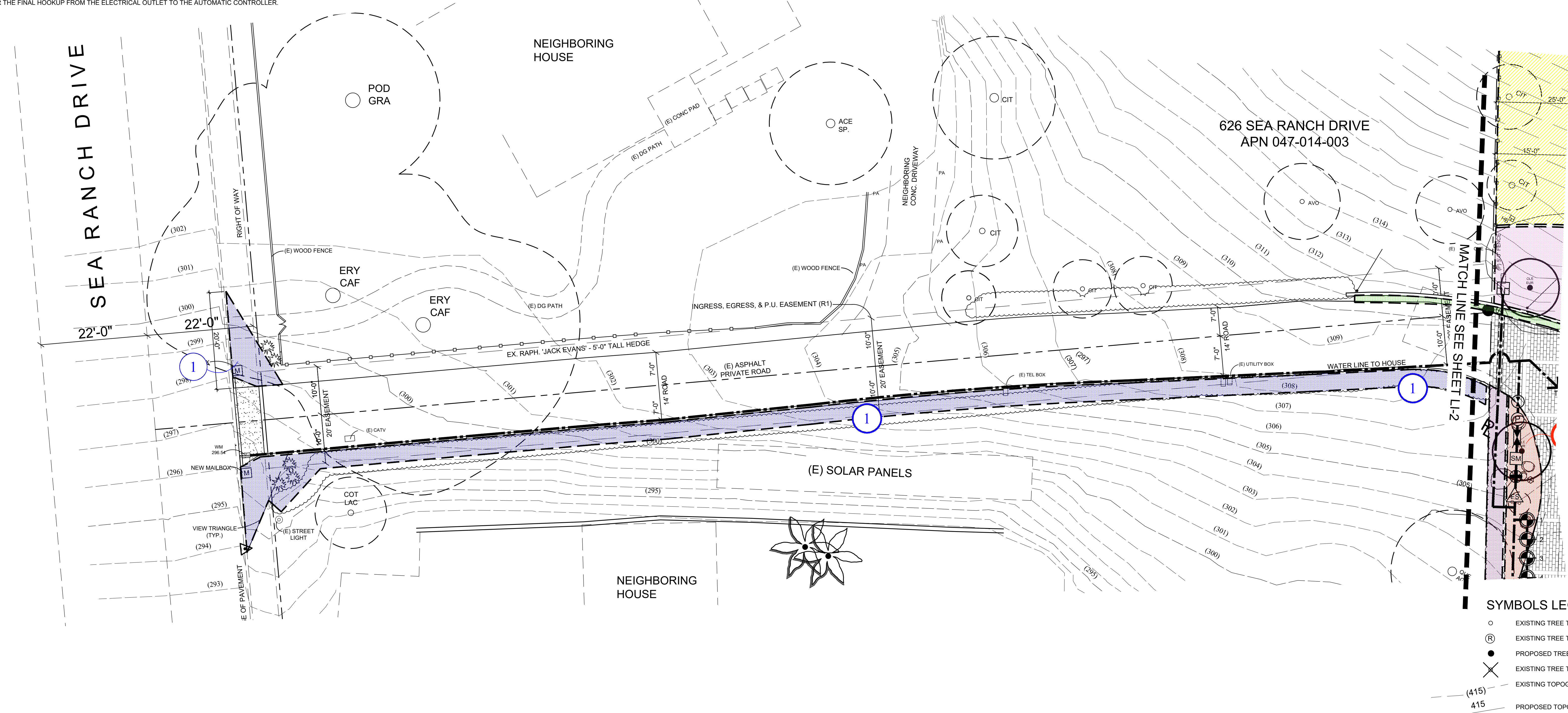
- THE IRRIGATION LINES AND HEADS SHALL BE FLUSHED PRIOR TO INSTALLATION OF THE HEADS AND EMITTERS. ADJUSTMENTS TO HEADS SHALL BE MADE TO PREVENT OVER SPRAY ONTO PAVING OR STRUCTURES AND TO PROVIDE 100% HEAD TO HEAD COVERAGE. THIS SHALL INCLUDE SELECTING THE BEST DEGREE OF ARC TO FIT THE EXISTING SITE CONDITIONS, AND TO THROTTLE THE FLOW CONTROL SYSTEM AT EACH VALVE TO OBTAIN OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM PER MANUFACTURER'S RECOMMENDATIONS. IT SHALL ALSO INCLUDE MINOR ADJUSTMENTS SUCH AS NOZZLE CHANGES AND/OR ADDITION AND DELETION OF INDIVIDUAL HEADS.
- INSTALL ANTI-DRAIN CHECK VALVES ON ALL SPRINKLER HEADS AS NEEDED AT LOW HEAD LOCATIONS TO PREVENT RESIDUAL FLOW WHILE TURNED OFF.
- THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING CONCRETE THRUST BLOCKS WHERE NEEDED TO PROTECT THE IRRIGATION LINES FROM WATER HAMMER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE INITIAL SCHEDULING OF THE IRRIGATION SYSTEM TO MEET HORTICULTURAL REQUIREMENTS AND TO INSURE THAT EXCESSIVE SOIL SATURATION AND/OR SOIL EROSION DOES NOT OCCUR. THE OWNER SHALL ASSUME THIS RESPONSIBILITY AFTER COMPLETION OF THE LANDSCAPE MAINTENANCE PERIOD AND PROJECT CLOSE OUT.
- PRECIPITATION RATES (PRT) AND GPM SHOWING IN THE IRRIGATION HEAD LEGEND ARE GIVEN ONLY AS A GENERAL INDICATION OF NOZZLE PERFORMANCE. ACTUAL TOTAL FLOW IS DEPENDENT UPON THE APPLICATION TIME OF EACH SYSTEM. THE APPLICATION TIME FOR EACH SYSTEM SHALL BE ADJUSTED TO PROVIDE A UNIFORM WATER COVERAGE. IN NO EVENT SHALL THE DURATION OF WATERING BE PERMITTED SUCH AS TO CREATE A SATURATED CONDITION OR CAUSE AN EROSION PROBLEM.
- FOLLOW ALL MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION OF ALL IRRIGATION PARTS AND EQUIPMENT, INCLUDING HEADS, POROSUS PIPE, DRIP LINES, EMITTERS, WEATHER STATIONS, MASTER VALVES, CONTROLLERS AND STATION VALVES TO INSURE A COMPLETE AND OPERATING SYSTEM.
- INSTALL ALL IRRIGATION COMPONENTS TO CONFORM WITH ALL STATE AND LOCAL CODES AND PER THE MANUFACTURER'S RECOMMENDATION.
- PROVIDE ADEQUATE LIGHTNING PROTECTION FOR ALL ELECTRICAL COMPONENTS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO SET THE FLOW RATES FOR ALL STATIONS. THE MAINLINE MAXIMUM FLOW RATE IS TO BE INITIALLY SET AT 20% GREATER THAN THE FLOW RATE FOR THE HIGHEST FLOW VALVE. THIS SETTING IS PROVIDED AS A GUIDE ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ADJUST SETTINGS AS NEEDED FOR VARYING SITE CONDITIONS.
- WHEREVER POSSIBLE, TRENCHING WITHIN THE DRIP LINES OF TREES SHOULD BE INSTALLED RADIAL TO THE TRUNK.
- FOR IRRIGATION SPECIFICATIONS, SEE SHEET FORM SPECIFICATIONS SPC-1 THROUGH SPC-3, WITHIN THIS SET.
- PRESSURE COMPENSATING SCREEN:
THE CONTRACTOR SHALL INSTALL ONE (1) RAIN BIRD PRESSURE COMPENSATING SCREEN PER HEAD IN ALL IRRIGATION INSTALLATIONS WHERE RADIUS REDUCTION IS REQUIRED. USE OF THE SCREENS WILL ALSO AID IN MINIMIZING OVERSPRAY CONDITIONS AND FOGGING CAUSED BY EXCESS PRESSURE. FOR SCREEN SELECTION REFER TO PRESSURE COMPENSATING SCREEN CHART.
- PLACE LOCATOR TAPE ON ALL MAINLINE PIPE, EXCEPT WHERE VALVE WIRES ARE BUNDLED WITH THE MAINLINE.
- RAIN AND WIND SENSORS PLACEMENT:
THE SENSORS SHALL BE INSTALLED ON THE SOUTH OR SOUTHWESTERN FACING AREA OF THE ROOF (WHENEVER POSSIBLE). THE AREA SELECTED SHALL BE IN A CLEAR OPEN AREA OF THE ROOF NOT AFFECTED BY SHADE FROM ANOTHER BUILDING OR TREE. THE CONTRACTOR SHALL INSTALL THE SENSOR ON AN EAVE OR FASCIA BOARD PER THE DIRECTION OF THE LANDSCAPE ARCHITECT. ALL WIRING SHALL BE CONCEALED PER THE DIRECTION OF THE LANDSCAPE ARCHITECT EITHER WITHIN PVC CONDUIT OR OTHER MEANS AS DIRECTED BY THE LANDSCAPE ARCHITECT.

PROTECTION OF EXISTING OR NEW SPECIMEN TREES:

- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING SPECIMEN TREES THAT ARE TO REMAIN IN THE PROJECT AND NEW SPECIMEN TREES THAT HAVE BEEN INSTALLED. ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO ASSURE THAT THEY ARE PROTECTED FROM DAMAGE BY WORKERS AND EQUIPMENT.
 - PROTECTIVE FENCING SHALL BE INSTALLED AT THE DIRECTION OF A CERTIFIED CONSULTING ARBORIST OR HORTICULTURALIST.
 - WHERE IT IS NECESSARY TO EXCAVATE IN CLOSE PROXIMITY TO EXISTING OR NEW SPECIMEN TREES, ALL POSSIBLE CAUTION SHALL BE EXERCISED TO AVOID INJURY TO ROOTS, LIMBS AND TRUNKS. EXCAVATION CLOSE TO TREES SHALL BE BY HAND. TUNNELING UNDER ROOTS TWO (2) INCHES AND LARGER SHALL BE ALLOWED ONLY AFTER DISCUSSION WITH AND APPROVAL BY A CERTIFIED CONSULTING ARBORIST OR HORTICULTURALIST.
 - EXCAVATIONS IN THE VICINITY OF TREES SHALL BE CLOSED WITHIN 24 HOURS. WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE EXCAVATION ADJACENT TO THE TREE SHALL BE KEPT COVERED WITH MOIST BURLAP OR CANVAS.
 - THE CONTRACTOR SHALL INSURE THAT NO FOREIGN MATERIAL AND/OR LIQUID, SUCH AS PAINT, CONCRETE, CEMENT, OIL, TURPENTINE, ACID OR THE LIKE, BE ALLOWED TO CONTAMINATE ANY SOIL WITHIN THE DRUPLINE (I.E. THE OUTSIDE EDGE OF FOLIAGE OVERHANG) OF ANY TREE. IF SUCH CONTAMINATION SHOULD OCCUR, THE CONTRACTOR SHALL REMOVE SOIL AS DIRECTED BY A CERTIFIED CONSULTING ARBORIST OR HORTICULTURALIST AND REPLACE IT WITH ACCEPTABLE SOIL AT NO EXPENSE TO THE OWNER.
 - ALL DAMAGE TO EXISTING SPECIMEN TREES SHALL BE REPAIRED AT THE GENERAL CONTRACTOR'S EXPENSE BY A LICENSED TREE SURGEON OR OTHER APPROVED PERSONNEL AS APPROVED BY A CERTIFIED CONSULTING ARBORIST OR HORTICULTURALIST.
 - ANY EXISTING IRRIGATION SYSTEM AT ALL EXISTING OR NEW SPECIMEN TREES SHALL BE MAINTAINED IN WORKING ORDER FOR THE DURATION OF CONSTRUCTION. ANY DAMAGE TO THE EXISTING IRRIGATION SYSTEM SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER.
- NOTE: SEE ALSO SPECIFICATIONS SECTIONS 02230 AND 02231 PERTAINING TO SITE CLEARING AND PROTECTION.

- FOR ALL NETAFIM SYSTEMS USE A NETAFIM TECHFILTER (TFXX612-CV) FOR TECHLINE RUNS TOTALING 100' OR LESS USE 3/4" (TF075612-100CV), FOR RUNS TOTALING 100' TO 200' USE 1" (TF10612-300CV), FOR RUNS TOTALING 200' TO 500' USE (2)1" (TF10612-1000CV), FOR RUNS TOTALING 500' TO 1000' USE 1" (TF10612-1000CV).
- INSTALL ALL IRRIGATION COMPONENTS TO CONFORM WITH ALL STATE AND LOCAL CODES AND PER THE MANUFACTURER'S RECOMMENDATION.
- PROVIDE ADEQUATE LIGHTNING PROTECTION FOR ALL ELECTRICAL COMPONENTS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO SET THE FLOW RATES FOR ALL STATIONS. THE MAINLINE MAXIMUM FLOW RATE IS TO BE INITIALLY SET AT 20% GREATER THAN THE FLOW RATE FOR THE HIGHEST FLOW VALVE. THIS SETTING IS PROVIDED AS A GUIDE ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ADJUST SETTINGS AS NEEDED FOR VARYING SITE CONDITIONS.
- SPRAY HEADS AGAINST WALLS, FENCES, OR MORE THAN 3' FROM WALKING SURFACES SUCH AS TURF, PATIOS, WALKS AND DRIVEWAYS, EXCEPT IN PROMINENTLY VISUAL AREAS MAY BE PA-8S SHRUB ADAPTERS ON FIXED RISERS WITH TRIPLE SWING JOINTS.
- ALL HEADS AT LOW POINTS OF SYSTEMS SHALL BE INSTALLED WITH CHECK VALVES TO PREVENT LOW HEAD DRAINAGE.
- WHERE BUBBLERS ARE SPECIFIED ON PLAN AS PART OF A SPRAY SYSTEM VALVE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO ADJUST THE FLOW RATE AND/OR BUBBLER HEAD LAYOUT TO PROVIDE A BALANCED PRECIPITATION RATE FOR THE SITE CONDITIONS.
- FOR RAINBIRD 1800 SERIES HEADS, HEADS TO BE 'SAM' SEAL-A-MATIC HEADS WITH BUILT-IN CHECK VALVE. FOR SLOPED SITES OR AS NEEDED TO PREVENT LOW HEAD DRAINAGE. (IE: 1804-SAM-12Q)
- FOR HUNTER I-10 & I-20 SERIES ROTORS: 50SR, 1.0SR, 2.0SR, 75SR, 1.5SR AND 3.0SR DENOTE SHORT RADIUS NOZZLE SET #466100 & 6.0 LA, 8.0 LA, 10 AND 13 DENOTE HIGH FLOW NOZZLE SET #444800

HEADS AGAINST WALLS, FENCES, OR MORE THAN 3' FROM WALKING SURFACES SUCH AS TURF, PATIOS, WALKS AND DRIVEWAYS - EXCEPT IN PROMINENTLY VISUAL AREAS - MAY BE PA-8S SHRUB ADAPTERS ON FIXED RISERS WITH TRIPLE SWING JOINTS.



SYMBOLS LEGEND

- EXISTING TREE TRUNK
- ⊙ EXISTING TREE TO BE RELOCATED
- PROPOSED TREE TRUNK
- ✕ EXISTING TREE TO BE REMOVED
- EXISTING TOPOGRAPHY
- PROPOSED TOPOGRAPHY

MWELO NOTES:

- PRESSURE REGULATING DEVICES SHALL BE INSTALLED WHERE NECESSARY TO ENSURE THAT THE DYNAMIC PRESSURE AT EACH EMISSION DEVICE IS WITHIN MANUFACTURER'S RECOMMENDED PRESSURE RANGE FOR OPTIMAL PERFORMANCE.
- ALL IRRIGATION EMISSION DEVICES WILL MEET THE CRITERIA AS SET FORTH IN MWELO SECTION 492.7 (a) (1) (M) AND SHALL BE INSTALLED AND OPERATED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS/INSTRUCTIONS.
- IRRIGATION HAS BEEN DESIGNED TO PREVENT RUNOFF, LOW HEAD DRAINAGE, OVERSPRAY, OR OTHER SIMILAR CONDITIONS WHERE IRRIGATED WATER FLOWS ONTO NON-TARGETED AREAS (E.G., ADJACENT PROPERTY, NON-IRRIGATED AREAS, HARDSCAPES, ROADWAYS OR STRUCTURES) IN ACCORDANCE WITH MWELO SECTIONS 492.7 (a) (1) (I) AND 492.7 (a) (1) (U).

CERTIFICATION OF COMPLETION REQUIREMENTS:

A CERTIFICATION OF COMPLETION IN ACCORDANCE WITH MWELO SECTION 492.9 WILL BE SUBMITTED FOR REVIEW/APPROVAL BY THE BUILDING AND SAFETY DIVISION PRIOR TO FINAL OCCUPANCY OF THE PROJECT (SEE MWELO APPENDIX C FOR SAMPLE). THE CERTIFICATION OF COMPLETION SHALL CONTAIN, AT THE MINIMUM, THE FOLLOWING:

- PROJECT INFORMATION
- CERTIFICATION BY EITHER THE SIGNER OF THE LANDSCAPE DESIGN PLAN, THE SIGNER OF THE IRRIGATION DESIGN PLAN, OR THE LICENSED LANDSCAPE CONTRACTOR THAT THE LANDSCAPE PROJECT HAS BEEN INSTALLED PER THE APPROVED LANDSCAPE DOCUMENTATION PACKAGE NOTES; WHERE SIGNIFICANT CHANGES HAVE BEEN MADE IN THE FIELD DURING INSTALLATION, AN "AS-BUILT" PLAN SHALL BE INCLUDED WITH THE CERTIFICATE. A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
- IRRIGATION SCHEDULING PARAMETERS USED TO SET THE CONTROLLER (SEE MWELO SECTION 492.10)
- LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULE (SEE MWELO SECTION 492.11)
- IRRIGATION AUDIT REPORT (SEE MWELO SECTION 492.12)
- SOIL ANALYSIS REPORT (IF NOT PREVIOUSLY SUBMITTED WITH LANDSCAPE DOCUMENTATION PACKAGE)

COMPLIANCE STATEMENT

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN AB 1881. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.

Hayley Fausset
APPLICANT SIGNATURE 06-05-2024
DATE

COMPLIANCE STATEMENT

"I HAVE COMPLIED WITH THE CRITERIA IN MWELO AN APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN."

Hayley Fausset
APPLICANT SIGNATURE 06-05-2024
DATE

North arrow pointing up.

Graphic scale bar: 0' 5' 10' 20' 30' 40'

SCALE: 1" = 10'-0"



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PLANS ARE DIAGRAMMATIC:

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IRRIGATION PLAN

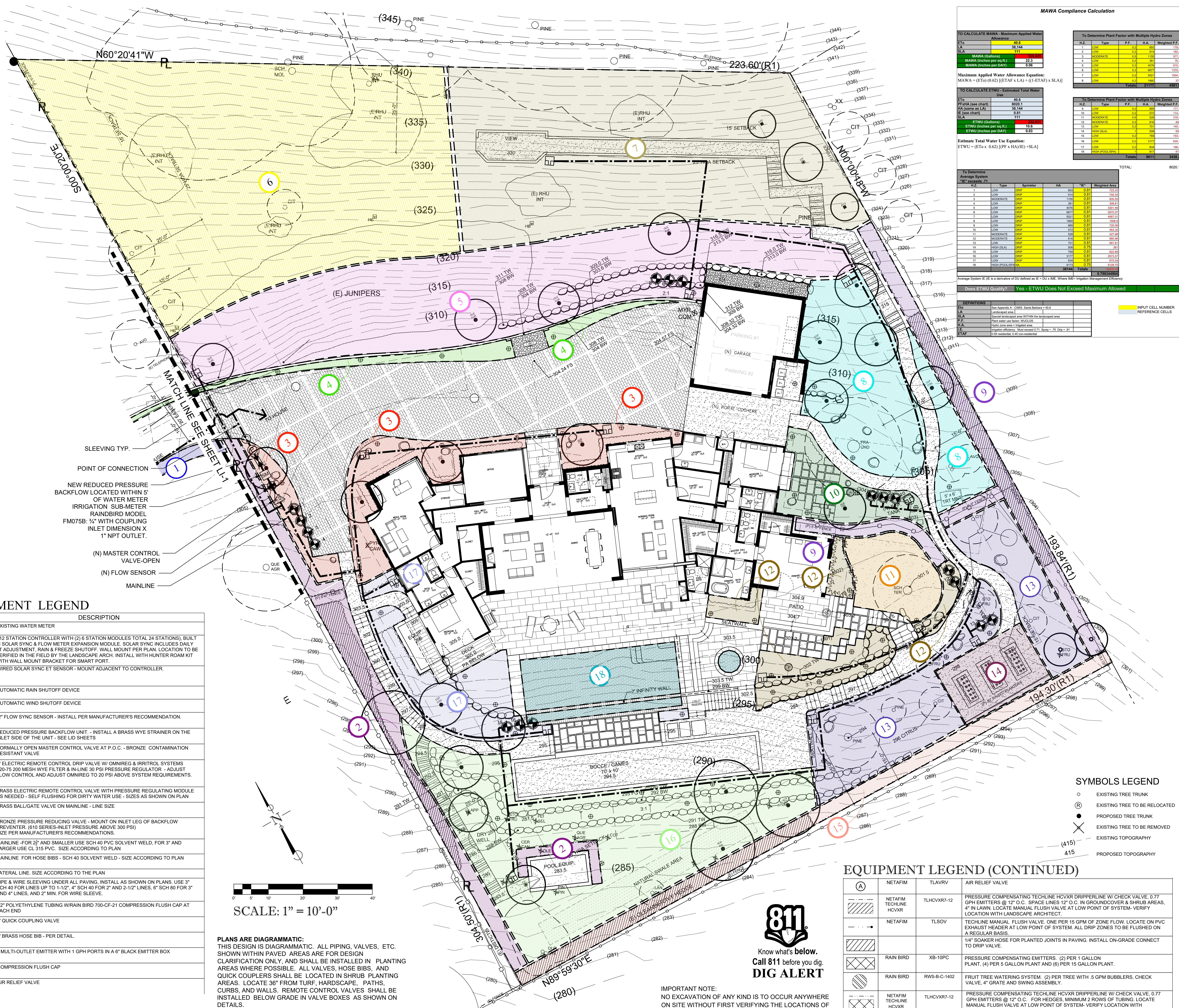
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ARKLEY RESIDENCE
616 SEA RANCH DRIVE
SANTA BARBARA, CA. 93109

REVISIONS

ISSUED FOR:	CITY OF SANTA BARBARA
DATE:	JULY 19, 2024
DESIGNED BY/DRAWN BY:	SAF / KLD
SCALE:	1" = 10'-0"
PROJECT NO.:	23-310
DRAWING NO.:	SAF-02081
SHEET:	

L-20



MAWA Compliance Calculation

TO CALCULATE MAWA - Maximum Applied Water Allowance			
ETo	Allowance	46.6	
LA		38.144	
SLA		111	
MAWA (Gallons)		232.225	
MAWA (Inches per Day)		0.56	
ETWU (Gallons)		105.6	
ETWU (Inches per Day)		0.23	

To Determine Plant Factor with Multiple Hydro Zones			
H.Z.	Type	P.F.	Weighted P.F.
1	LOW	0.1	89.3
2	LOW	0.1	94.4
3	MODERATE	0.5	105.3
4	LOW	0.1	67.1
5	LOW	0.1	60.7
6	LOW	0.1	37.9
7	LOW	0.1	106.4
8	LOW	0.1	186.0
Totals		2177	481.1

TO CALCULATE ETWU - Estimated Total Water Use			
ETo	Use	46.6	
PPFA (see chart)		8020.1	
HA (same as LA)		38.144	
ETWU (see chart)		9.91	
SLA		111	
ETWU (Gallons)		105.6	
ETWU (Inches per Day)		0.23	

To Determine Average System Efficiency			
H.Z.	Type	Efficiency	Weighted Area
1	LOW	80.0	725.31
2	LOW	80.0	762.24
3	MODERATE	80.0	855.50
4	LOW	80.0	588.41
5	LOW	80.0	539.32
6	LOW	80.0	317.77
7	LOW	80.0	929.21
8	LOW	80.0	1006.4
9	LOW	80.0	1022.68
10	MODERATE	80.0	457.26
11	MODERATE	80.0	485.32
12	MODERATE	80.0	485.32
13	MODERATE	80.0	485.32
14	MODERATE	80.0	485.32
15	LOW	80.0	387.61
16	MODERATE	80.0	387.61
17	LOW	80.0	322.09
18	LOW	80.0	322.09
19	LOW	80.0	322.09
20	LOW	80.0	322.09
21	LOW	80.0	322.09
22	LOW	80.0	322.09
23	MODERATE	80.0	322.09
Totals		80.0	8020.1

IRRIGATION EQUIPMENT LEGEND

SYMBOL	MFR.	MODEL	DESCRIPTION
[W]			EXISTING WATER METER
[A]	HUNTER	ACC-1200-SS WITH (2) AZM-600 MODULES & (1)A2C-F3	* 12 STATION CONTROLLER WITH (2) 6 STATION MODULES TOTAL 24 STATIONS, BUILT IN SOLAR SYNC & FLOW METER EXPANSION MODULE. SOLAR SYNC INCLUDES DAILY ET ADJUSTMENT, RAIN & FREEZE SHUTOFF. WALL MOUNT PER PLAN. LOCATION TO BE VERIFIED IN THE FIELD BY THE LANDSCAPE ARCH. INSTALL WITH HUNTER ROAM KIT WITH WALL MOUNT BRACKET FOR SMART PORT.
[S]	HUNTER	SOLAR-SYNC - SEN	WIRED SOLAR SYNC ET SENSOR - MOUNT ADJACENT TO CONTROLLER.
[R]	HUNTER	MINI-CLIK	AUTOMATIC RAIN SHUTOFF DEVICE
[W]	HUNTER	MINI-CLIK	AUTOMATIC WIND SHUTOFF DEVICE
[FS]	HUNTER	HFS WFCT200	2" FLOW SYNC SENSOR - INSTALL PER MANUFACTURER'S RECOMMENDATION.
[FBCO]	FEBCO	825Y	REDUCED PRESSURE BACKFLOW UNIT - INSTALL A BRASS WYE STRAINER ON THE INLET SIDE OF THE UNIT - SEE LID SHEETS
[S]	SUPERIOR	3100	NORMALLY OPEN MASTER CONTROL VALVE AT P.O.C. - BRONZE CONTAMINATION RESISTANT VALVE
[IR]	IRRITROL SYSTEMS	700-1-OMR-100	1" ELECTRIC REMOTE CONTROL DRIP VALVE W/ OMNIREG & IRRITROL SYSTEMS 420-75 200 MESH WYE FILTER & IN-LINE 30 PSI PRESSURE REGULATOR - ADJUST FLOW CONTROL AND ADJUST OMNIREG TO 20 PSI ABOVE SYSTEM REQUIREMENTS.
[RB]	RAIN BIRD	EFB-CP-PRS-D	BRASS ELECTRIC REMOTE CONTROL VALVE WITH PRESSURE REGULATING MODULE AS NEEDED - SELF FLUSHING FOR DIRTY WATER USE - SIZES AS SHOWN ON PLAN
[NB]	NIBCO	T-580 T-113	BRASS BALL/GATE VALVE ON MAINLINE - LINE SIZE
[P]	WILKINS	600 OR 610 SERIES	BRONZE PRESSURE REDUCING VALVE - MOUNT ON INLET LEG OF BACKFLOW PREVENTER. (610 SERIES-INLET PRESSURE ABOVE 300 PSI) SIZE PER MANUFACTURER'S RECOMMENDATIONS.
[PVC]	PVC	SCH 40	MAINLINE - FOR 2" AND SMALLER USE SCH 40 PVC SOLVENT WELD. FOR 3" AND LARGER USE CL 315 PVC. SIZE ACCORDING TO PLAN
[PVC]	PVC	SCH 40	MAINLINE - FOR HOSE BIBS - SCH 40 SOLVENT WELD - SIZE ACCORDING TO PLAN
[PVC]	PVC	SCH 40	LATERAL LINE. SIZE ACCORDING TO THE PLAN
[PVC]	PVC	SCH 40 SCH 80	PIPE & WIRE SLEEVING UNDER ALL PAVING. INSTALL AS SHOWN ON PLANS. USE 3" SCH 40 FOR LINES UP TO 1-1/2", 4" SCH 40 FOR 2" AND 2-1/2" LINES, 6" SCH 80 FOR 3" AND 4" LINES, AND 2" MIN. FOR WIRE SLEEVE.
[RB]	RAIN BIRD	XT-700	1/2" POLYETHYLENE TUBING W/RAIN BIRD 700-CF-21 COMPRESSION FLUSH CAP AT EACH END
[RB]	RAIN BIRD	5RC	1" QUICK COUPLING VALVE
[AR]	ARROWHEAD OR EQUAL	351 OR 353	1" BRASS HOSE BIB - PER DETAIL.
[RB]	RAIN BIRD	XBT-10-6	6 MULTI-OUTLET EMITTER WITH 1 GPH PORTS IN A 6" BLACK EMITTER BOX
[RB]	RAIN BIRD	700-CF-21	COMPRESSION FLUSH CAP
[A]	NETAFIM	TLAVRV	AIR RELIEF VALVE

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EQUIPMENT LEGEND (CONTINUED)

[A]	NETAFIM	TLAVRV	AIR RELIEF VALVE
[TL]	NETAFIM TECHLINE HCXVR	TLHCXVR7-12	PRESSURE COMPENSATING TECHLINE HCXVR DRIPPERLINE W/ CHECK VALVE, 0.77 GPH EMITTERS @ 12" O.C. IN GROUND COVER & SHRUB AREAS, 4" IN LAWN. LOCATE MANUAL FLUSH VALVE AT LOW POINT OF SYSTEM - VERIFY LOCATION WITH LANDSCAPE ARCHITECT.
[TL]	NETAFIM	TLSOV	TECHLINE MANUAL FLUSH VALVE. ONE PER 15 GPM OF ZONE FLOW. LOCATE ON PVC EXHAUST HEADER AT LOW POINT OF SYSTEM. ALL DRIP ZONES TO BE FLUSHED ON A REGULAR BASIS.
[SH]	RAIN BIRD	XB-10PC	1/4" SOAKER HOSE FOR PLANTED JOINTS IN PAVING. INSTALL ON-GRADE CONNECT TO DRIP VALVE.
[RB]	RAIN BIRD	RWS-B-C-1402	FRUIT TREE WATERING SYSTEM. (2) PER TREE WITH 5 GPM BUBBLERS, CHECK VALVE, 4" GRATE AND SWING ASSEMBLY.
[TL]	NETAFIM TECHLINE HCXVR	TLHCXVR7-12	PRESSURE COMPENSATING TECHLINE HCXVR DRIPPERLINE W/ CHECK VALVE, 0.77 GPH EMITTERS @ 12" O.C. FOR HEDGES. MINIMUM 2 ROWS OF TUBING. LOCATE MANUAL FLUSH VALVE AT LOW POINT OF SYSTEM - VERIFY LOCATION WITH LANDSCAPE ARCHITECT.

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IRRIGATION PLAN

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ARKLEY RESIDENCE
616 SEA RANCH DRIVE
SANTA BARBARA, CA. 93109

ISSUED FOR:
CITY OF SANTA BARBARA

DATE:
JULY 19, 2024

DESIGNED BY/CREATED BY:
SAF / KLD

SCALE:
1" = 10'-0"

PROJECT NO.
23-310

DRAWING NO.
SAF-02082

SHEET
L-21

IRRIGATION POINT-OF-CONNECTION NOTES:

- THE SPRINKLER SYSTEM DESIGN IS BASED ON A MINIMUM AVAILABLE FLOW OF 16 GPM AND A MINIMUM STATIC WATER PRESSURE OF 140 PSI AT THE POINT OF CONNECTION. THE IRRIGATION CONTRACTOR SHALL PROVIDE A PRESSURE REGULATOR AT THE POINT OF CONNECTION SPECIFIED ON PLAN IF NEEDED. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE ON SITE PRIOR TO CONSTRUCTION, REPORT TO THE LANDSCAPE ARCHITECT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS, AND THE ACTUAL PRESSURE READING IN THE FIELD.
- THE SPRINKLER SYSTEM DESIGN IS BASED ON THE FOLLOWING EXISTING CONDITIONS:
(EXISTING CONDITION INFORMATION PER CITY OF SANTA BARBARA WATER.)
1" WATER METER
1" COPPER SERVICE LINE FROM STREET MAIN TO METER
140 PSI @ 10' ELEVATION
MAXIMUM GPM: 12
(12 GPM THROUGH 1" COPPER SERVICE @ 7 FPS, ASSUMING 75% OF TOTAL FLOW AVAILABLE FOR IRRIGATION SYSTEM, OR 100% WHEN METER IS DEDICATED EXCLUSIVELY FOR IRRIGATION PURPOSES)
- IRRIGATION CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONNECTION TO THE P.O.C., WITH MINIMAL DISRUPTION TO THE EXISTING SITE WATER SUPPLY. NOTIFY THE GENERAL CONTRACTOR AND/OR OWNER'S AGENT WITHIN 48 HOURS IN ADVANCE OF INSTALLATION.
- ALL PIPING BETWEEN POINT OF CONNECTION AND THE BACK FLOW PREVENTION DEVICE SHALL BE OF MATERIALS AND INSTALLATION METHODS REQUIRED BY LOCAL CODE AND GOVERNING AGENCIES.

IRRIGATION GENERAL NOTES:

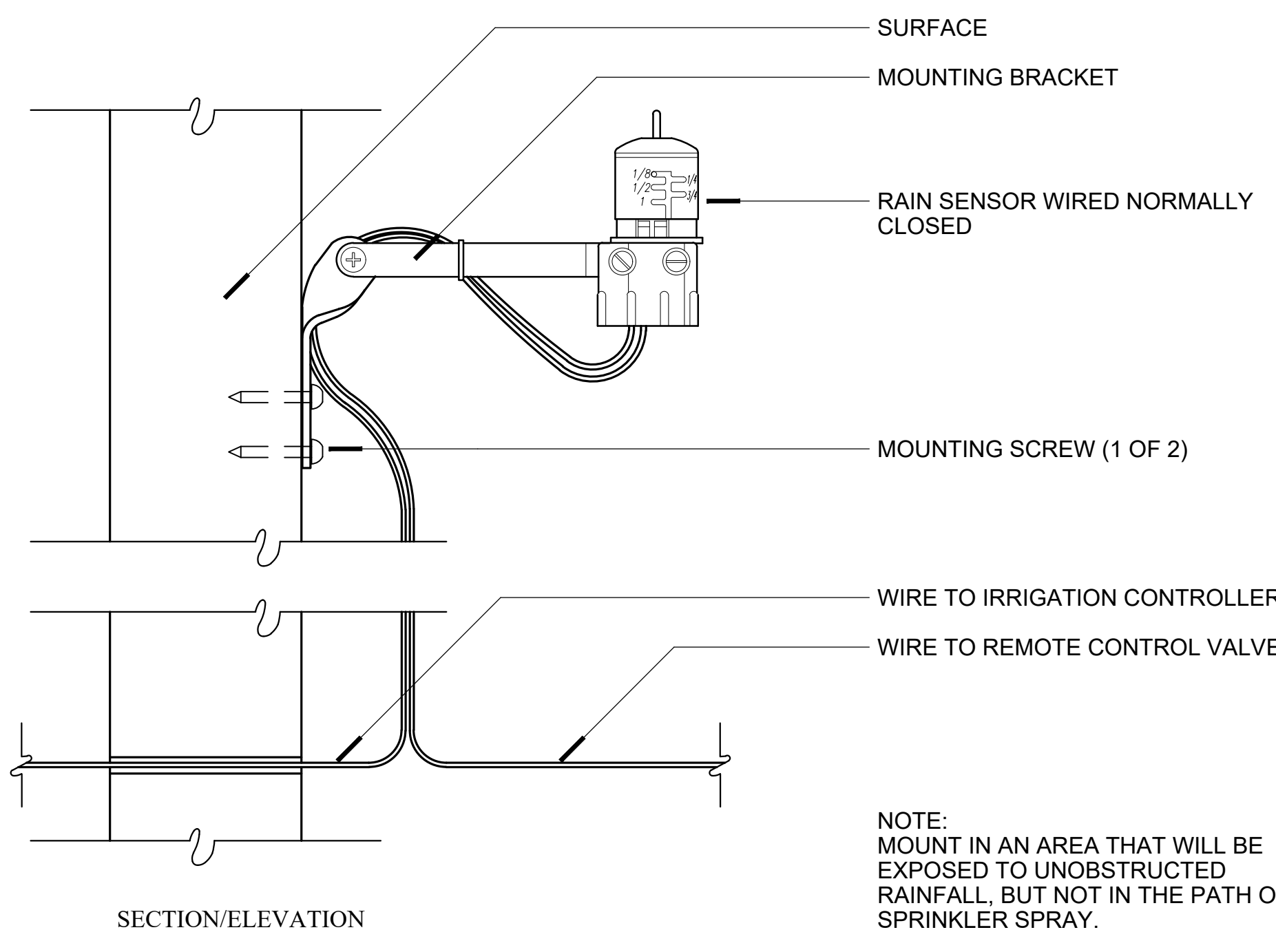
- THE IRRIGATION DESIGN AND LAYOUT IN THESE PLANS IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY, AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. AVOID ANY CONFLICTS BETWEEN THE IRRIGATION SYSTEM AND EXISTING STRUCTURES, UTILITIES AND PLANTING. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS ARISING IN THE FIELD.
- IRRIGATION SLEEVING UNDER PAVING TO BE PROVIDED BY IRRIGATION CONTRACTOR. VERIFY SLEEVING REQUIREMENTS IN FIELD AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT. SLEEVES SHALL BE PROVIDED BY IRRIGATION CONTRACTOR AND SHALL BE SCH 40 PVC AND SIZED PER THE SPECIFICATIONS AND THE LEGEND. EXTEND ALL ACCESS SLEEVES MINIMUM TWELVE (12) INCHES BEYOND PAVING EDGES.
- EXERCISE EXTREME CARE WHEN EXCAVATING FOR IRRIGATION SYSTEM DUE TO EXISTING UTILITIES. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO BECOME FAMILIAR WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, STRUCTURES AND UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES. UTILIZE UNDERGROUND UTILITY LOCATIONS SERVICES WHENEVER POSSIBLE AND BE FAMILIAR WITH EXISTING AND PROPOSED GRADE CHANGES AND RELATIONS TO STRUCTURES, WALLS AND UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS REQUIRED TO ASSURE THAT EXISTING PLANT MATERIAL TO REMAIN ON SITE IS PROTECTED FROM DAMAGE.
- IN THE INSTANCE THAT THE EXISTING IRRIGATION SYSTEM IS TURNED OFF OR ABANDONED, THE CONTRACTOR SHALL ARRANGE FOR TEMPORARY IRRIGATION TO WATER EXISTING PLANTS AND TREES TO REMAIN. ALL POSSIBLE CAUTION SHALL BE EXERCISED TO AVOID INJURY TO ROOTS AND TRUNKS OR EXISTING PLANT MATERIALS. TUNNELING UNDER ROOTS TWO (2) INCHES OR LARGER SHALL BE ALLOWED ONLY AFTER REVIEW BY THE LANDSCAPE ARCHITECT. THE PRUNING AND TRIMMING OF BRANCHES AND ROOTS OF PLANT MATERIALS WILL BE DONE BY EXPERIENCED WORKERS WITH THE CONSENT OF THE ARBORIST.
- WHERE OBSTRUCTIONS, GRADE DIFFERENCES, OR DISCREPANCIES IN THE DIMENSIONS OF IRRIGATED AREAS DIMENSIONS EXIST, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR THE OWNER'S ON SITE REPRESENTATIVE FOR RESOLUTION. IF SUCH NOTIFICATION IS NOT GIVEN, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY NECESSARY REPAIRS AND/OR REVISIONS.
- IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR PULLING VALVE WIRING TO ACCOMMODATE ALL STATIONS ON THE CONTROLLER PLUS A MINIMUM OF 2 ADDITIONAL STATIONS, OR AS INDICATED ON PLANS.
- INSTALL ALL MATERIALS AND EQUIPMENT AS SHOWN IN THE PLANS AND DETAILS. USE TEFLON PIPE TAPE ON ALL OUTSIDE (MALE) PIPE THREADS, ON ALL SPRINKLER SWING JOINT ASSEMBLIES, AND VALVE ASSEMBLIES.
- ALL POP-UP HEADS SHALL BE INSTALLED WITH TRIPLE SWING JOINTS.
- THE IRRIGATION PLANS ARE DIAGRAMMATIC AND ALL VALVES AND QUICK COUPLERS SHALL BE LOCATED IN SHRUB PLANTING AREAS WHEREVER POSSIBLE. VALVE BOXES SHALL BE A MINIMUM OF 36" FROM TURF EDGES, LANDSCAPE, PATHS, CURBS, AND WALLS. REMOTE CONTROL VALVES SHALL BE INSTALLED BELOW GRADE IN VALVE BOXES PER THE IRRIGATION DETAILS.
- 110 VOLT ELECTRICAL POWER OUTLET SHALL BE PROVIDED BY THE OWNER WITHIN REACH OF THE IRRIGATION CONTROLLER. THE IRRIGATION CONTRACTOR WILL BE RESPONSIBLE FOR THE FINAL HOOKUP FROM THE ELECTRICAL OUTLET TO THE AUTOMATIC CONTROLLER.
- THE IRRIGATION LINES AND HEADS SHALL BE FLUSHED PRIOR TO INSTALLATION OF THE HEADS AND EMITTERS. ADJUSTMENTS TO HEADS SHALL BE MADE TO PREVENT OVER SPRAY ONTO PAVING OR STRUCTURES AND TO PROVIDE 100% HEAD TO HEAD COVERAGE. THIS SHALL INCLUDE SELECTING THE BEST DEGREE OF ARC TO FIT THE EXISTING SITE CONDITIONS, AND TO THROTTLE THE FLOW CONTROL SYSTEM AT EACH VALVE TO OBTAIN OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM PER MANUFACTURER'S RECOMMENDATIONS. IT SHALL ALSO INCLUDE MINOR ADJUSTMENTS SUCH AS NOZZLE CHANGES AND/OR ADDITION AND DELETION OF INDIVIDUAL HEADS.
- INSTALL ANTI-DRAIN CHECK VALVES ON ALL SPRINKLER HEADS AS NEEDED AT LOW HEAD LOCATIONS TO PREVENT RESIDUAL FLOW WHILE TURNED OFF.
- THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING CONCRETE THRUST BLOCKS WHERE NEEDED TO PROTECT THE LINE IRRIGATIONS LINES FROM WATER HAMMER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE INITIAL SCHEDULING THE IRRIGATION SYSTEM TO MEET HORTICULTURAL REQUIREMENTS AND TO INSURE THAT EXCESSIVE SOIL SATURATION AND/OR SOIL EROSION DOES NOT OCCUR. THE OWNER SHALL ASSUME THIS RESPONSIBILITY AFTER COMPLETION OF THE LANDSCAPE MAINTENANCE PERIOD AND PROJECT CLOSE OUT.
- PRECIPITATION RATES (PRT) AND GPM SHOWING IN THE IRRIGATION HEAD LEGEND ARE GIVEN ONLY AS A GENERAL INDICATION OF NOZZLE PERFORMANCE. ACTUAL AMOUNT OF WATER APPLIED IS DEPENDENT UPON THE APPLICATION TIME OF EACH SYSTEM. THE APPLICATION TIME FOR EACH SYSTEM SHALL BE ADJUSTED TO PROVIDE A UNIFORM WATER COVERAGE. IN NO EVENT SHALL THE DURATION OF WATERING BE PERMITTED SUCH AS TO CREATE A SATURATED CONDITION OR CAUSE AN EROSION PROBLEM.
- FOLLOW ALL MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION OF ALL IRRIGATION PARTS AND EQUIPMENT, INCLUDING HEADS, POROUS PIPE, DRIP LINES, EMITTERS, WEATHER STATIONS, MASTER VALVES, CONTROLLERS AND STATION VALVES TO INSURE A COMPLETE AND OPERATING SYSTEM.
- INSTALL ALL IRRIGATION COMPONENTS TO CONFORM WITH ALL STATE AND LOCAL CODES AND PER THE MANUFACTURER'S RECOMMENDATION.
- PROVIDE ADEQUATE LIGHTNING PROTECTION FOR ALL ELECTRICAL COMPONENTS.
- IT IS THE CONTRACTORS RESPONSIBILITY TO SET THE FLOW RATES FOR ALL STATIONS. THE MAINLINE MAXIMUM FLOW RATE IS TO BE INITIALLY SET AT 20% GREATER THAN THE FLOW RATE FOR THE HIGHEST FLOW VALVE. THIS SETTING IS PROVIDED AS A GUIDE ONLY. IT IS THE CONTRACTORS RESPONSIBILITY TO ADJUST SETTINGS AS NEEDED FOR VARYING SITE CONDITIONS.
- WHEREVER POSSIBLE, TRENCHING WITHIN THE DRIP LINES OF TREES SHOULD BE INSTALLED RADIAL TO THE TRUNK.
- FOR IRRIGATION SPECIFICATIONS, SEE SHEET FORM SPECIFICATIONS SPC-1 THROUGH SPC-3, WITHIN THIS SET.
- PRESSURE COMPENSATING SCREEN: THE CONTRACTOR SHALL INSTALL ONE (1) RAIN BIRD PRESSURE COMPENSATING SCREEN PER HEAD IN ALL IRRIGATION INSTALLATIONS WHERE RADIUS REDUCTION IS REQUIRED. USE OF THE SCREENS WILL ALSO AID IN MINIMIZING OVERSPRAY CONDITIONS AND FOGGING CAUSED BY EXCESS PRESSURE. FOR SCREEN SELECTION REFER TO PRESSURE COMPENSATING SCREEN CHART.
- PLACE LOCATOR TAPE ON ALL MAINLINE PIPE, EXCEPT WHERE VALVE WIRES ARE BUNDLED WITH THE MAINLINE.
- RAIN AND WIND SENSORS PLACEMENT: THE SENSORS SHALL BE INSTALLED ON THE SOUTH OR SOUTHWESTERN FACING AREA OF THE ROOF (WHENEVER POSSIBLE). THE AREA SELECTED SHALL BE IN A CLEAR OPEN AREA OF THE ROOF NOT AFFECTED BY SHADE FROM ANOTHER BUILDING OR TREE. THE CONTRACTOR SHALL INSTALL THE SENSOR ON AN EAVE OR FASCIA BOARD AFTER THE DIRECTION OF THE LANDSCAPE ARCHITECT. ALL WIRING SHALL BE CONCEALED PER THE DIRECTION OF THE LANDSCAPE ARCHITECT EITHER WITHIN PVC CONDUIT OR OTHER MEANS AS DIRECTED BY THE LANDSCAPE ARCHITECT.

HEADS AGAINST WALLS, FENCES, OR MORE THAN 3' FROM WALKING SURFACES SUCH AS TURF, PATIOS, WALKS AND DRIVEWAYS -EXCEPT IN PROMINENTLY VISUAL AREAS -MAY BE PA-85 SHRUB ADAPTERS ON FIXED RISERS WITH TRIPLE SWING JOINTS.

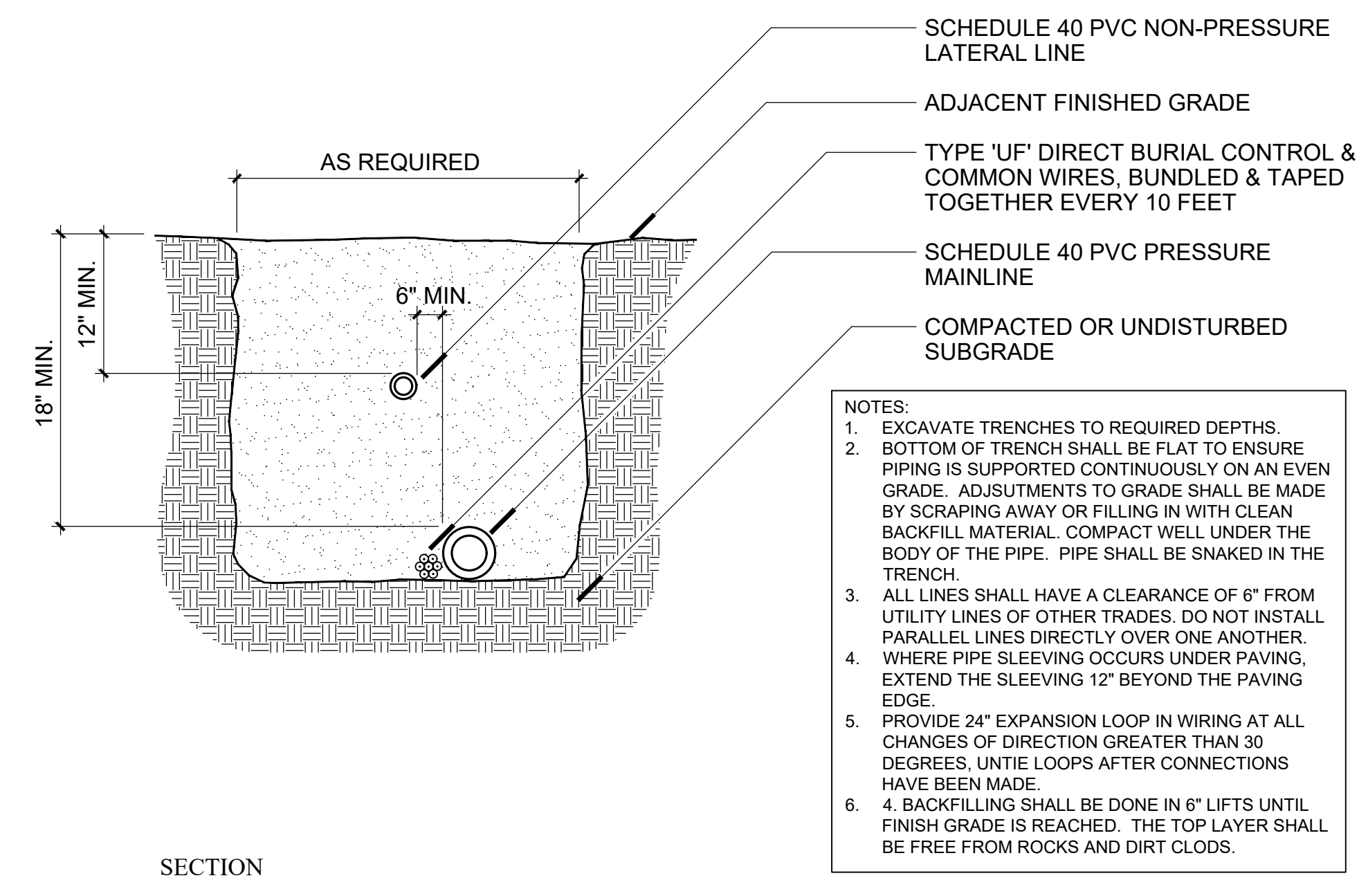
1800 PCS SCREEN PERFORMANCE - MPR NOZZLES

MODEL	PCS-010	PCS-020	PCS-030	PCS-040	PCS-060	PCS-090	PCS-125	PCS-175	PCS-260	PCS-370
GPM	1	2	3	4	6	9	1.25	1.75	2.6	3.7
COLOR	PURPLE	BROWN	SILVER	ORANGE	BLACK	WHITE	GREEN	YELLOW	BLUE	RED
50										
5T	5'									
5H	4'	5'								
5F			5'							
80	4'	8'								
8T		6'	7'	8'						
8H		5'	7'	8'						
8F			2'	3'	8'					
10Q	2'	6'	8'	10'						
10T		4'	9'	10'						
10H		3'	6'	8'	10'					
10F				1'	4'					
12Q		3'	8'	11'	12'					
12T		2'	6'	10'	11'	12'				
12H			4'	6'	10'	12'				
12T1			2'	4'	6'	9'	12'			
12T2			2'	3'	6'	8'	10'	12'		
12F				2'	5'	7'	8'	12'		
15Q		3'	5'	9'	12'	15'				
15T			3'	7'	12'	14'	15'			
15H				4'	7'	11'	15'			
15T1			1'	2'	4'	8'	10'	13'	15'	
15T2										15'
15TQ						6'	8'	14'	15'	
15F							4'	6'	10'	12'
15'										15'
16Q-SLA	1'	2'	8'	11'	16'	12'	16'			
16H-SLA		0.5'	1'	4'	9'	3'	6'	12'	16'	
22Q-SS		2'	7'	12'	20'	22'				
22H-SS			2'	4'	8'	14'	22'			
22F-SS								18'	22'	
50-B	2'	4'	5'	2'	5'					
5H-B		1'	1'	1'	5'	3'	5'			
5F-B					2'					
60ST-B	1'	3'	5'	2'						
15SQ						4' X 4'	7' X 7'	11' X 11'	15' X 15'	18' X 18'
15ST						7' X 12'	9' X 18'	9' X 18'		
15CST				4' X 12'	4' X 24'	4' X 30'	4' X 30'			
15SST				2' X 10'	3' X 20'	4' X 26'	4' X 30'			
15EST				3' X 12'	4' X 18'					

B RAINBIRD IRRIGATION PCS CHART N.T.S.

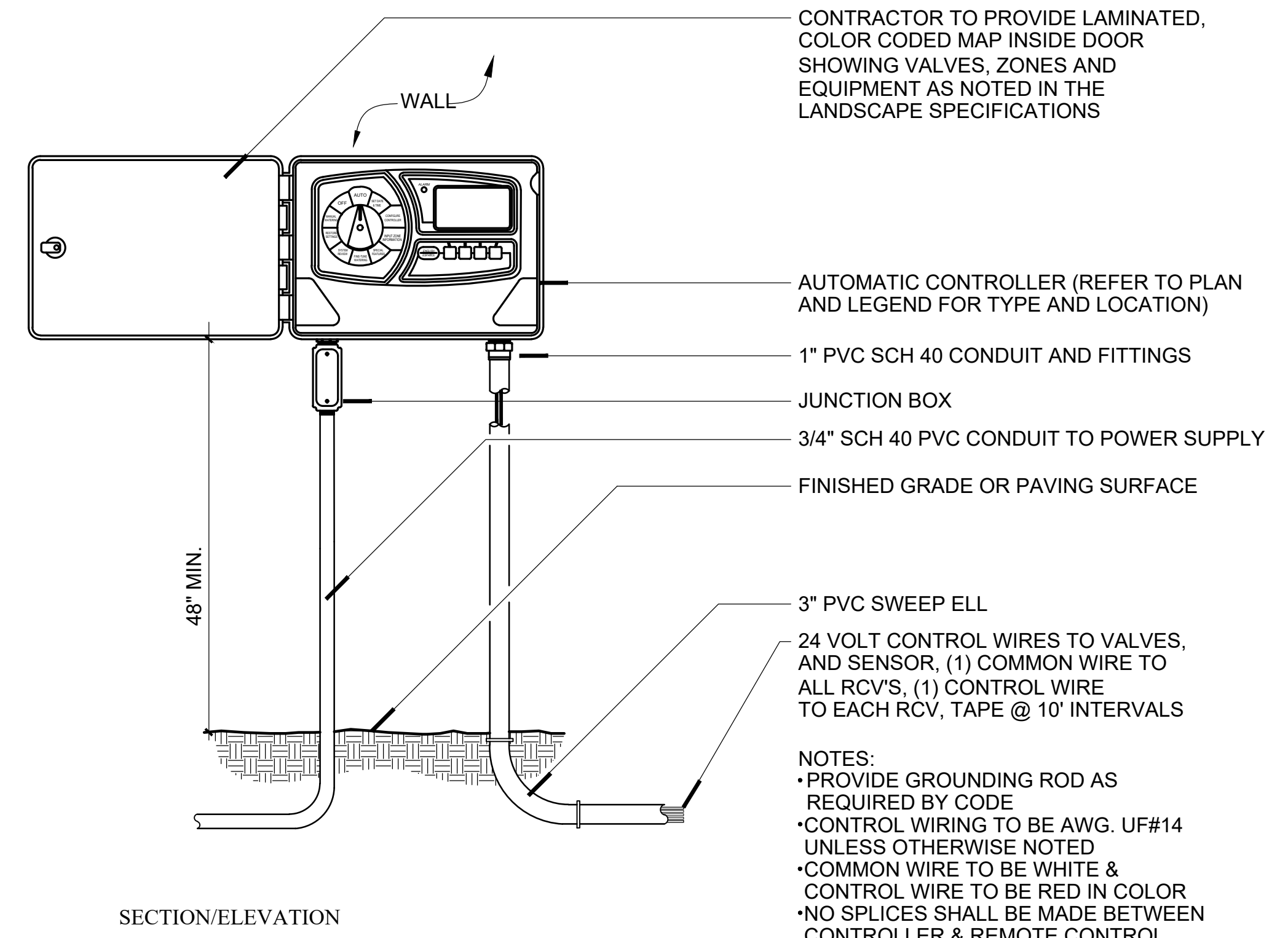


D RAIN SENSOR N.T.S.

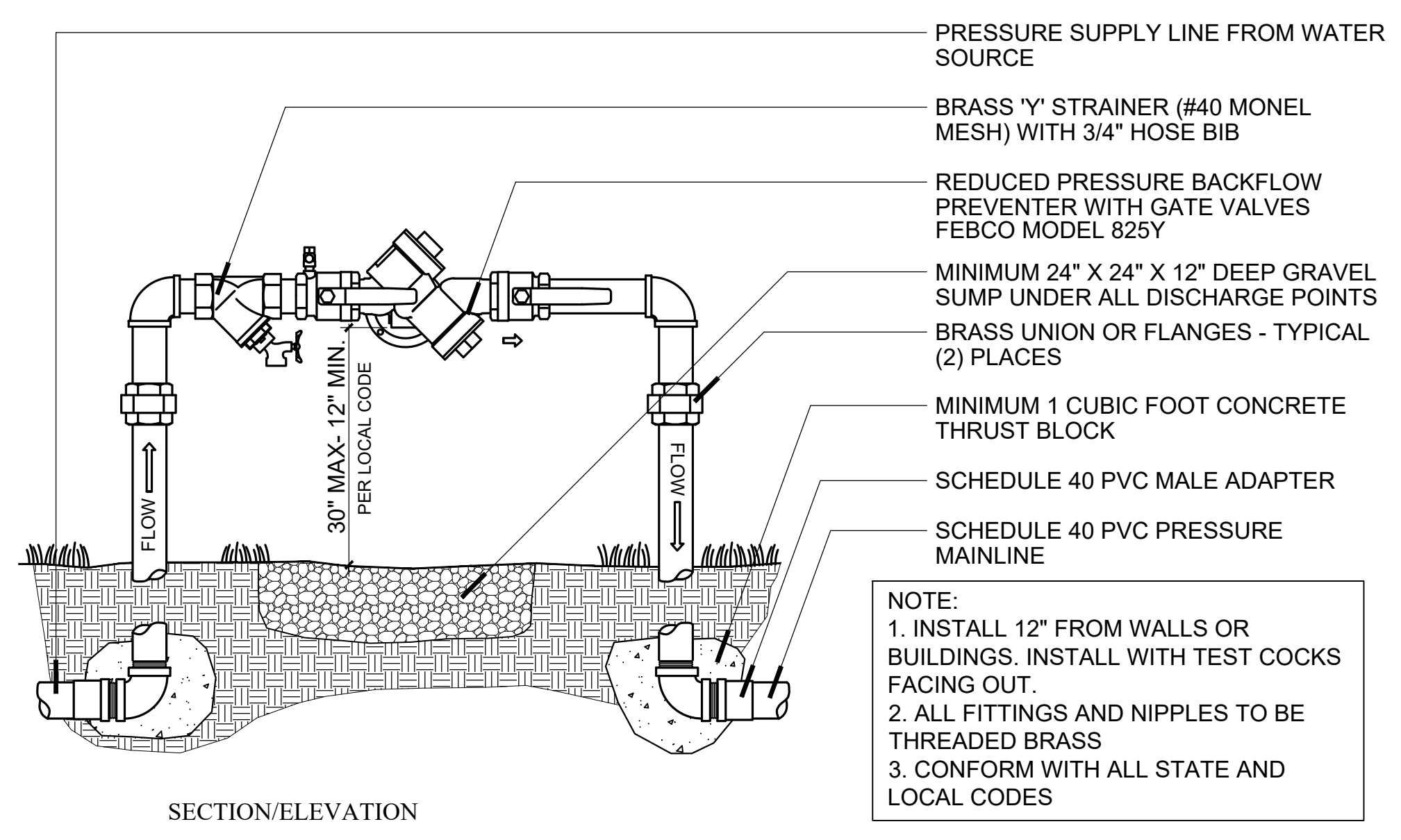


G LINE TRENCHING N.T.S.

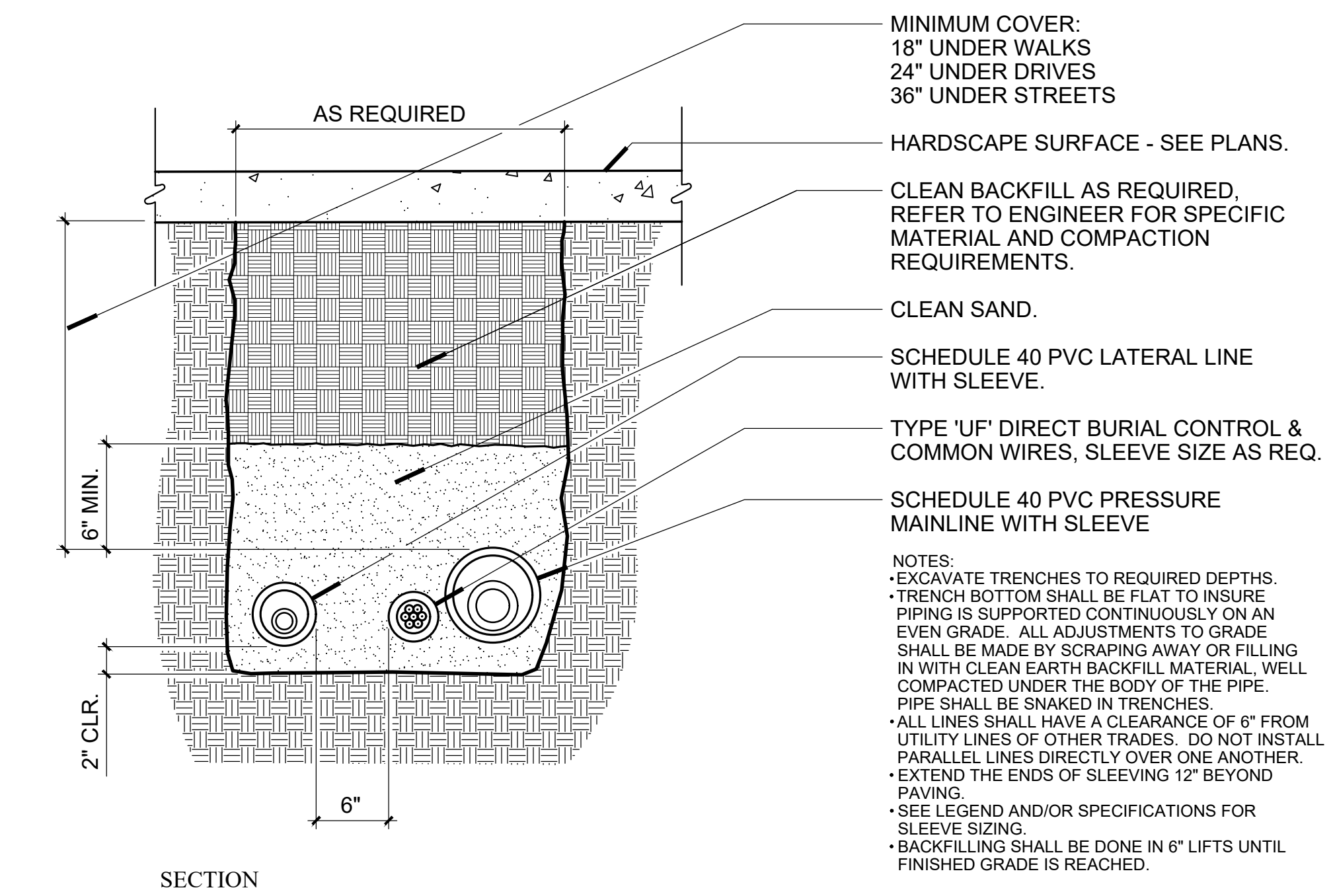
C AUTOMATIC CONTROLLER WALL MOUNTED - OUTDOOR N.T.S.



E BACKFLOW PREVENTION DEVICE N.T.S.



H SLEEVING N.T.S.



A IRRIGATION GENERAL NOTES N.T.S.

DOMESTIC WATER	RECLAIMED WATER	CONTROLLER LEGEND	EQUIPMENT DESIGNATION	IDENTIFICATION GUIDE
DW	RW	A	ARV	AIR RELIEF VALVE
DW	RW	A	BS	BASKET STRAINERS
DW	RW	A	COMM	COMMUNICATION SPICES
DW	RW	A	FI	FERTILIZER INJECTORS
DW	RW	A	FS	FLOW SENSORS
DW	RW	A	FVA	FLUSH VALVE ASSEMBLY
DW	RW	A	GR	GROUNDING RODS
DW	RW	A	GV	GATE VALVES
DW	RW	A	MS	MOISTURE SENSORS
DW	RW	A	MV	MASTER VALVE
DW	RW	A	SB	SPICE BOX
DW	RW	A	RCV	REMOTE CONTROL VALVES
DW	RW	A	OC	QUICK COUPLERS

CONTACT LANDSCAPE ARCHITECT FOR INFO ON ANY DEVICE IN A BOX NOT LISTED.

PLAN

NOTES:
 A- VALVE BOXES SHALL BE LABELED BY HOT IRON BRANDING OR ALUMINUM ASPHALTIC BASE WATERPROOF PAINT.
 B- CONTROL VALVES SHALL BE INSTALLED TO ALLOW ORDERLY ARRANGEMENT OF VALVE BOXES.
 C- LOCATE VALVE ASSEMBLIES IN SHRUB OR GROUND COVER AREAS ONLY.
 D- LOCATION OF VALVE ASSEMBLIES SHALL BE STAKED FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 E- CENTER VALVE BOXES OVER VALVE ASSEMBLY TO FACILITATE ACCESS AND MAINTENANCE.
 F- SET VALVE BOXES AT EQUAL ELEVATIONS W/ TOPS AT 2" ABOVE FINISH GRADE IN SHRUB/ GROUND COVER AREAS.
 G- VALVE BOXES SHALL BE SET PARALLEL TO EACH OTHER AND PERPENDICULAR TO EDGE OF AREA.
 H- DO NOT DEFORM OR COLLAPSE VALVE BOX BY EXCESSIVE SOIL COMPACTION AROUND BOX.
 I- SEE ALSO INDIVIDUAL VALVE INSTALLATION DETAILS.

F TYPICAL VALVE BOX IDENTIFICATION N.T.S.

LANDSCAPE ARCHITECTURE
 STACY & FAUSSET
 SINCE 1998
 STATE OF CALIFORNIA

3437

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 SANTA BARBARA, CA. 93109

ISSUED FOR:
 CITY OF SANTA BARBARA

DATE
 JULY 19, 2024

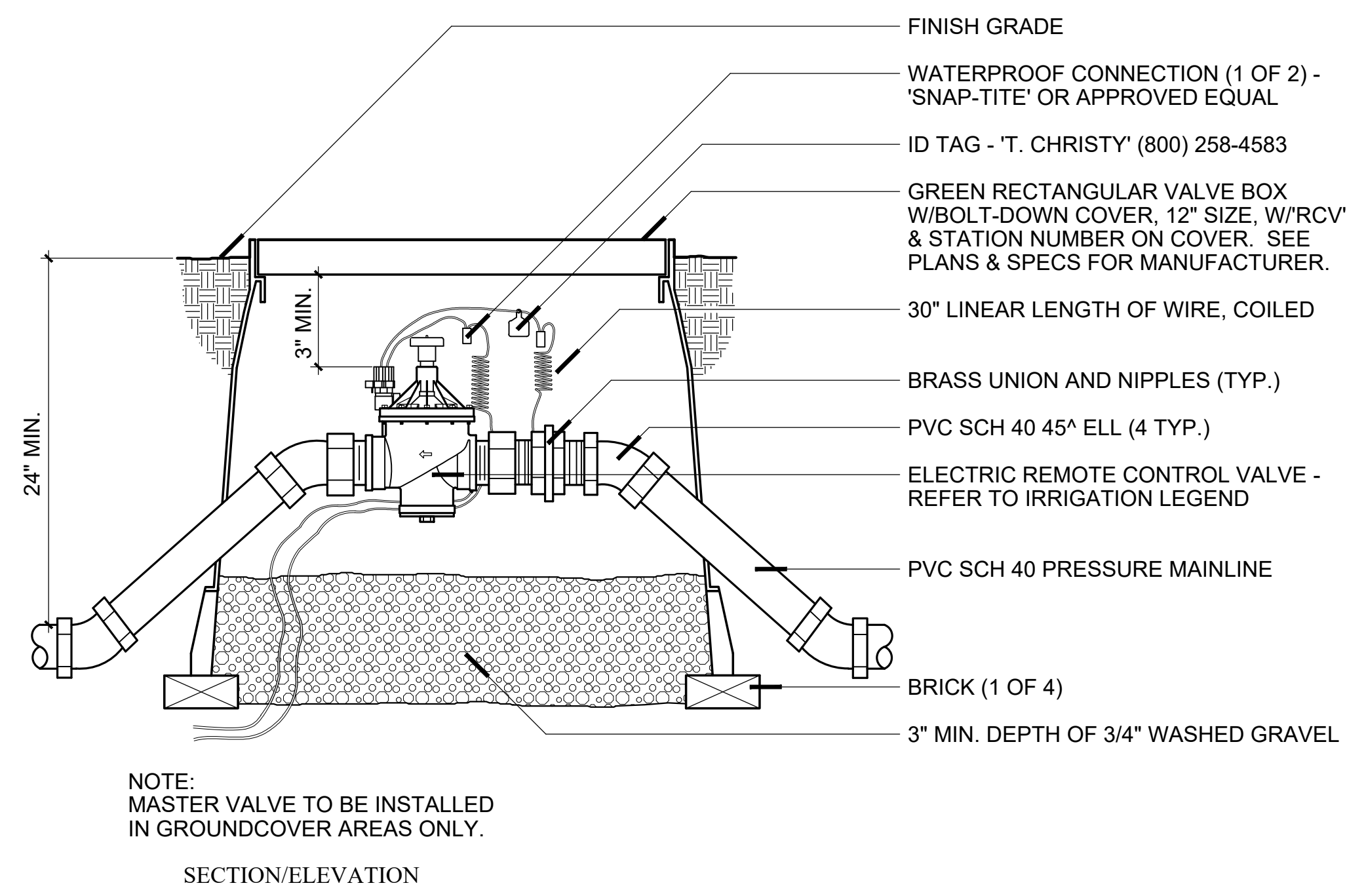
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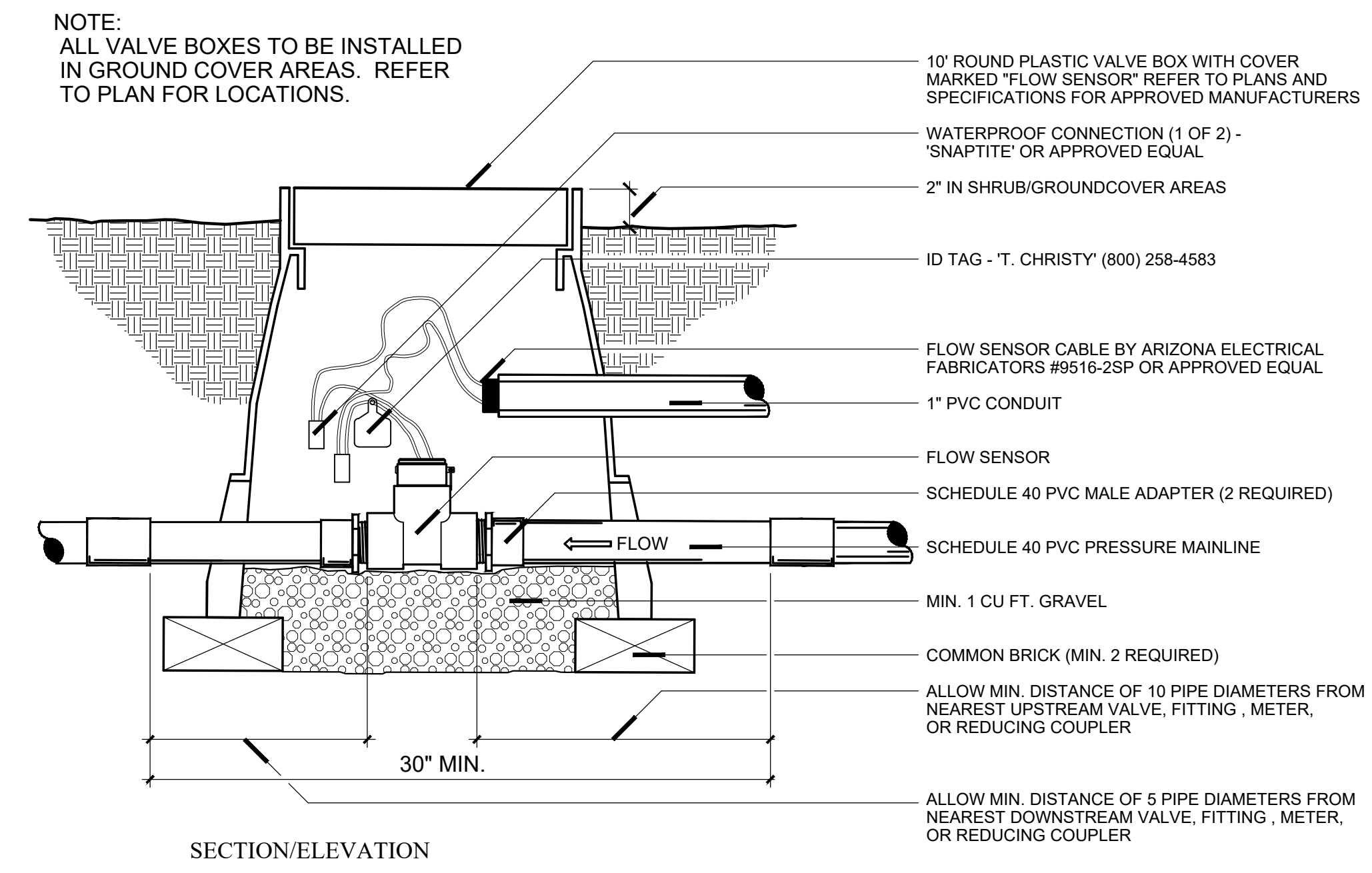
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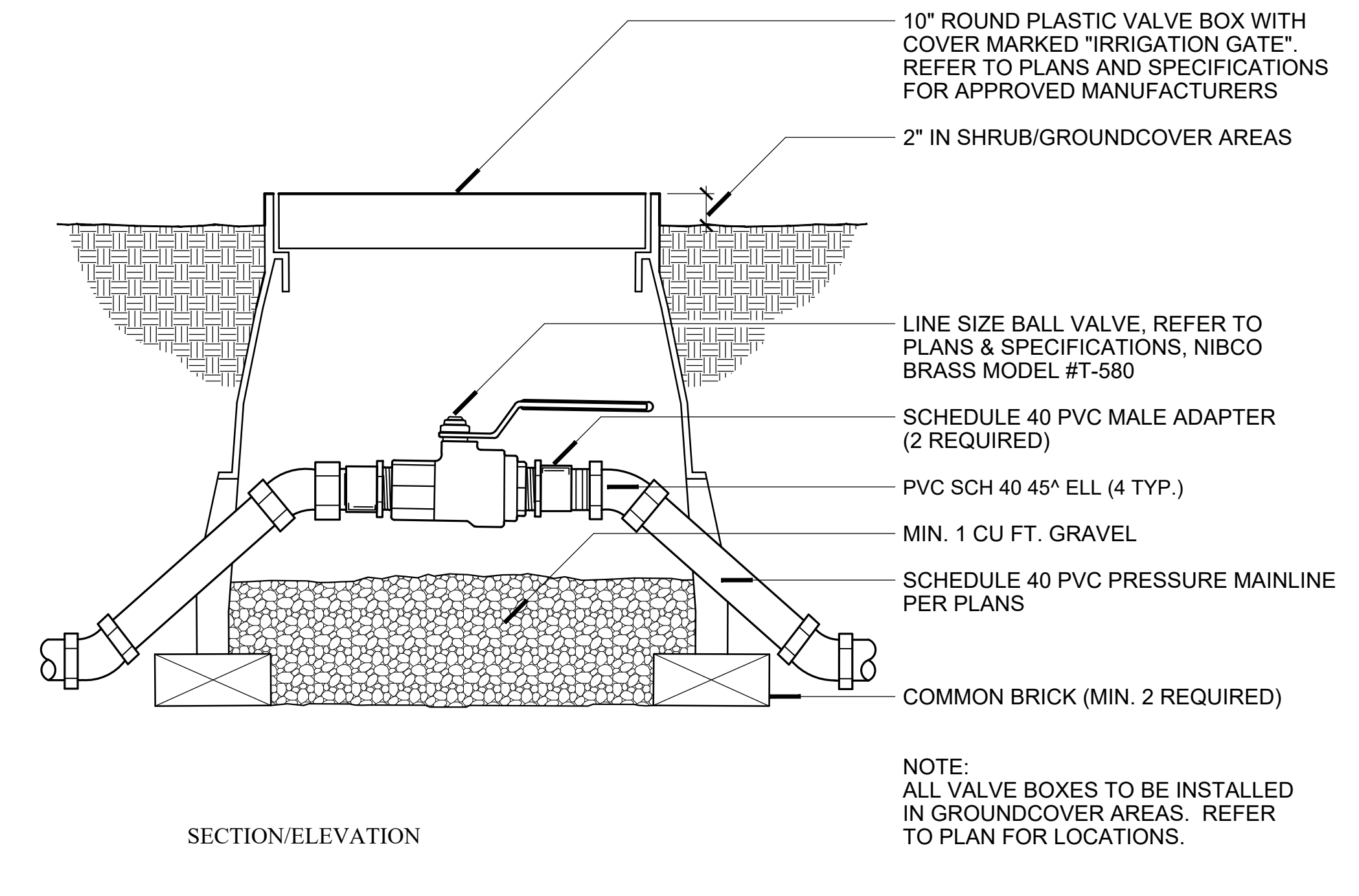
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L-22



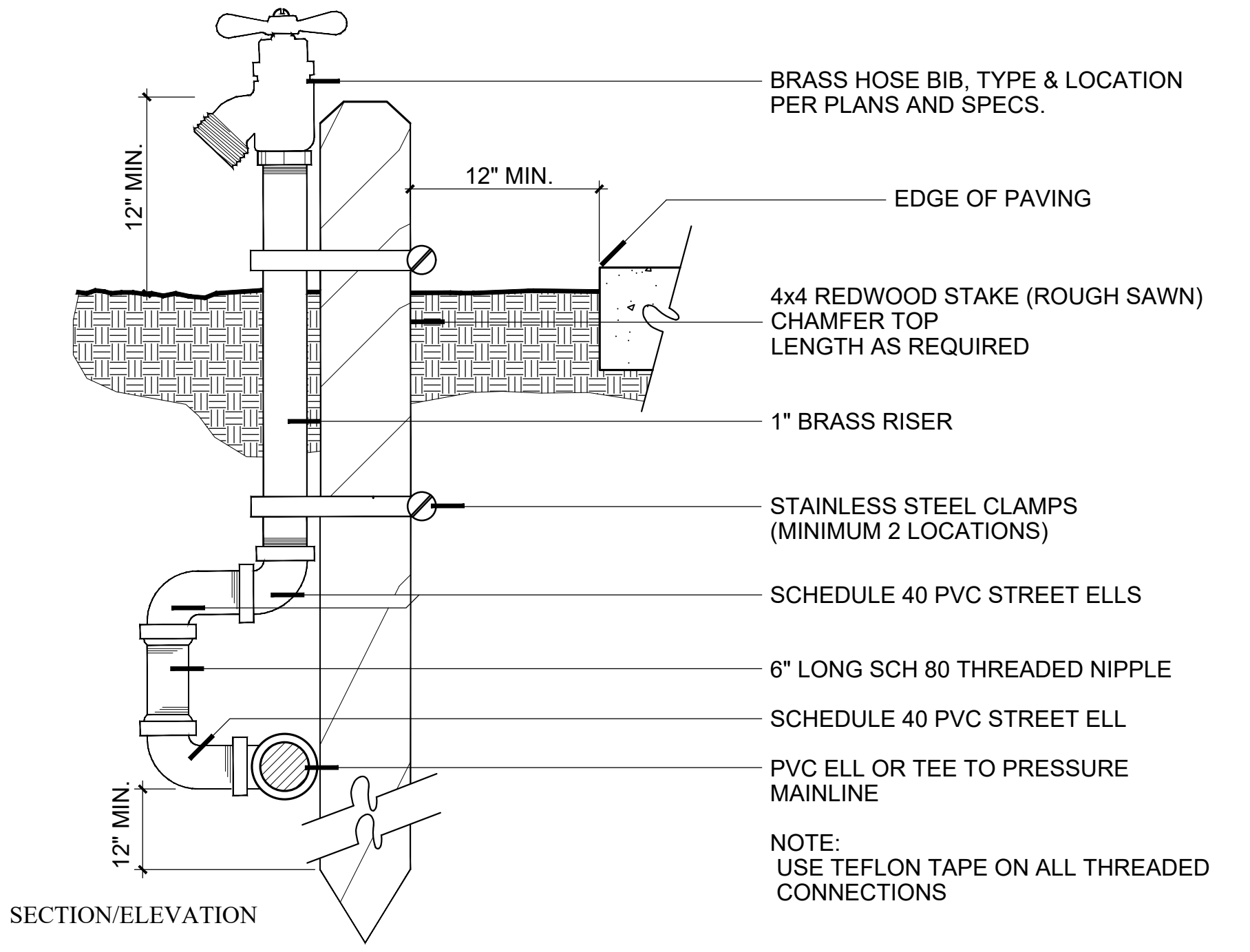
A MASTER CONTROL VALVE N.T.S.



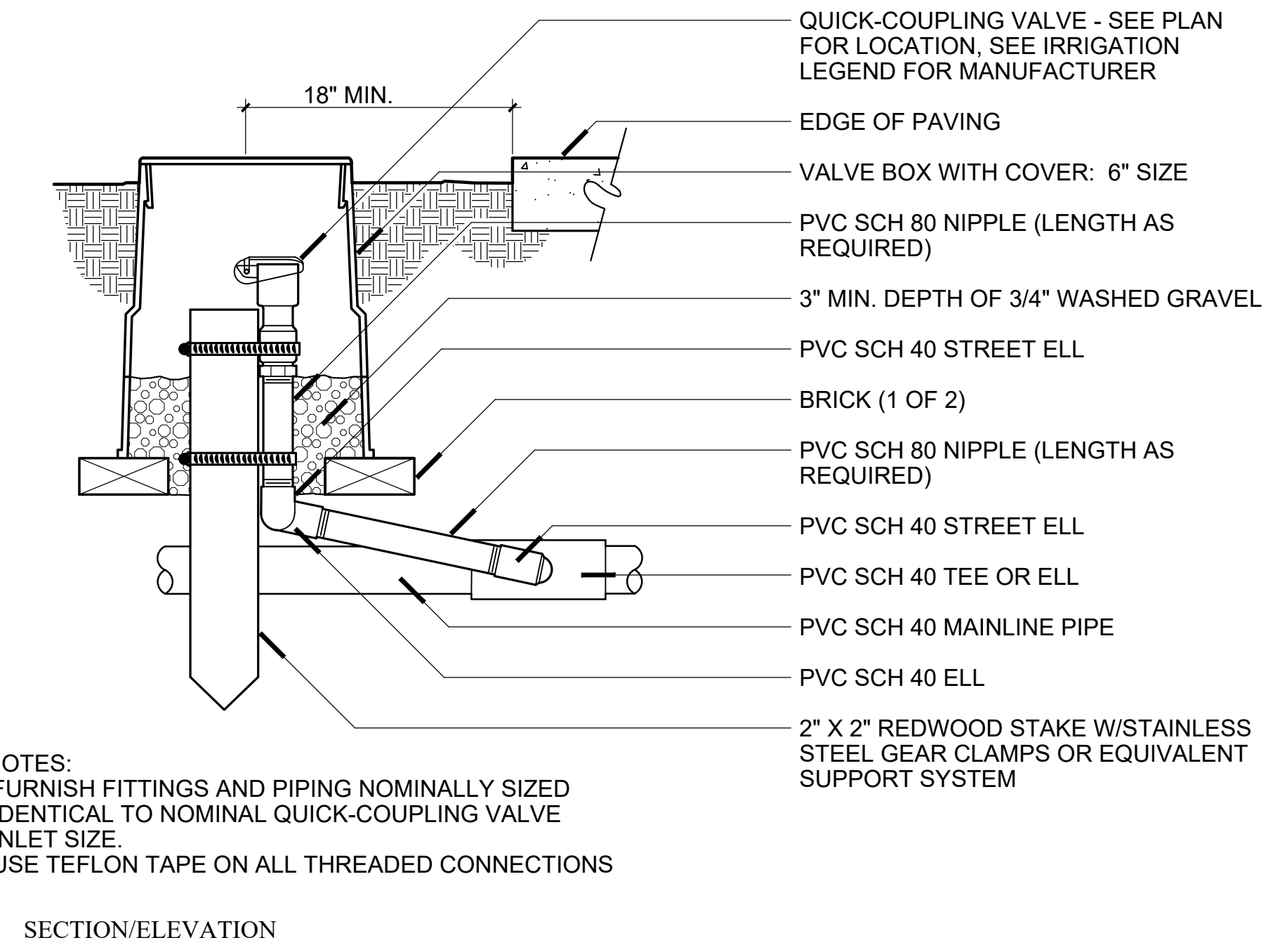
B FLOW SENSOR N.T.S.



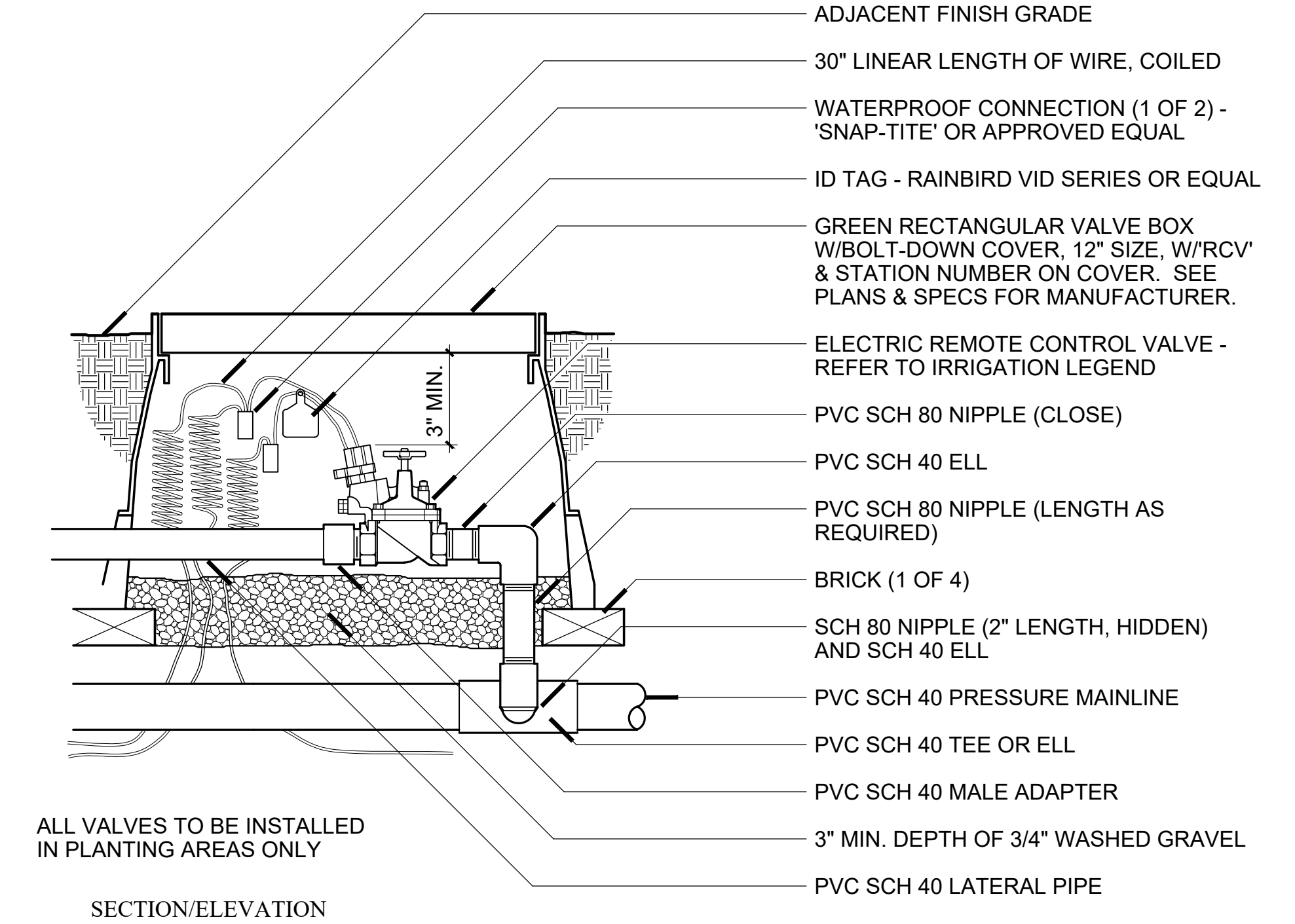
C BALL VALVE (ISOLATION VALVE) N.T.S.



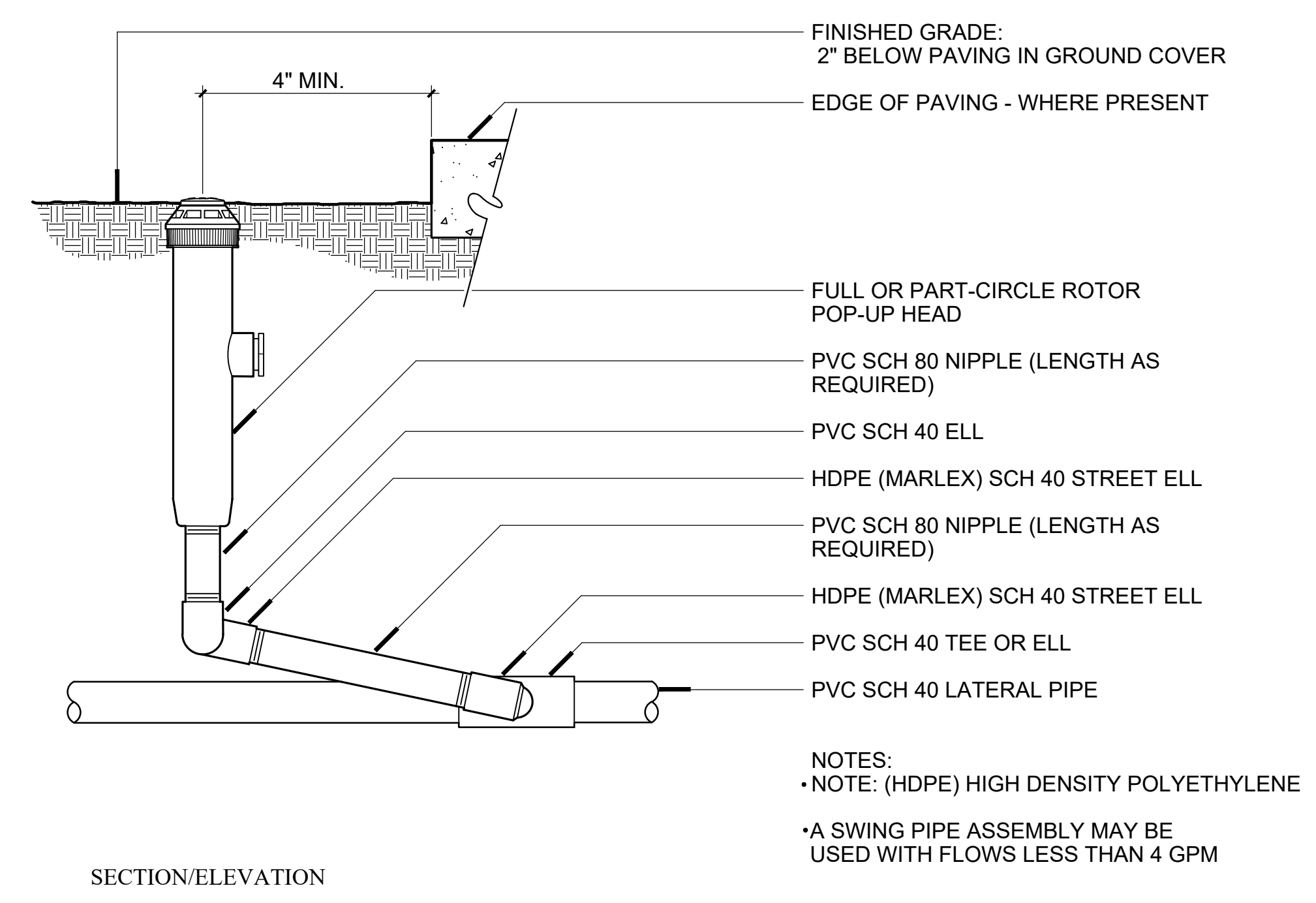
D HOSE BIB N.T.S.



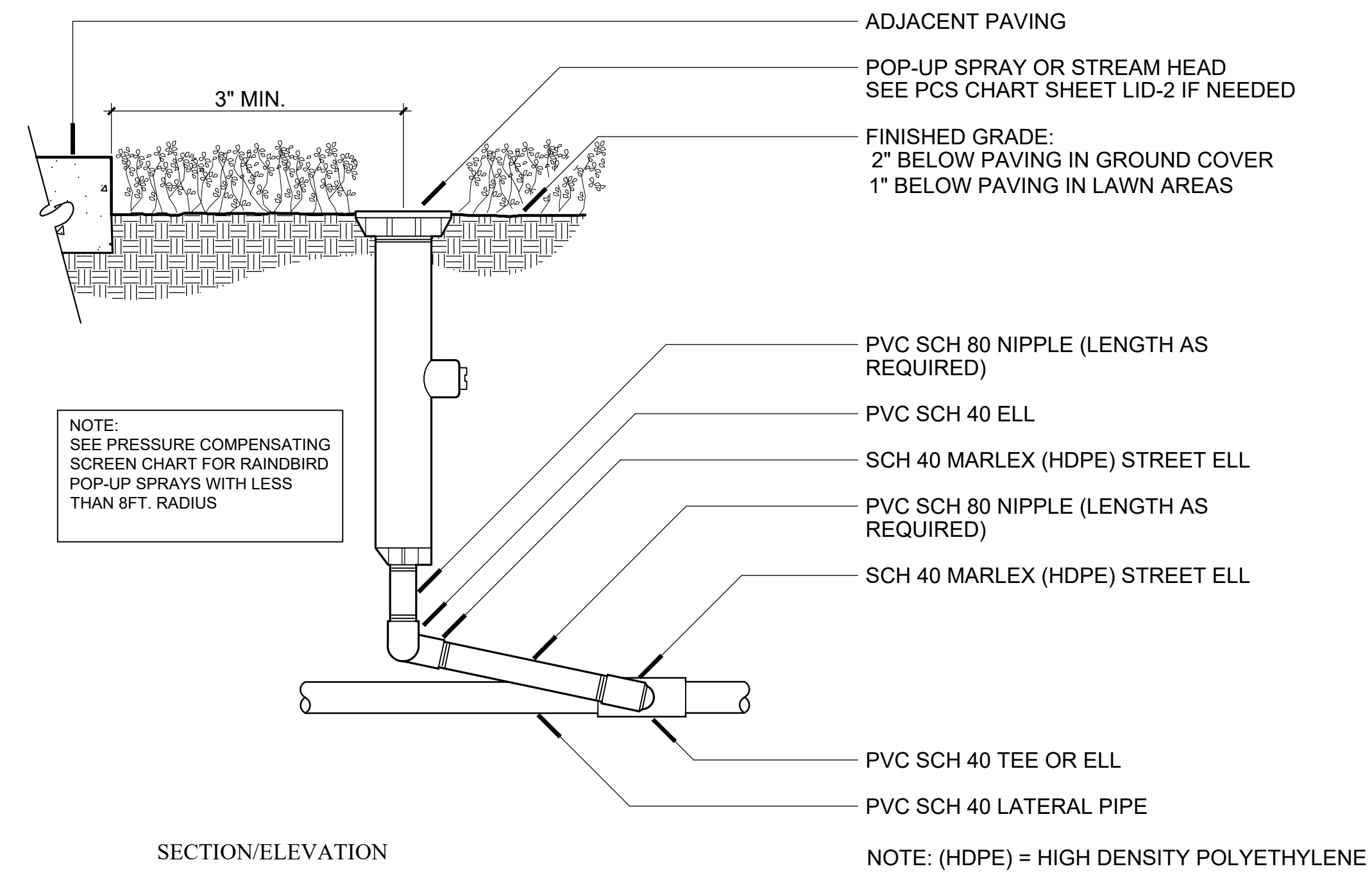
E QUICK COUPLER N.T.S.



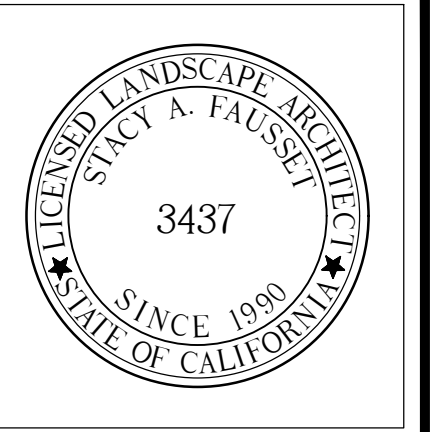
F REMOTE CONTROL VALVE N.T.S.



G POP-UP ROTOR N.T.S.
W/TRIPLE SWING JOINT AT BOTTOM INLET



H POP-UP SPRAY HEAD N.T.S.
W/TRIPLE SWING JOINT AT BOTTOM INLET



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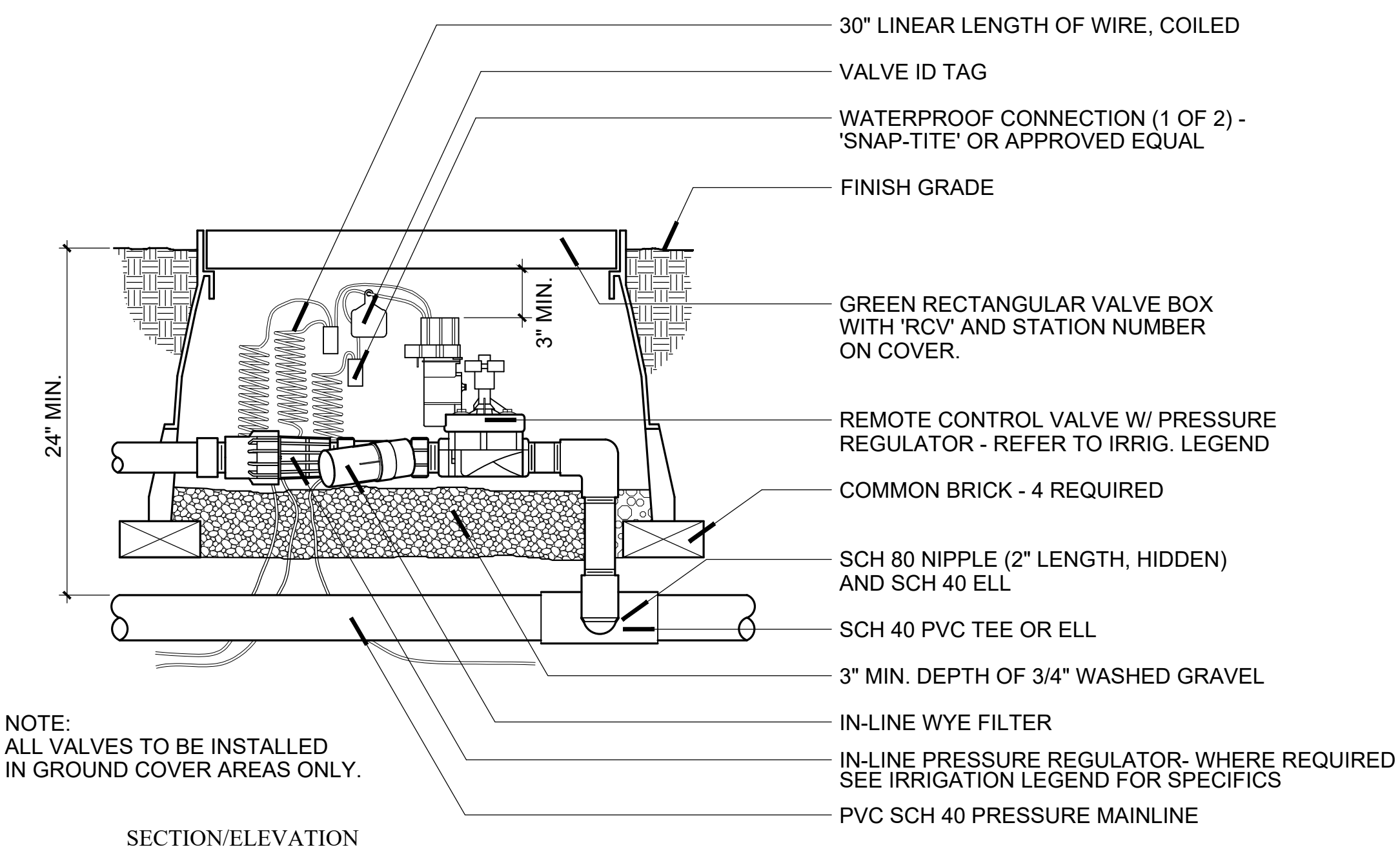


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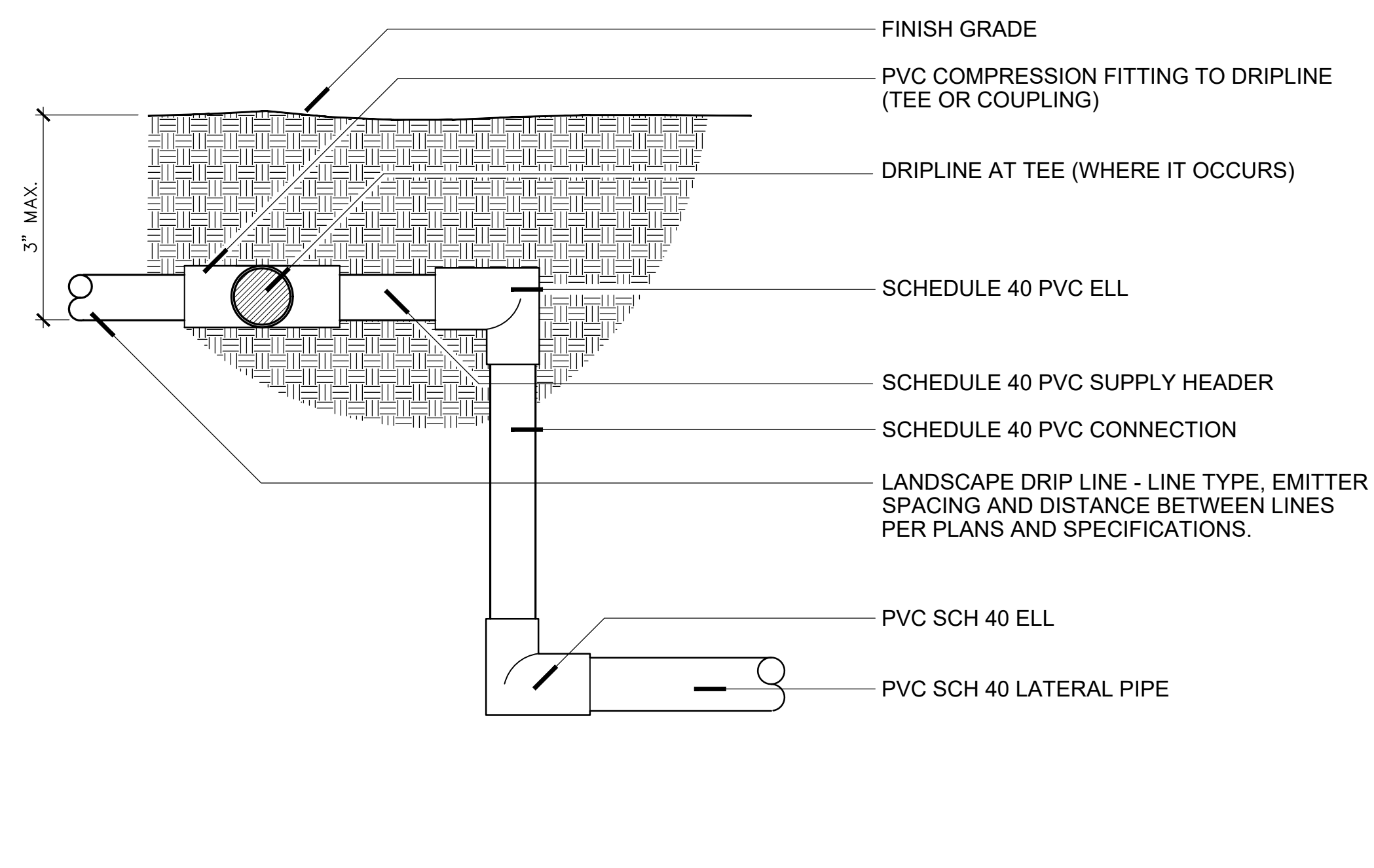
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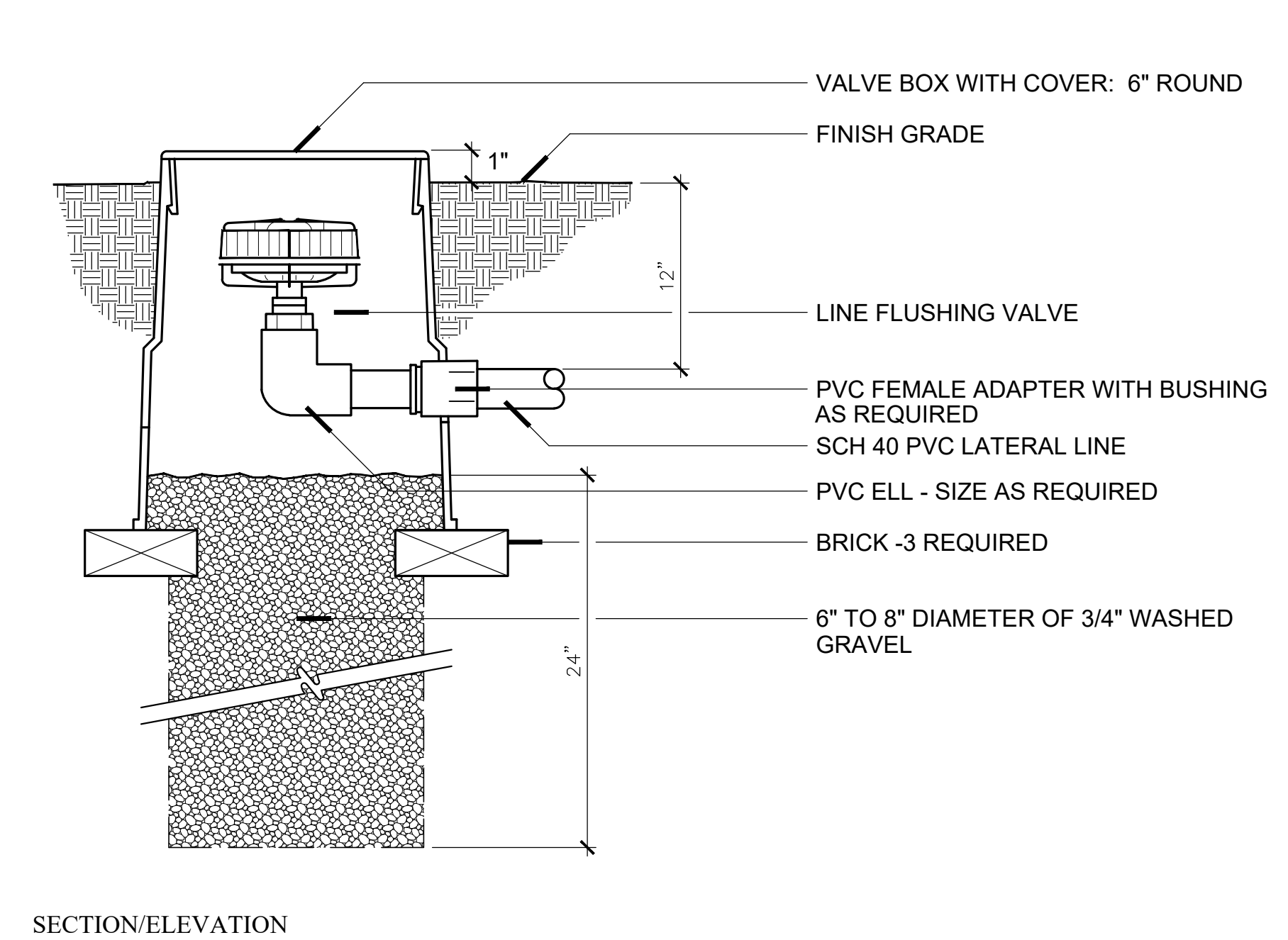
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DRAWING NO.:	SAF-02084
SHEET:	



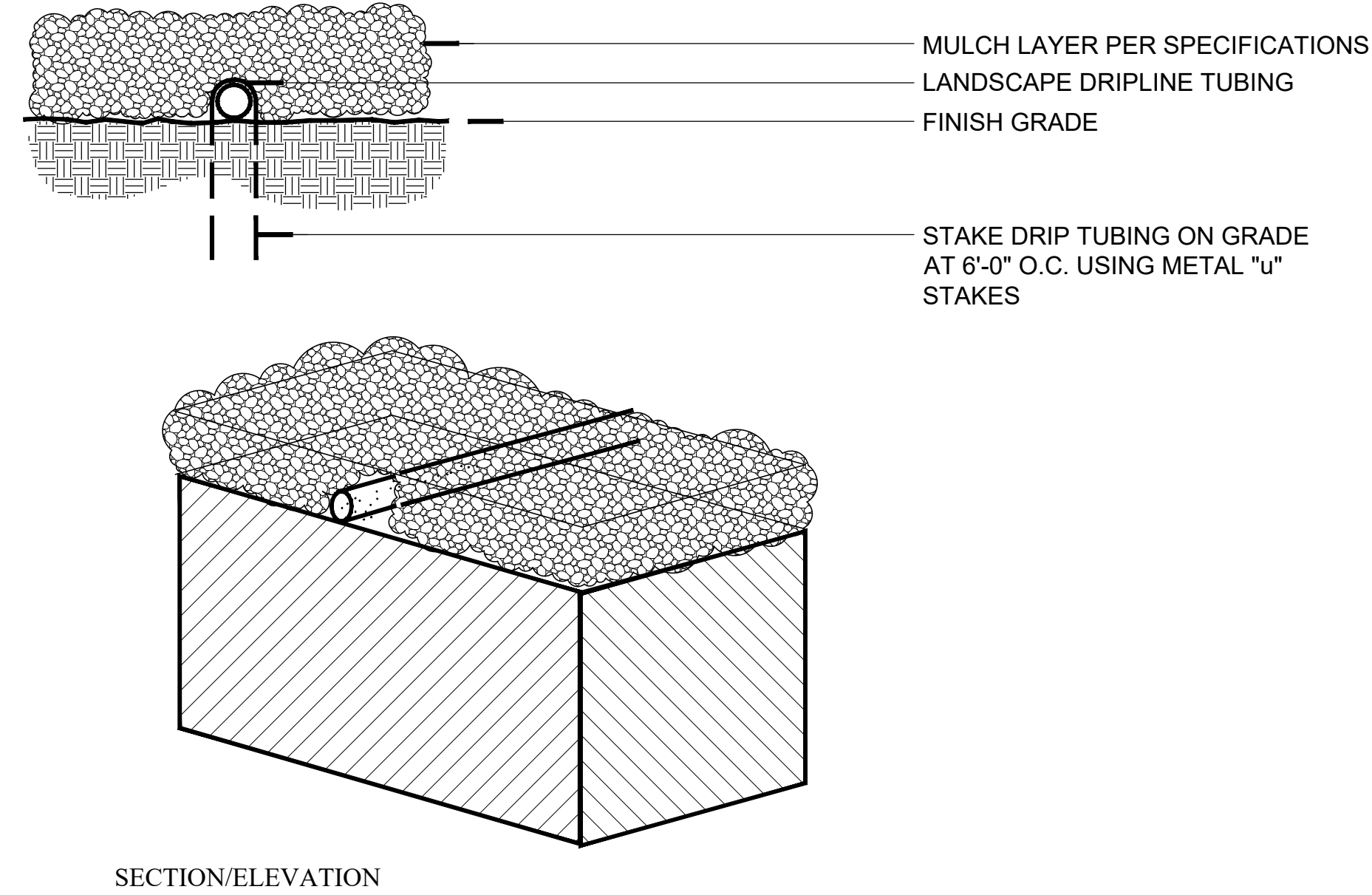
A PRESSURE REG. DRIP VALVE W/ Y-FILTER AND PRESSURE REGULATOR N.T.S.



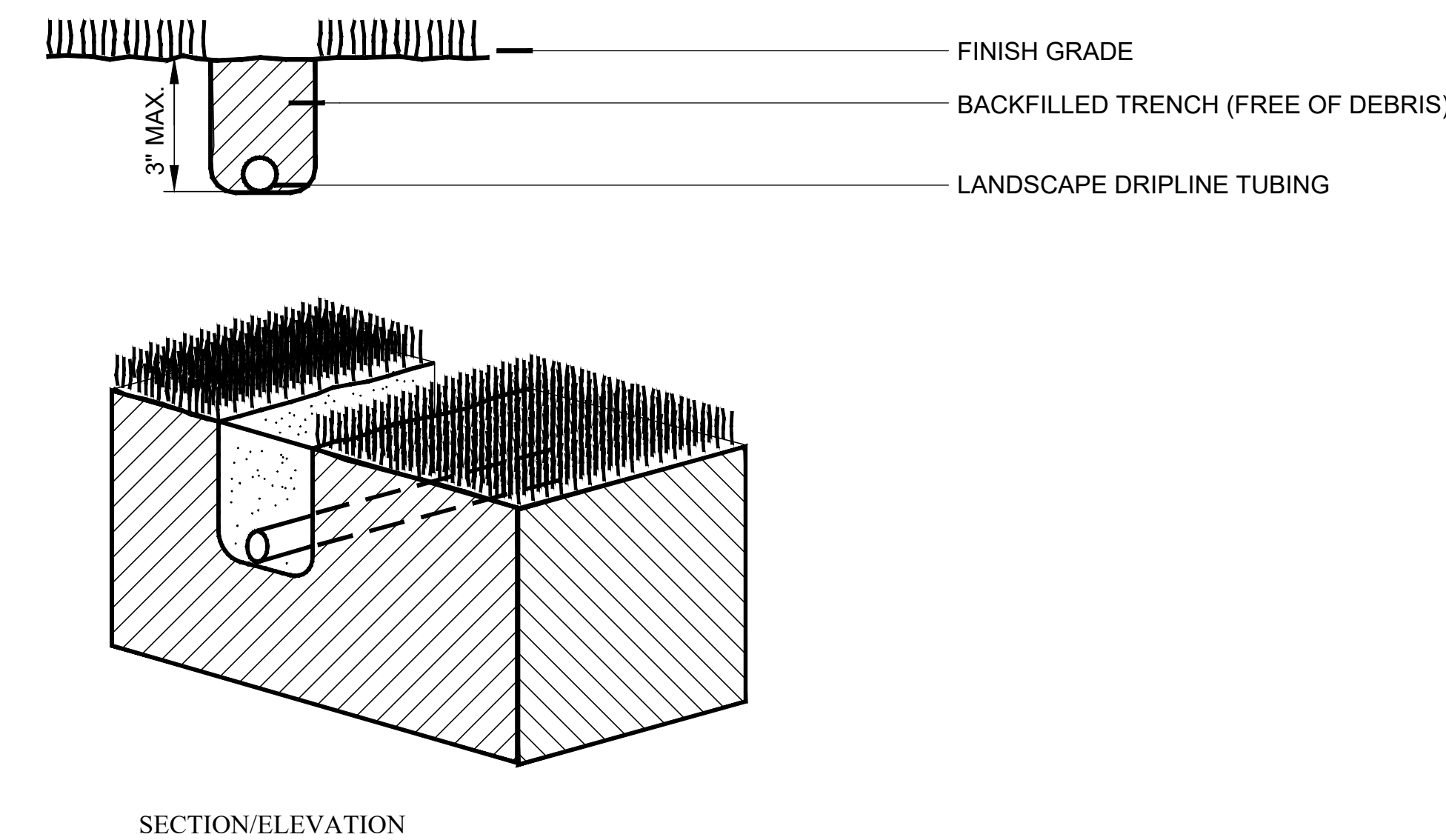
B DRIPLINE SUPPLY HEADER BELOW-GRADE INSTALLATION N.T.S.



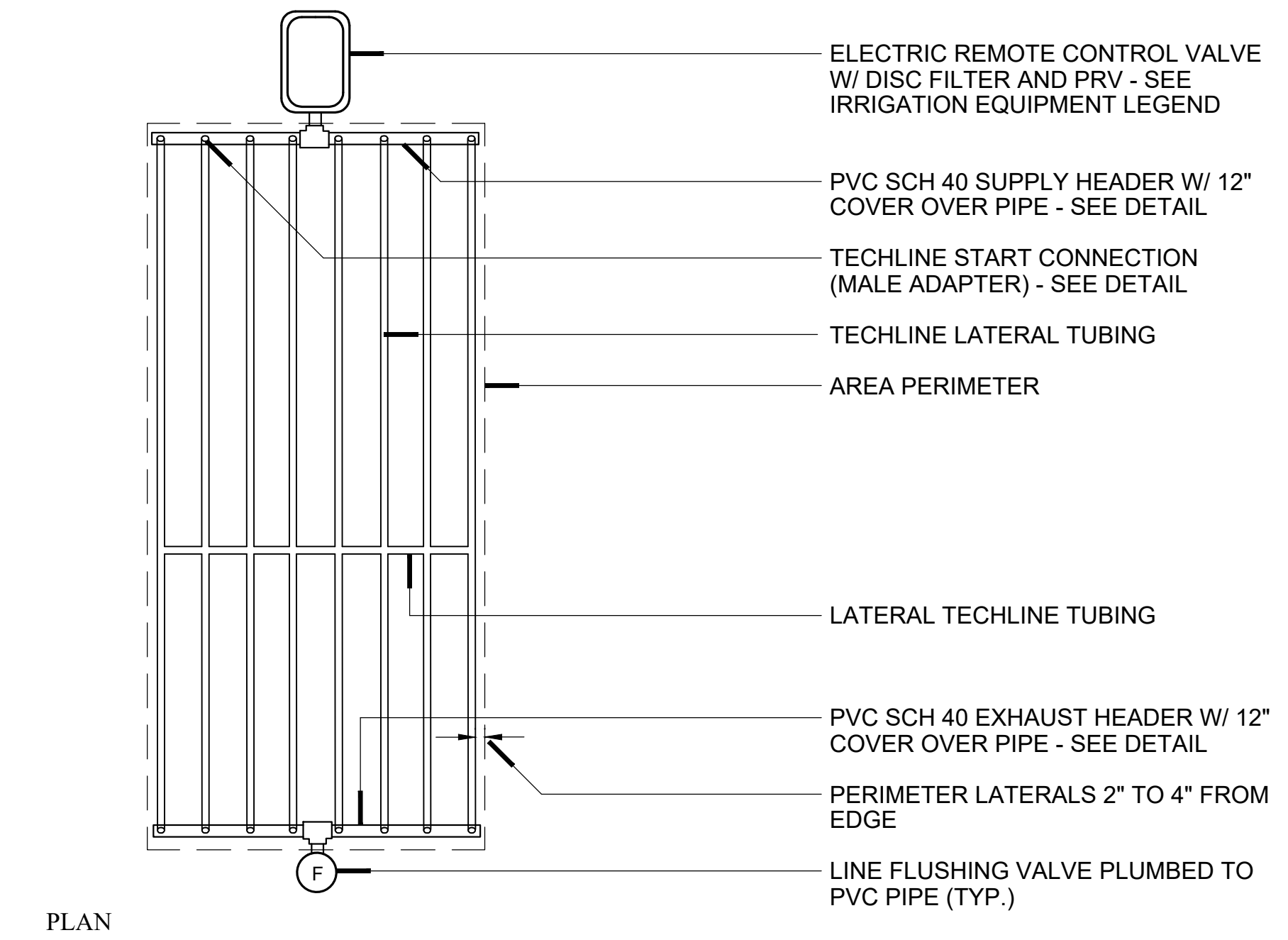
C TECHLINE FLUSH VALVE PLUMBED TO PVC N.T.S.



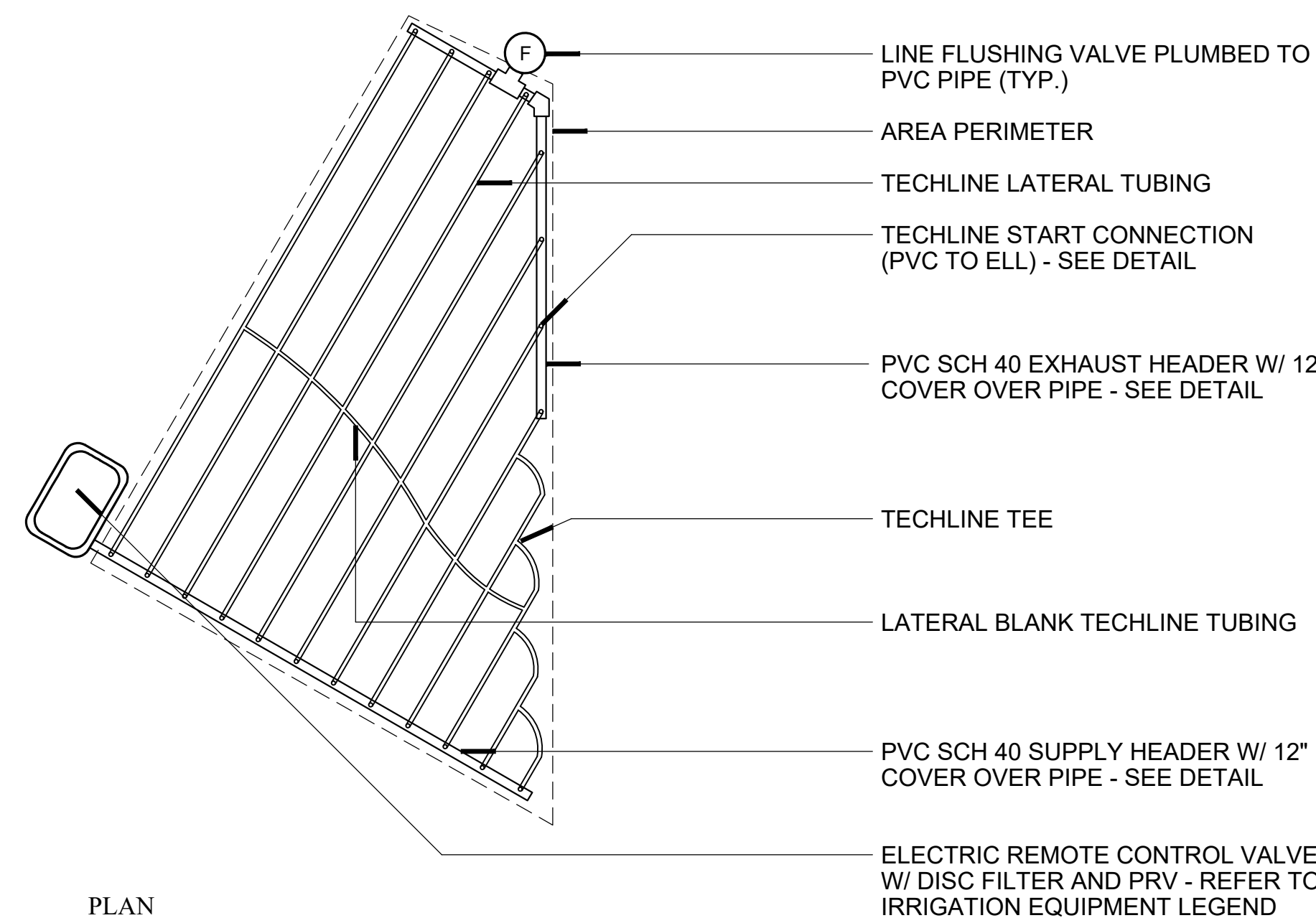
D TECHLINE DRIP TUBING ON-GRADE INSTALLATION N.T.S.



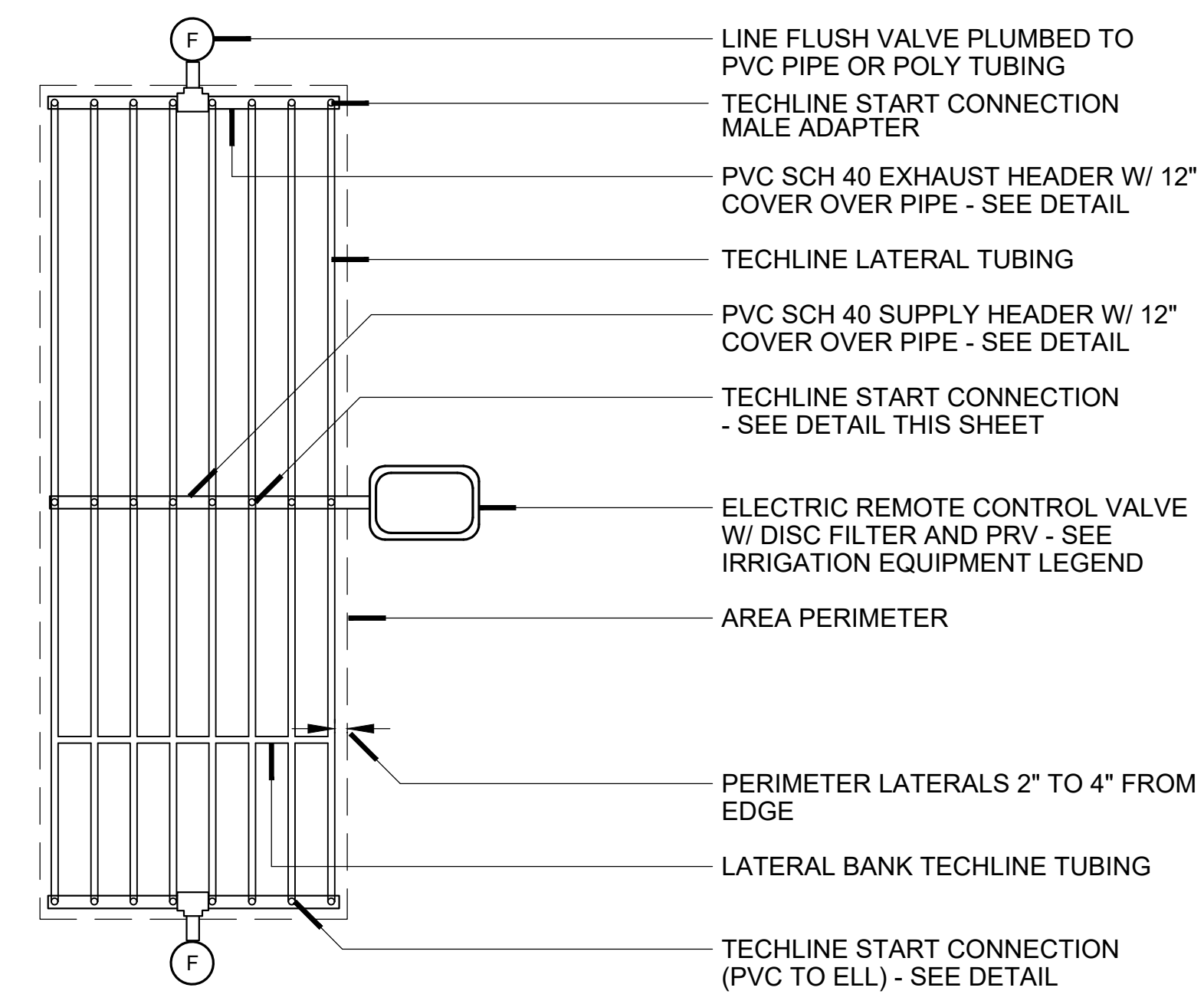
E TECHLINE DRIP TUBING BELOW-GRADE INSTALLATION N.T.S.



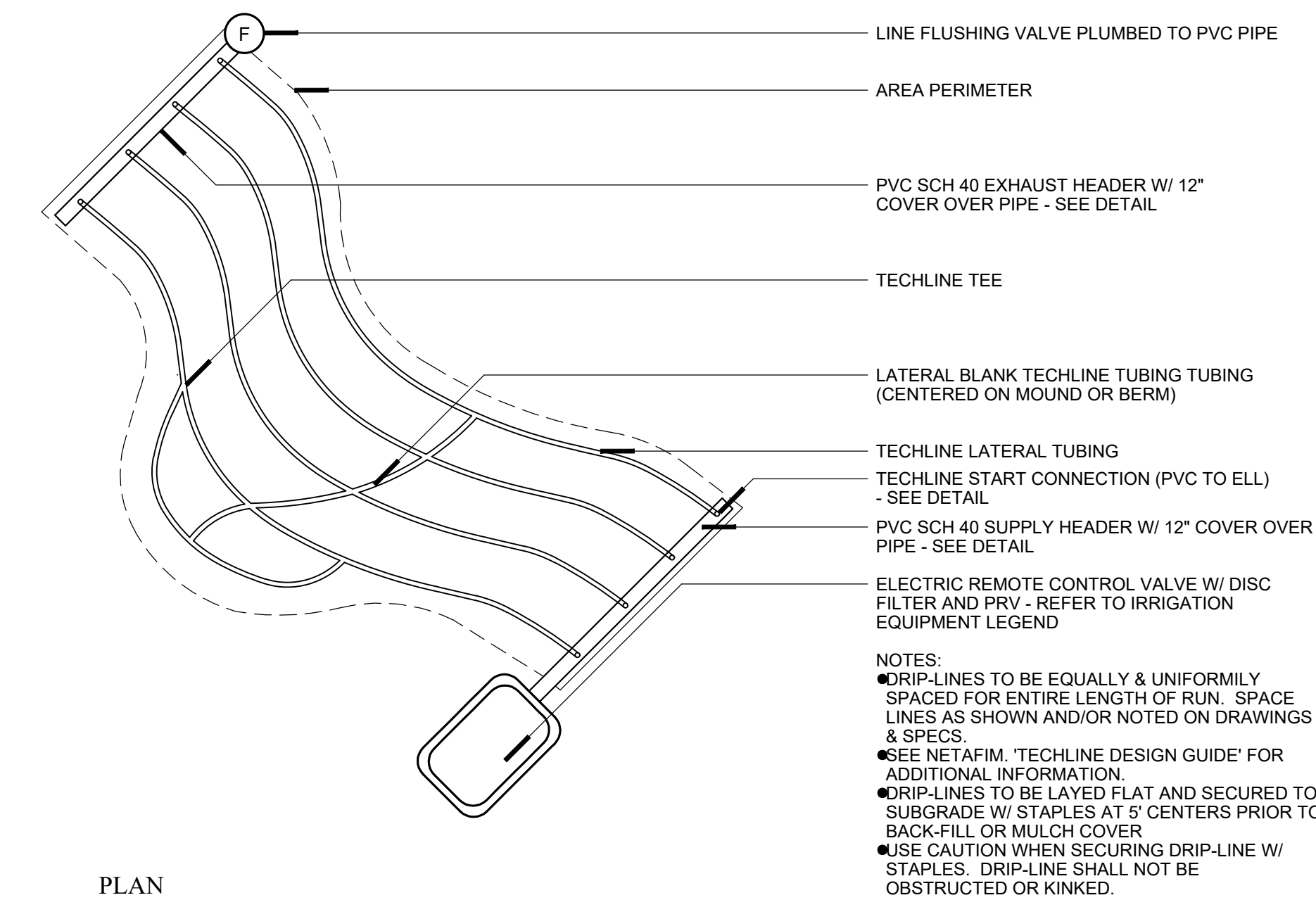
F TECHLINE CV - END FEED LAYOUT N.T.S.



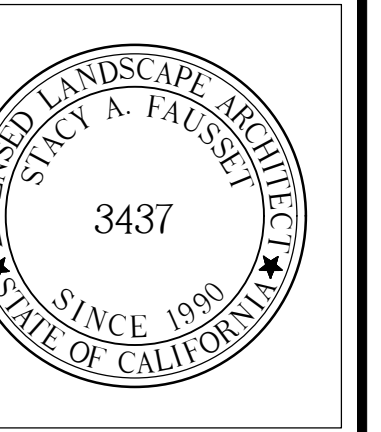
G TECHLINE CV - IRREGULAR AREA TRIANGULAR LAYOUT N.T.S.



H TECHLINE CV - CENTER FEED LAYOUT N.T.S.



I TECHLINE CV - IRREGULAR AREA WITH CURVES LAYOUT N.T.S.



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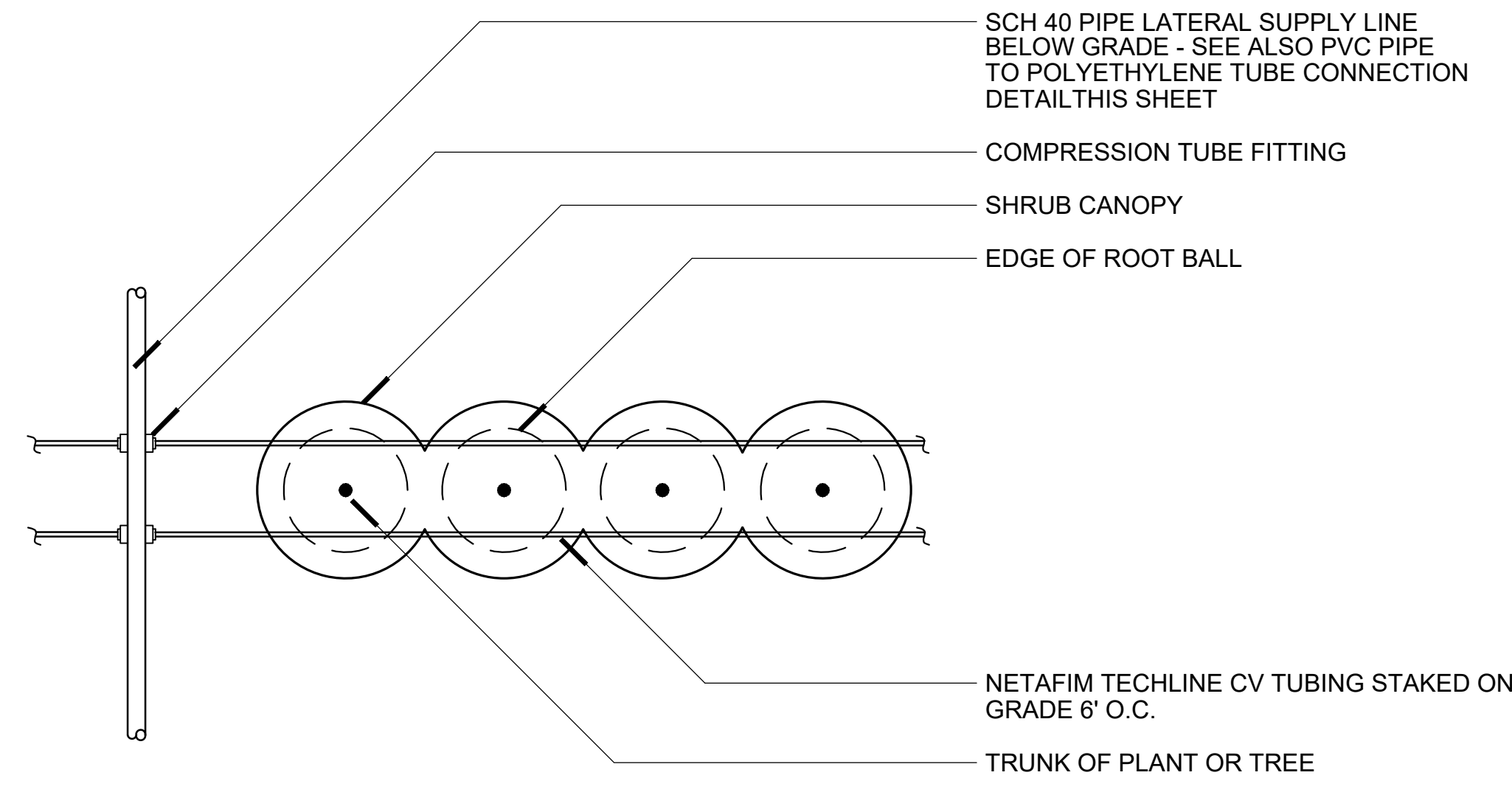
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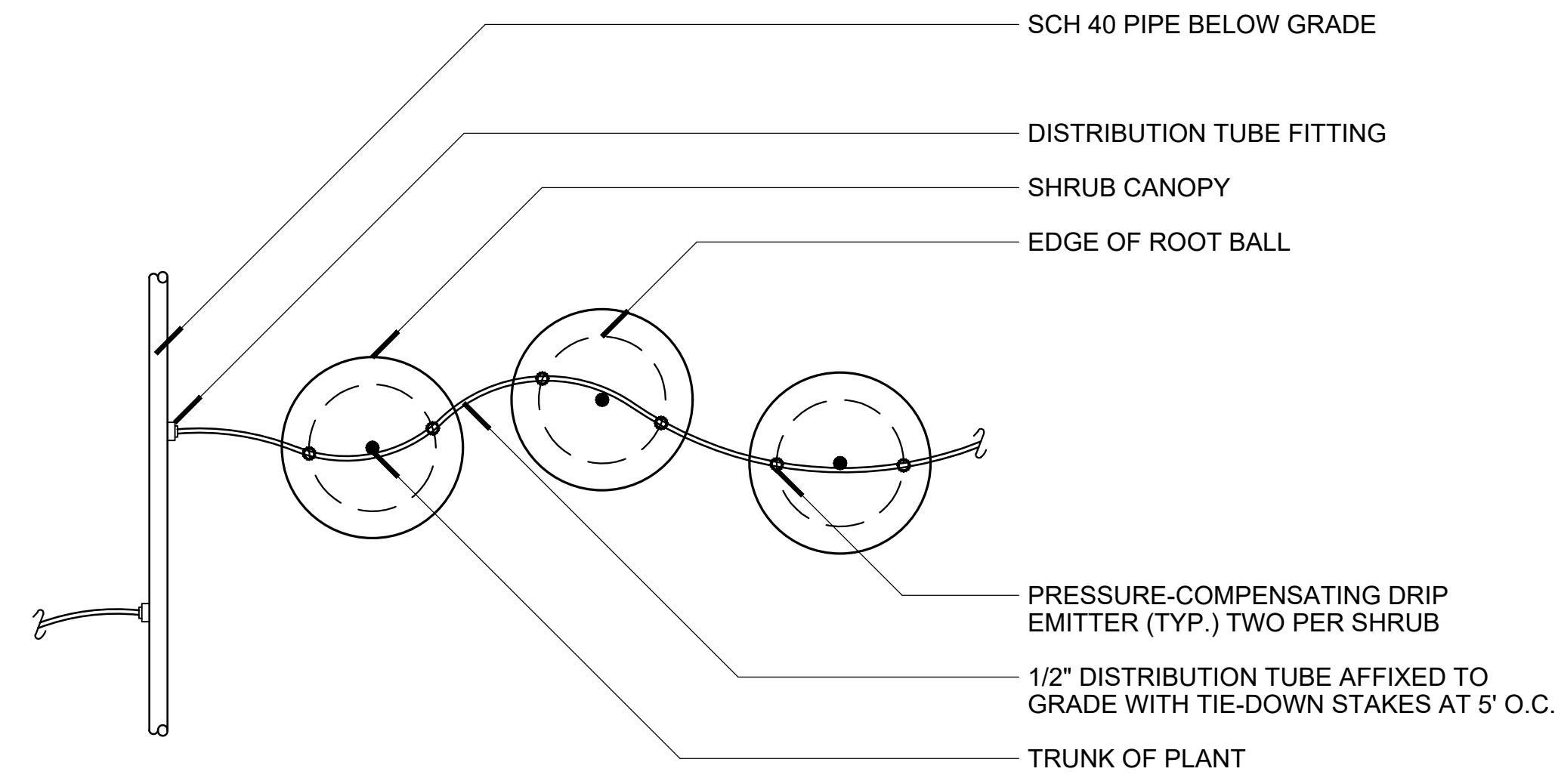
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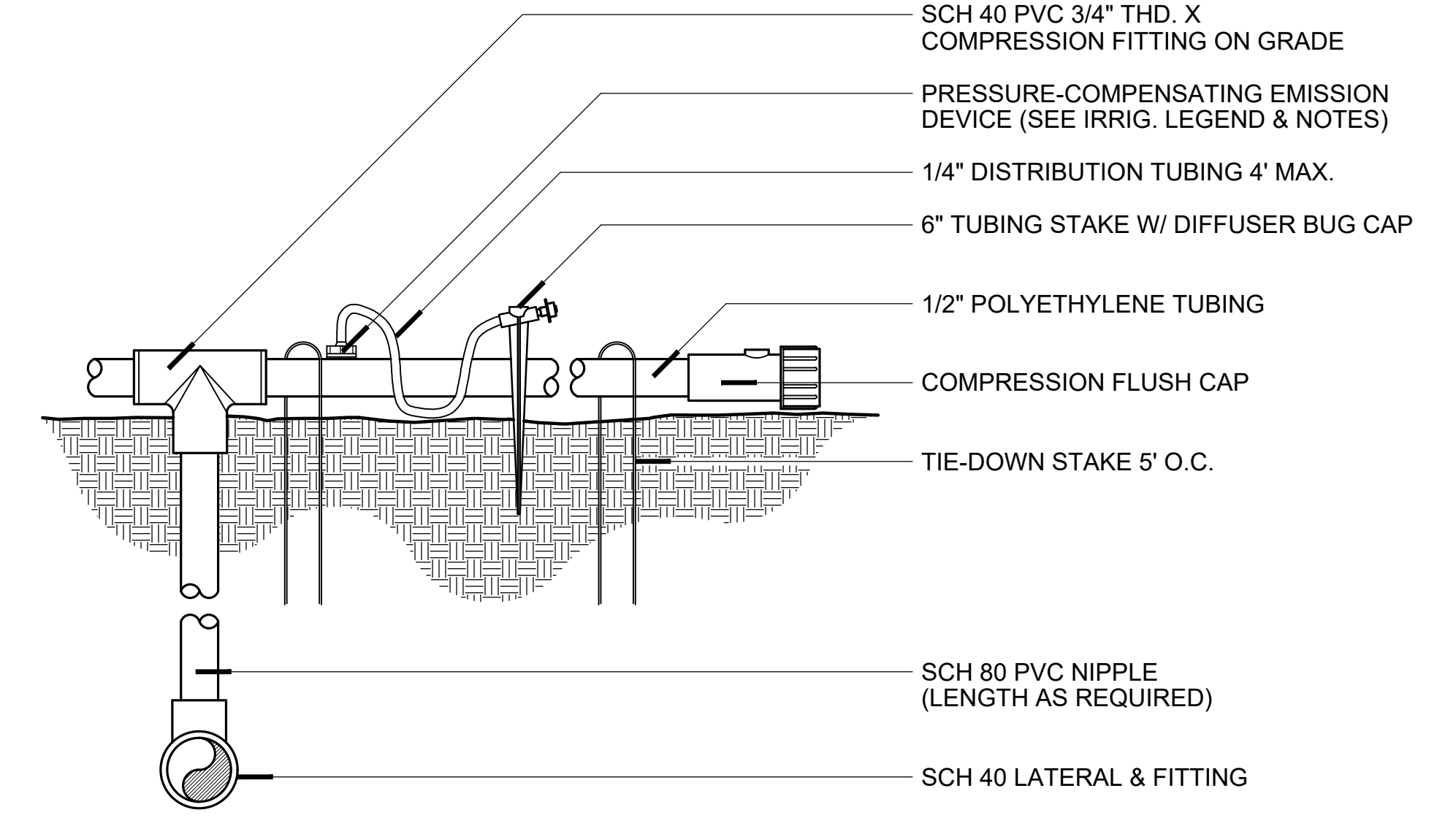
L-24



PLAN



PLAN



SECTION/ELEVATION

NOTE:
SEE IRRIGATION LEGEND AND NOTES
FOR MANUFACTURER AND MODEL

A TECHLINE CV LAYOUT
AT HEDGES

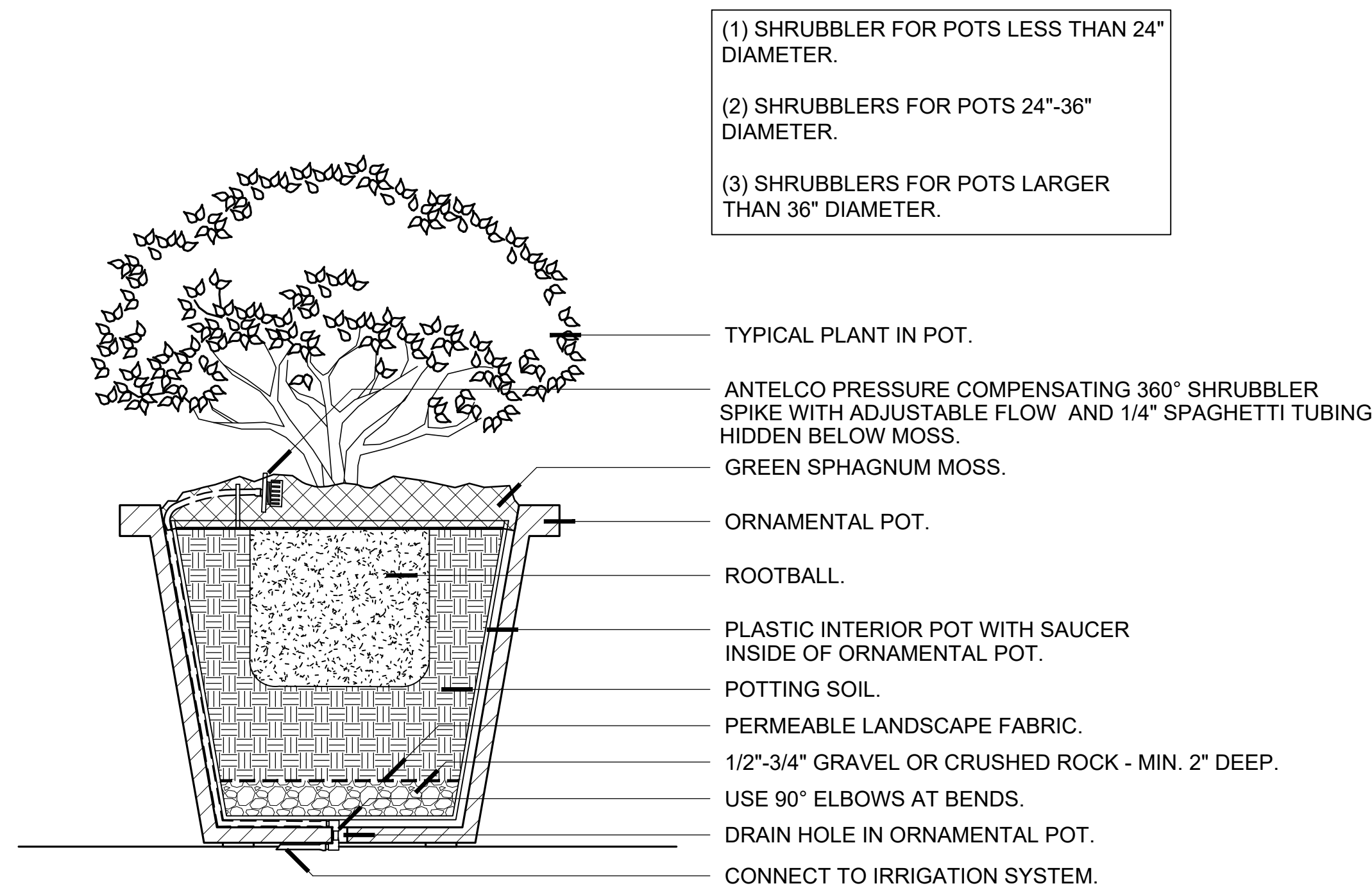
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B DRIP IRRIGATION
AT SHRUBS

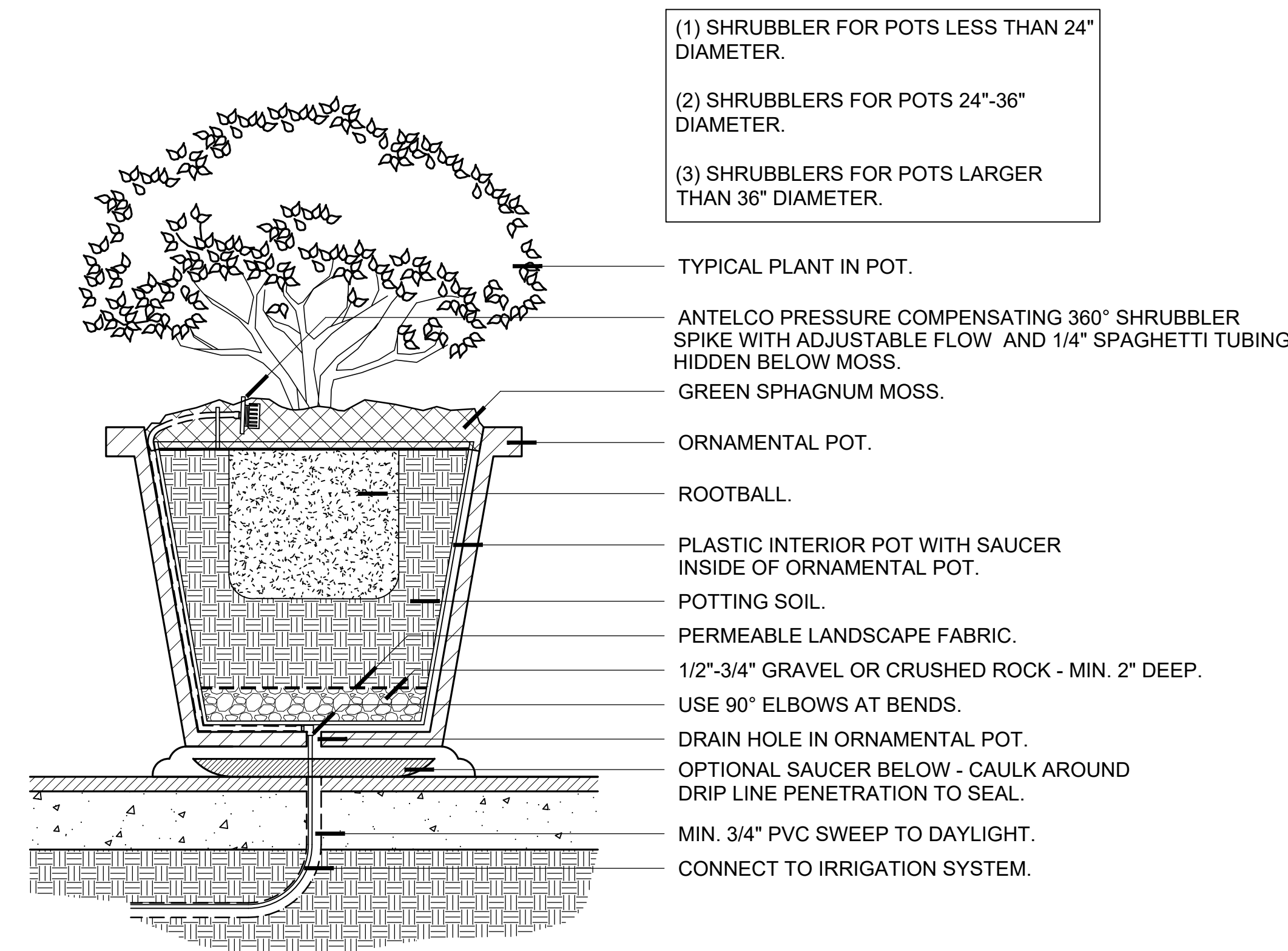
N.T.S.

C PIPE CONNECTION
PVC TO POLYETHYLENE

N.T.S.



SECTION/ELEVATION



SECTION/ELEVATION

D POT IRRIGATION AND DRAINAGE

N.T.S.

E POT IRRIGATION AND DRAINAGE
WITH BASE

N.T.S.



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LANDSCAPE
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PLANTING PLAN

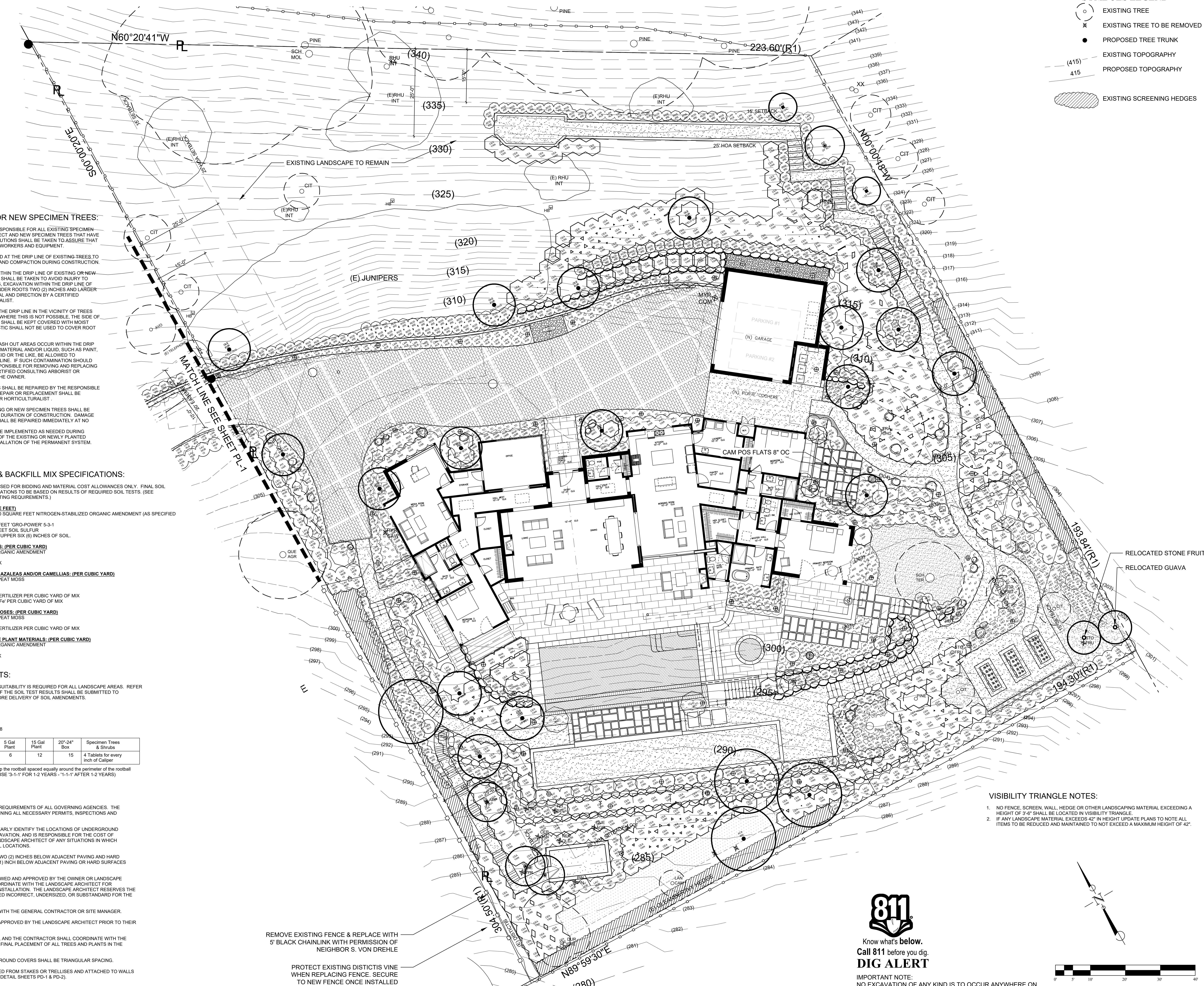
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PROJECT NO.:	23-310
DRAWING NO.:	SAF-02128
SHEET:	L-27

- SYMBOLS LEGEND**
- EXISTING TREE
 - EXISTING TREE TO BE REMOVED
 - PROPOSED TREE TRUNK
 - EXISTING TOPOGRAPHY
 - PROPOSED TOPOGRAPHY
 - EXISTING SCREENING HEDGES



PROTECTION OF EXISTING OR NEW SPECIMEN TREES:

- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING SPECIMEN TREES THAT ARE TO REMAIN IN THE PROJECT AND NEW SPECIMEN TREES THAT HAVE BEEN INSTALLED. ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO ASSURE THAT THEY ARE PROTECTED FROM DAMAGE BY WORKERS AND EQUIPMENT.
- PROTECTIVE FENCING SHALL BE INSTALLED AT THE DRIP LINE OF EXISTING TREES TO PROTECT THE ROOT BALL FROM DAMAGE AND COMPACTION DURING CONSTRUCTION.
- WHERE IT IS NECESSARY TO EXCAVATE WITHIN THE DRIP LINE OF EXISTING OR NEW SPECIMEN TREES, ALL POSSIBLE CAUTION SHALL BE TAKEN TO AVOID INJURY TO ROOTS, LIMBS AND TRUNKS. IN ALL CASES, EXCAVATION WITHIN THE DRIP LINE OF TREES SHALL BE BY HAND. TUNNELING UNDER ROOTS TWO (2) INCHES AND LARGER SHALL BE ALLOWED ONLY AFTER APPROVAL AND DIRECTION BY A CERTIFIED CONSULTING ARBORIST OR HORTICULTURALIST.
- ANY TRENCHING OR EXCAVATION WITHIN THE DRIP LINE IN THE VICINITY OF TREES SHALL BE BACKFILLED WITHIN 24 HOURS. WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE EXCAVATION ADJACENT TO THE TREE SHALL BE KEPT COVERED WITH MOIST BURLAP OR A BREATHABLE CANVAS. PLASTIC SHALL NOT BE USED TO COVER ROOT ZONES DUE TO ITS ANAEROBIC NATURE.
- THE CONTRACTOR SHALL INSURE THAT WASH OUT AREAS OCCUR WITHIN THE DRIP LINE OF ANY TREE AND THAT NO FOREIGN MATERIAL AND/OR LIQUID, SUCH AS PAINT, CONCRETE, CEMENT, OIL, TURPENTINE, ACID OR THE LIKE, BE ALLOWED TO CONTAMINATE ANY SOIL WITHIN THE DRIP LINE. IF SUCH CONTAMINATION SHOULD OCCUR, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING THE SOIL UNDER THE DIRECTION OF A CERTIFIED CONSULTING ARBORIST OR HORTICULTURALIST, AT NO EXPENSE TO THE OWNER.
- ANY AND ALL DAMAGE TO EXISTING TREES SHALL BE REPAIRED BY THE RESPONSIBLE PARTY AT NO EXPENSE TO THE OWNER. REPAIR OR REPLACEMENT SHALL BE DETERMINED BY A QUALIFIED ARBORIST OR HORTICULTURALIST.
- EXISTING IRRIGATION SYSTEMS AT EXISTING OR NEW SPECIMEN TREES SHALL BE MAINTAINED IN WORKING ORDER FOR THE DURATION OF CONSTRUCTION. DAMAGE TO THE EXISTING IRRIGATION SYSTEMS SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER.
- A TEMPORARY IRRIGATION SYSTEM MAY BE IMPLEMENTED AS NEEDED DURING CONSTRUCTION TO ASSURE THE HEALTH OF THE EXISTING OR NEWLY PLANTED TREES OR SPECIMENS PRIOR TO THE INSTALLATION OF THE PERMANENT SYSTEM.

MODEL SOIL PREPARATION & BACKFILL MIX SPECIFICATIONS:

THE FOLLOWING SPECIFICATIONS ARE TO BE USED FOR BIDDING AND MATERIAL COST ALLOWANCES ONLY. FINAL SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS TO BE BASED ON RESULTS OF REQUIRED SOIL TESTS. (SEE SPECIFICATIONS SECTION 02301 FOR SOIL TESTING REQUIREMENTS).

- MODEL SOIL PREPARATION: (PER 1000 SQUARE FEET)**
 ALLOW FOR A MINIMUM OF 4 CUBIC YARDS/1000 SQUARE FEET NITROGEN-STABILIZED ORGANIC AMENDMENT (AS SPECIFIED IN SPECIFICATIONS SECTION 02301)
 ALLOW FOR A MINIMUM OF 1500/1000 SQUARE FEET 'GRO-POWER' 5-3-1
 ALLOW FOR A MINIMUM OF 200/1000 SQUARE FEET SOIL SULFUR
 * BROADCAST UNIFORMLY AND ROTOTILL INTO UPPER SIX (6) INCHES OF SOIL.
- MODEL BACKFILL MIX FOR TREES AND SHRUBS: (PER CUBIC YARD)**
 3 PARTS BY VOLUME NITROGEN STABILIZED ORGANIC AMENDMENT
 7 PARTS BY VOLUME CLEAN SITE SOIL
 20# 'GRO-POWER 5-3-1' PER CUBIC YARD OF MIX
- MODEL BACKFILL MIX FOR RHODODENDRONS, AZALEAS AND/OR CAMELLIAS: (PER CUBIC YARD)**
 1/3 BY VOLUME - PRE-MOISTENED SPHAGNUM PEAT MOSS
 1/3 BY VOLUME - APPROVED TOPSOIL
 1/3 BY VOLUME - AMENDED, CLEAN SITE SOIL
 10# 'GRO-POWER 3-12-12 FLOWER & BLOOM' FERTILIZER PER CUBIC YARD OF MIX
 3# 'GRO-POWER PREMIUM GREEN IRON - 40% Fe' PER CUBIC YARD OF MIX
- MODEL BACKFILL MIX FOR PERENNIALS AND ROSES: (PER CUBIC YARD)**
 1/3 BY VOLUME - PRE-MOISTENED SPHAGNUM PEAT MOSS
 2/3 BY VOLUME - AMENDED, CLEAN SITE SOIL
 10# 'GRO-POWER 3-12-12 FLOWER & BLOOM' FERTILIZER PER CUBIC YARD OF MIX
- MODEL BACKFILL MIX FOR CALIFORNIA NATIVE PLANT MATERIALS: (PER CUBIC YARD)**
 3 PARTS BY VOLUME NITROGEN STABILIZED ORGANIC AMENDMENT
 7 PARTS BY VOLUME CLEAN SITE SOIL
 10# 'GRO-POWER 5-3-1' PER CUBIC YARD OF MIX

SOIL TESTING REQUIREMENTS:

SOIL TESTING FOR ORNAMENTAL LANDSCAPE SUITABILITY IS REQUIRED FOR ALL LANDSCAPE AREAS. REFER TO SPECIFICATIONS SECTION 02301. COPIES OF THE SOIL TEST RESULTS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT AND THE OWNER BEFORE DELIVERY OF SOIL AMENDMENTS.

APPLICATION RATE TABLE

GRO-POWER 7 GRAM PLANTING TABLETS, 12-8-8

Plant Size	1 Gal Plant	2 Gal Plant	5 Gal Plant	15 Gal Plant	20"-24" Specimen Trees & Shrubs
# of Tablets	2	3	6	12	15

Note: Place tablet(s) no higher than 1/3 of the way up the rootball spaced equally around the perimeter of the rootball approximately 2" from the root tips. (FRUIT TREES USE "3-1-1" FOR 1-2 YEARS - "1-1-1" AFTER 1-2 YEARS)

PLANTING NOTES:

- ALL WORK PERFORMED SHALL MEET THE REQUIREMENTS OF ALL GOVERNING AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INSPECTIONS AND APPROVALS REQUIRED FOR THIS WORK.
- THE CONTRACTOR SHALL VERIFY AND CLEARLY IDENTIFY THE LOCATIONS OF UNDERGROUND UTILITY LINES IN FIELD PRIOR TO ANY EXCAVATION, AND IS RESPONSIBLE FOR THE COST OF REPAIRING ANY DAMAGE. NOTIFY THE LANDSCAPE ARCHITECT OF ANY SITUATIONS IN WHICH UTILITIES CONFLICT WITH PLANT MATERIAL LOCATIONS.
- FINISH GRADES SHALL BE AS FOLLOWS: TWO (2) INCHES BELOW ADJACENT PAVING AND HARD SURFACES FOR SHRUB AREAS, AND ONE (1) INCH BELOW ADJACENT PAVING OR HARD SURFACES FOR LAWN AREAS.
- ALL TREES AND SHRUBS ARE TO BE REVIEWED AND APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. COORDINATE WITH THE LANDSCAPE ARCHITECT FOR REVIEWING PLANT MATERIALS PRIOR TO INSTALLATION. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT PLANT MATERIAL DEEMED INCORRECT, UNDERSIZED, OR SUBSTANDARD FOR THE PROJECT.
- ALL DELIVERIES MUST BE COORDINATED WITH THE GENERAL CONTRACTOR OR SITE MANAGER.
- TREE LOCATIONS SHALL BE STAKED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO THEIR INSTALLATION.
- ALL PLANTING PLANS ARE DIAGRAMMATIC, AND THE CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE ARCHITECT FOR REVIEW AND FINAL PLACEMENT OF ALL TREES AND PLANTS IN THE FIELD.
- ON-CENTER SPACING FOR SHRUBS AND GROUND COVERS SHALL BE TRIANGULAR SPACING.
- VINES AND ESPALIER ARE TO BE REMOVED FROM STAKES OR TRELLISES AND ATTACHED TO WALLS WITH APPROVED DEVICES (SEE PLANTING DETAIL SHEETS PD-1 & PD-2).
- THE CONTRACTOR SHALL TAKE CARE TO PROTECT THE ROOT ZONES OF ALL EXISTING AND PROPOSED TREES DURING CONSTRUCTION.

VISIBILITY TRIANGLE NOTES:

- NO FENCE, SCREEN, WALL, HEDGE OR OTHER LANDSCAPING MATERIAL EXCEEDING A HEIGHT OF 3'-6" SHALL BE LOCATED IN VISIBILITY TRIANGLE.
- IF ANY LANDSCAPE MATERIAL EXCEEDS 42" IN HEIGHT UPDATE PLANS TO NOTE ALL ITEMS TO BE REDUCED AND MAINTAINED TO NOT EXCEED A MAXIMUM HEIGHT OF 42".

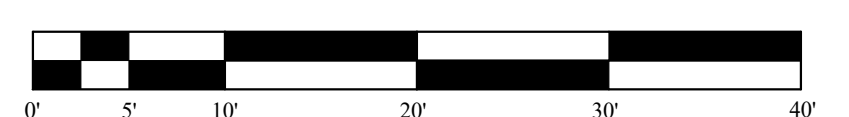
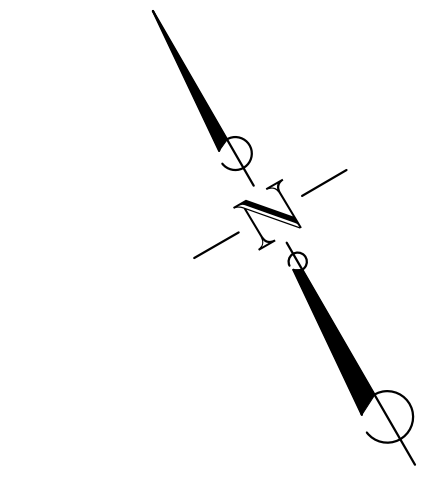
REMOVE EXISTING FENCE & REPLACE WITH 5' BLACK CHAINLINK WITH PERMISSION OF NEIGHBOR S. VON DREHLE

PROTECT EXISTING DISTICTIS VINE WHEN REPLACING FENCE. SECURE TO NEW FENCE ONCE INSTALLED

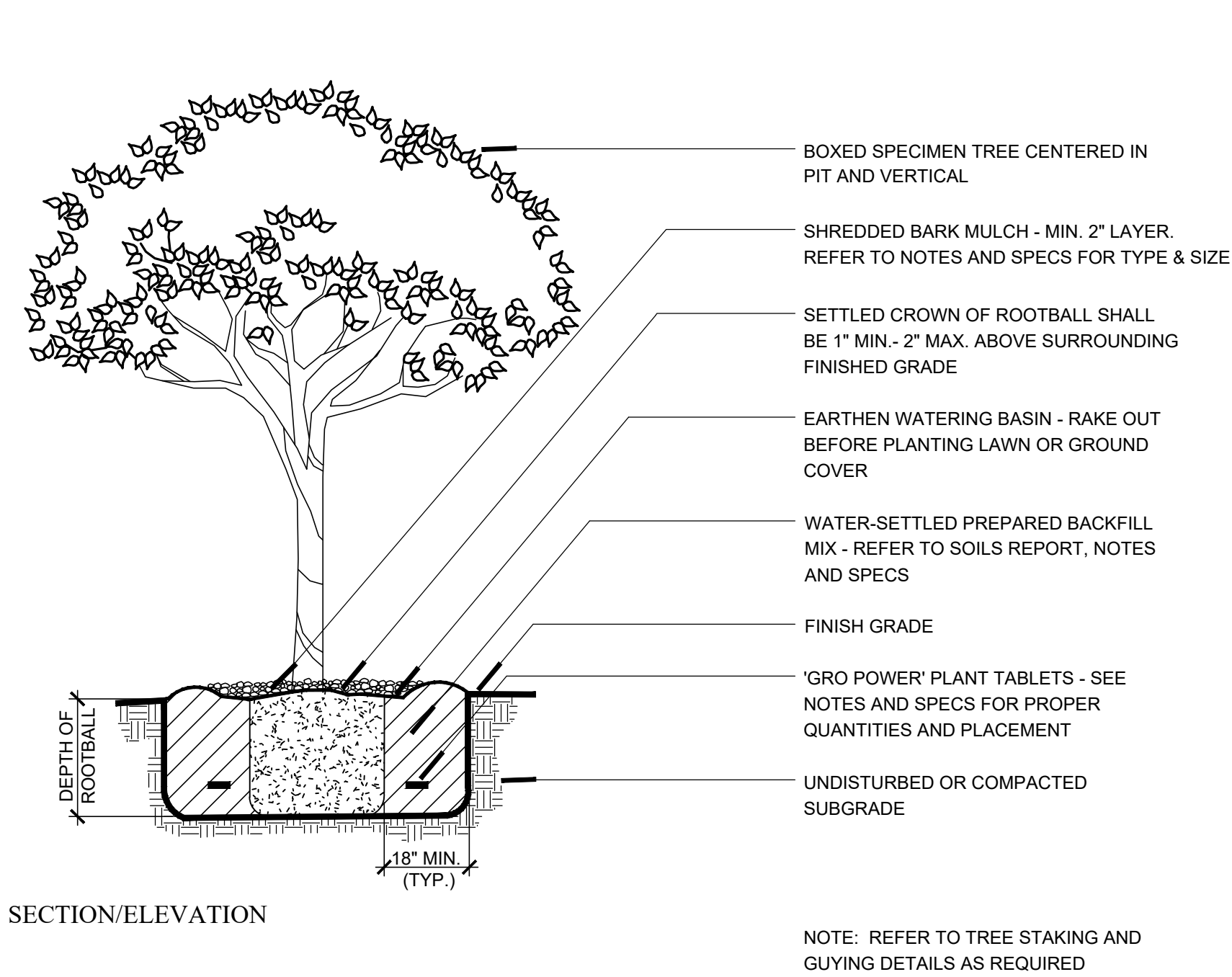


Know what's below.
 Call 811 before you dig.
DIG ALERT

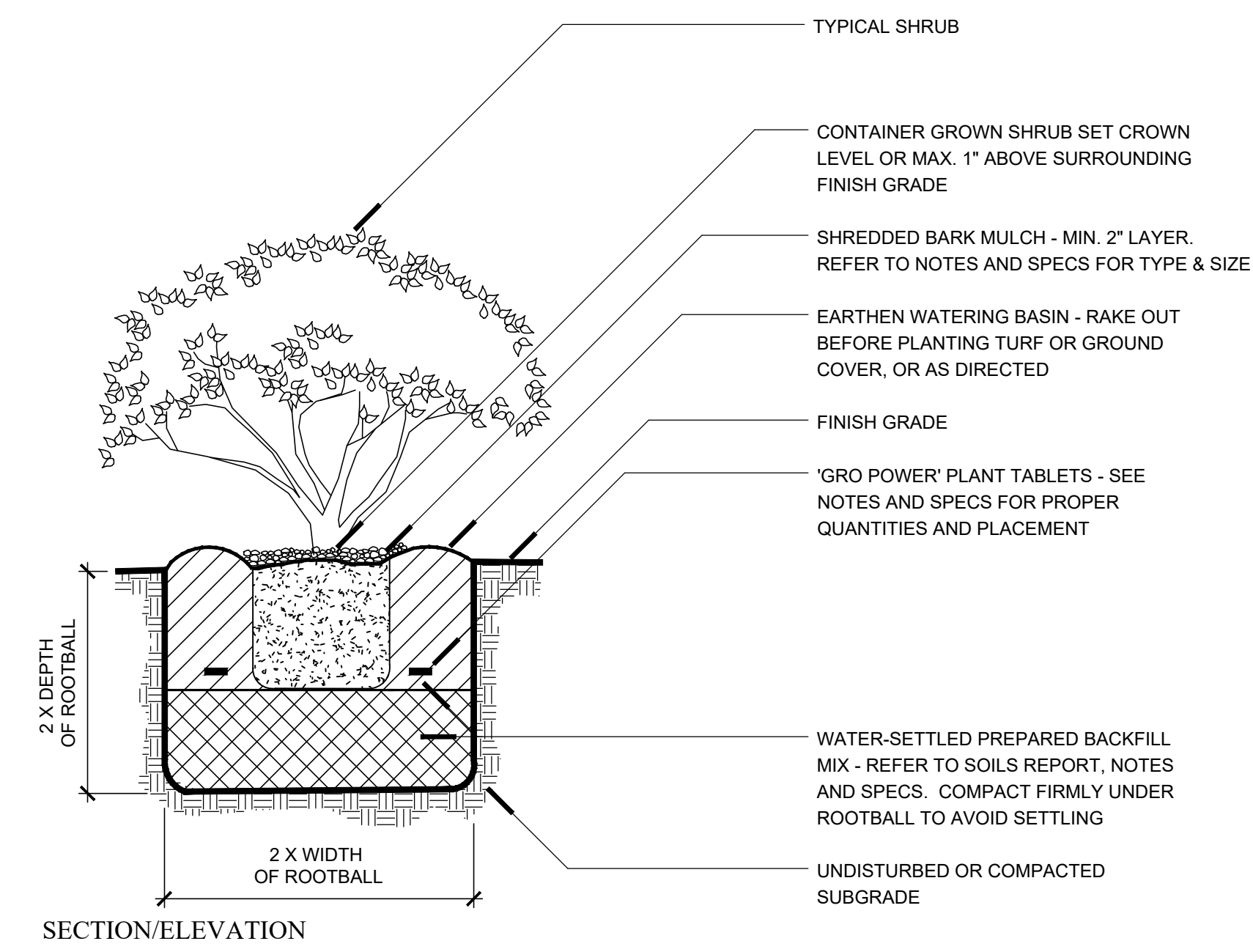
IMPORTANT NOTE:
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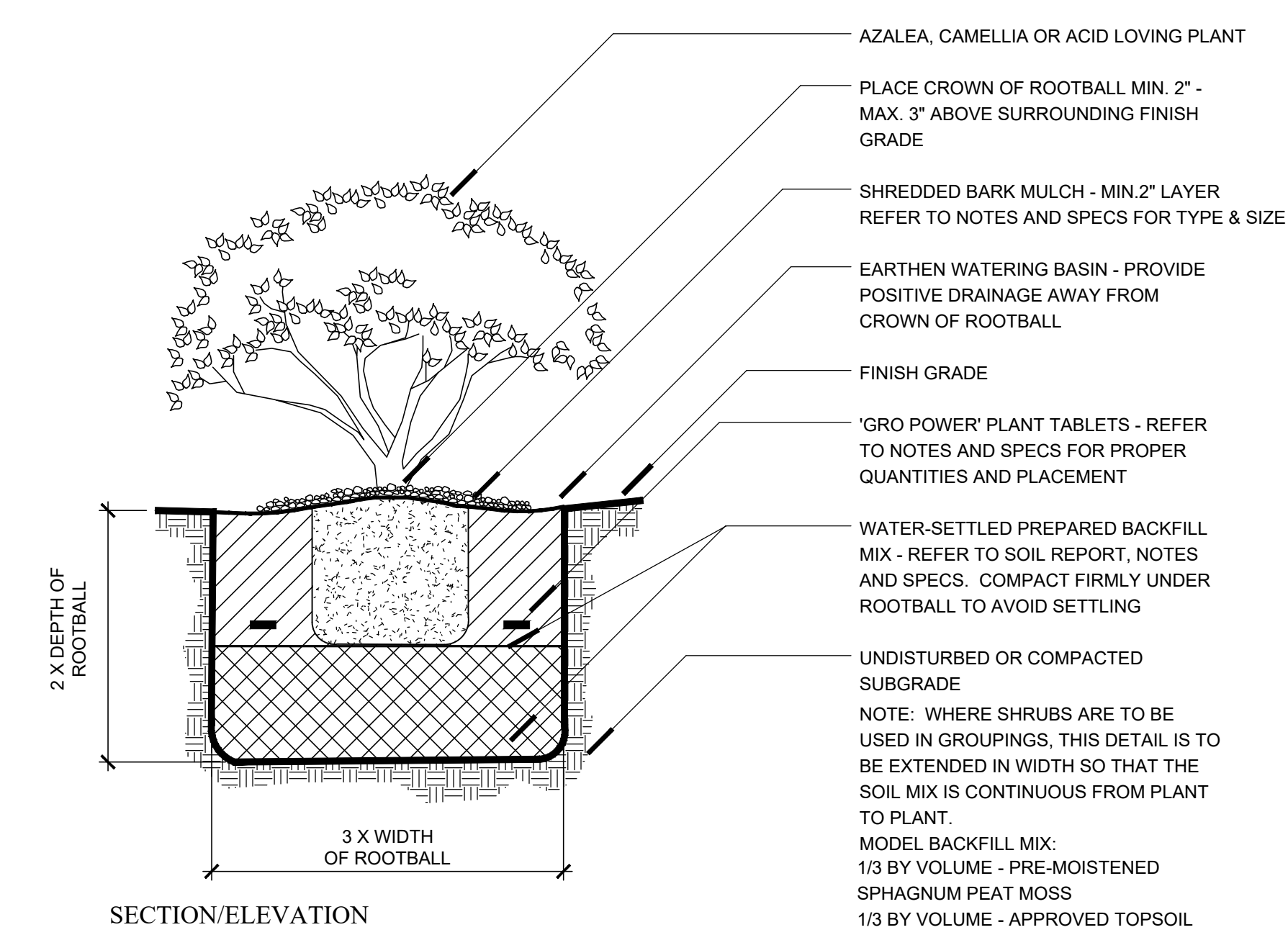
SCALE: 1" = 10'-0"



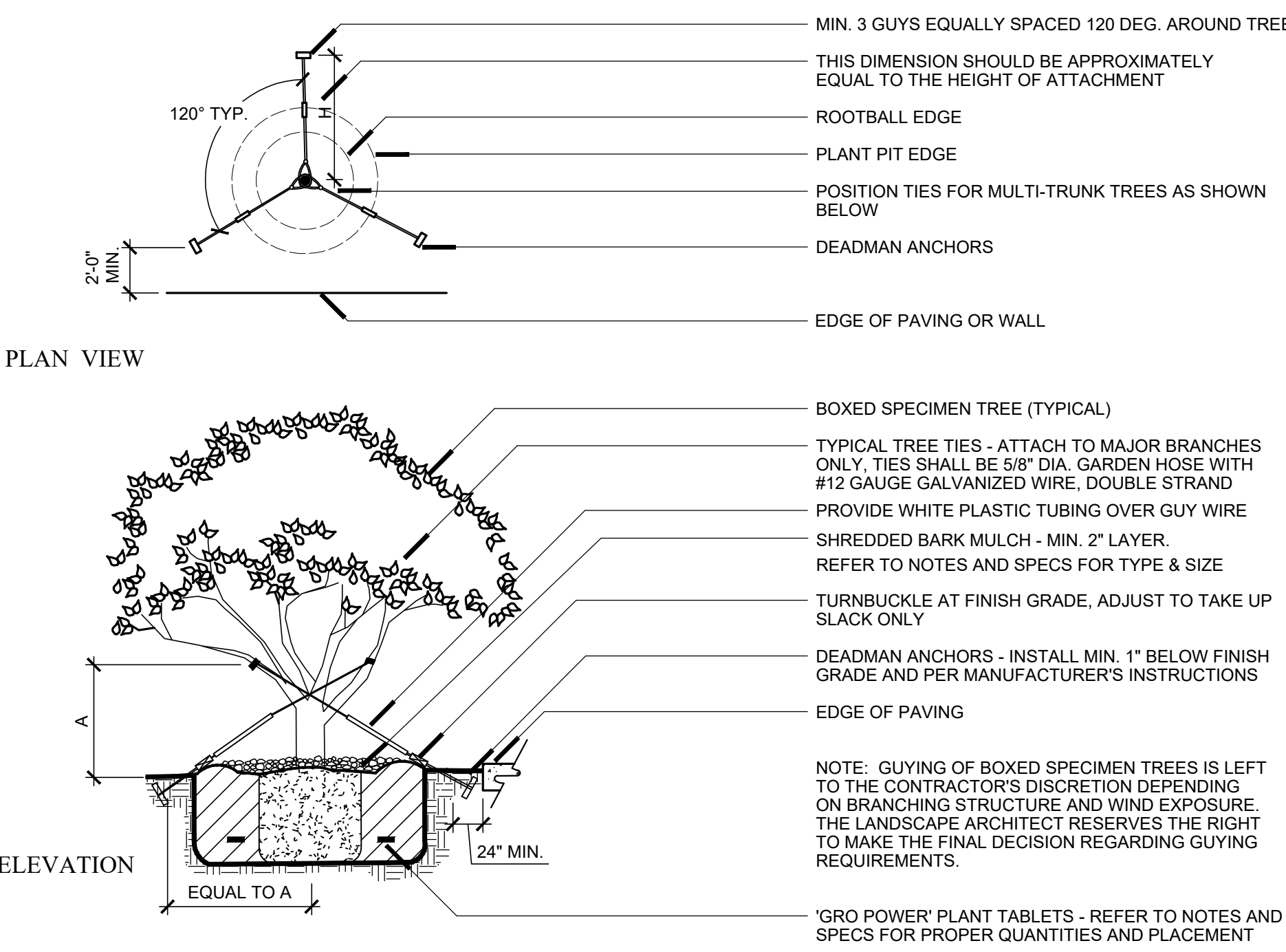
A SPECIMEN TREE PLANTING N.T.S.



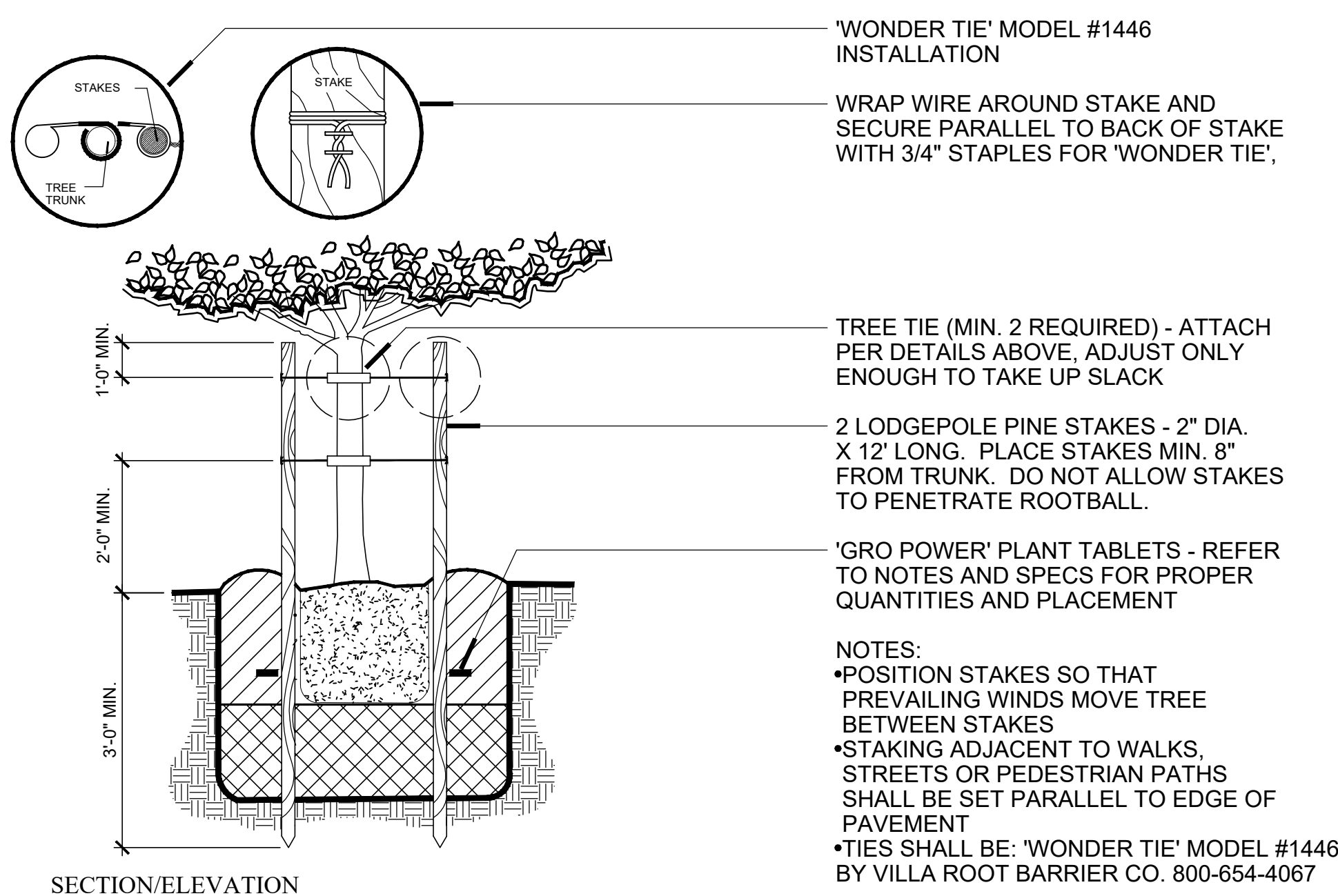
B SHRUB PLANTING N.T.S.



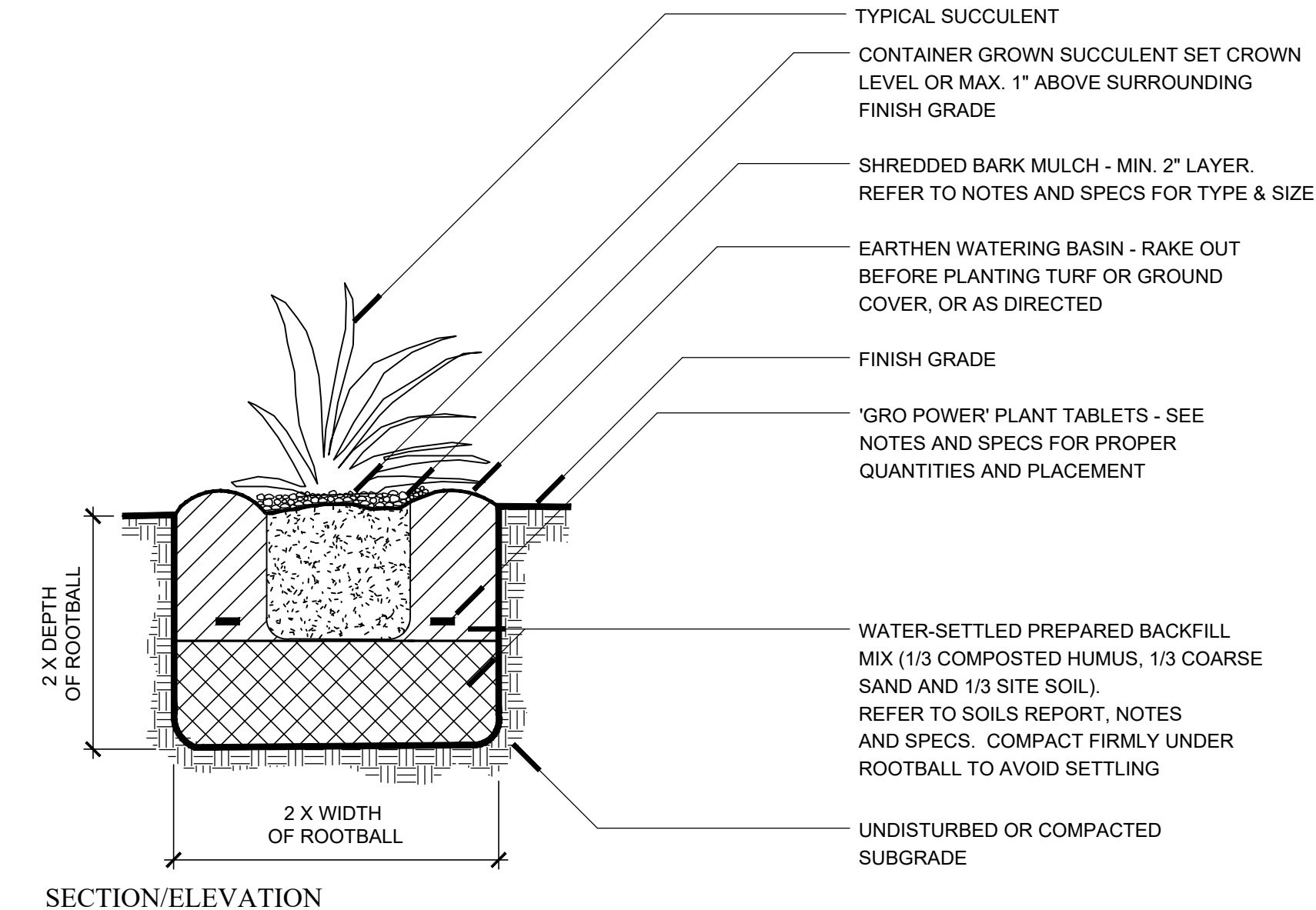
C SHRUB PLANTING AZALEA OR CAMELLIA N.T.S.



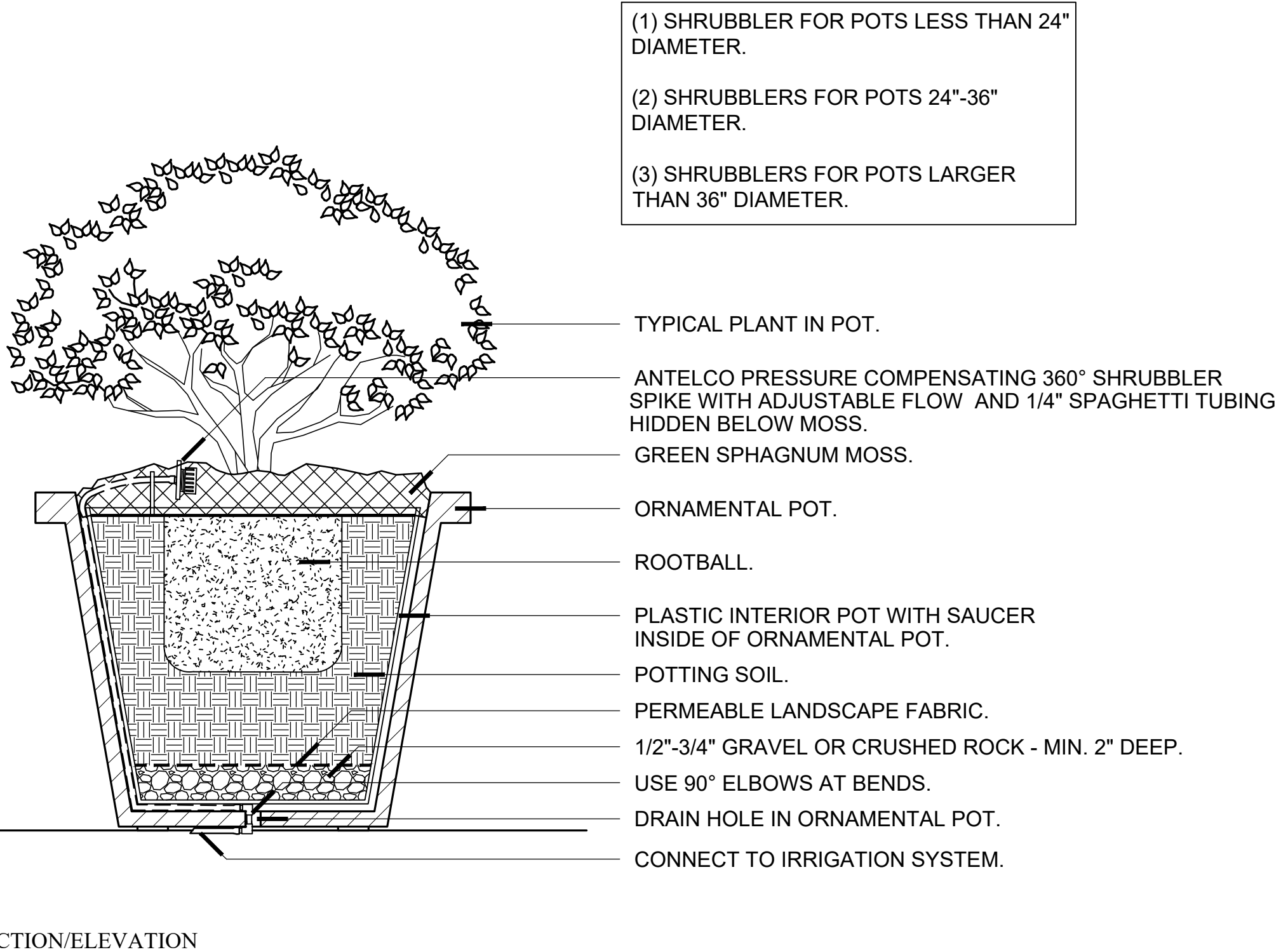
D SPECIMEN TREE GUYING N.T.S.



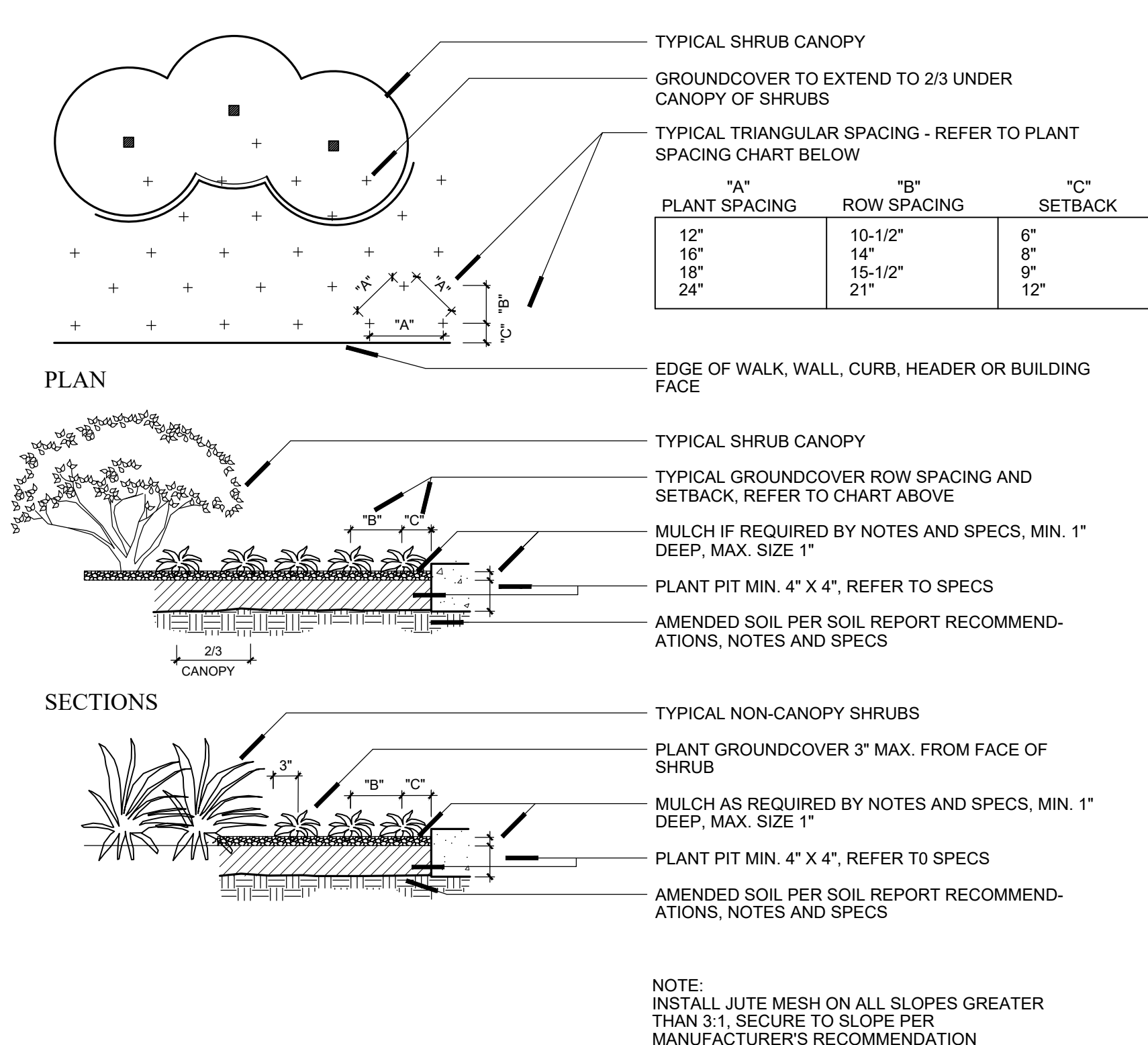
E TREE STAKING DOUBLE STAKE N.T.S.



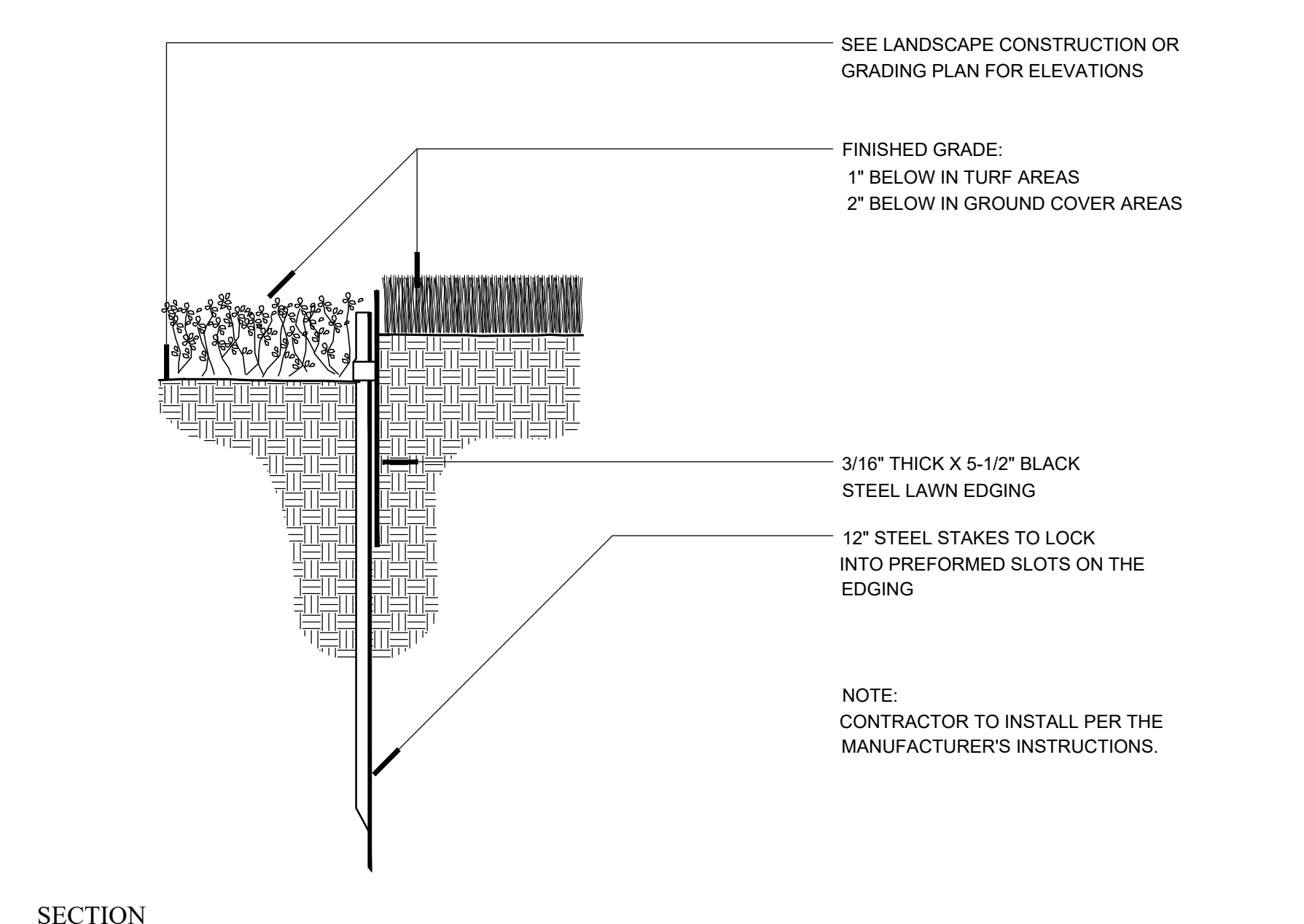
F SUCCULENT PLANTING N.T.S.



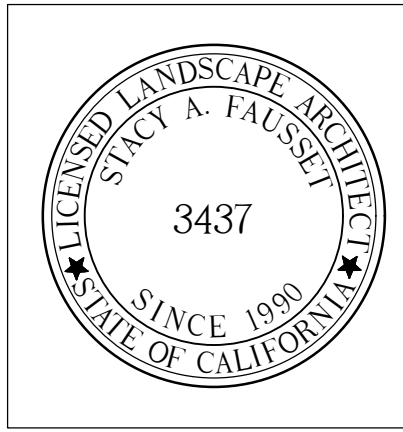
G POT PLANTING IRRIGATION AND DRAINAGE N.T.S.



H ANNUAL, PERENNIAL & GROUND COVER PLANTING N.T.S.



I STEEL LANDSCAPE BORDER AT LAWN EDGE N.T.S.



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 163 Nob Hill Lane, Ventura, California 93003
 Direct: 805-340-7595 Office/Fax: 805-642-2877
 E-mail: stacy@saflandscape.com



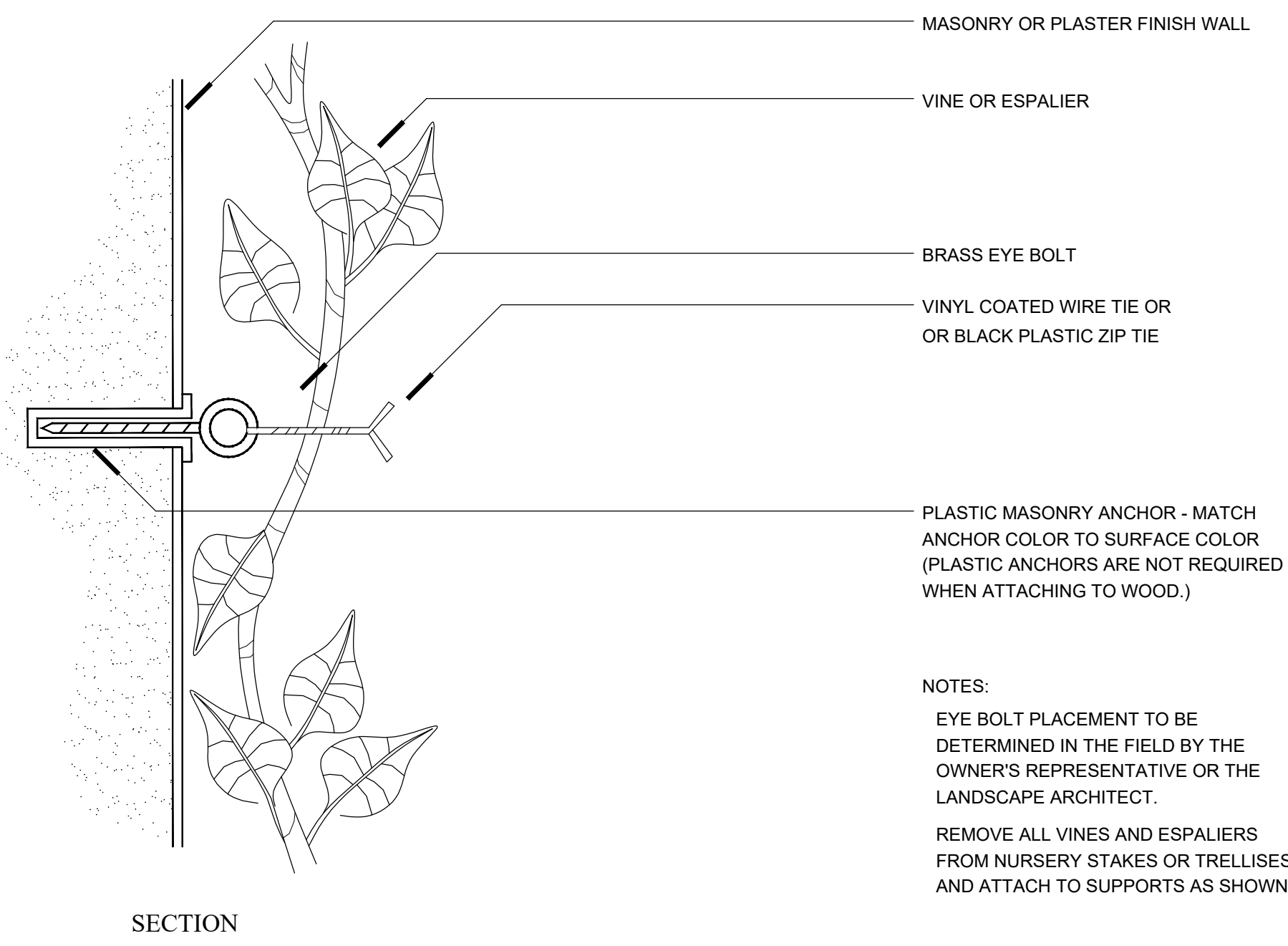
PLANTING DETAILS

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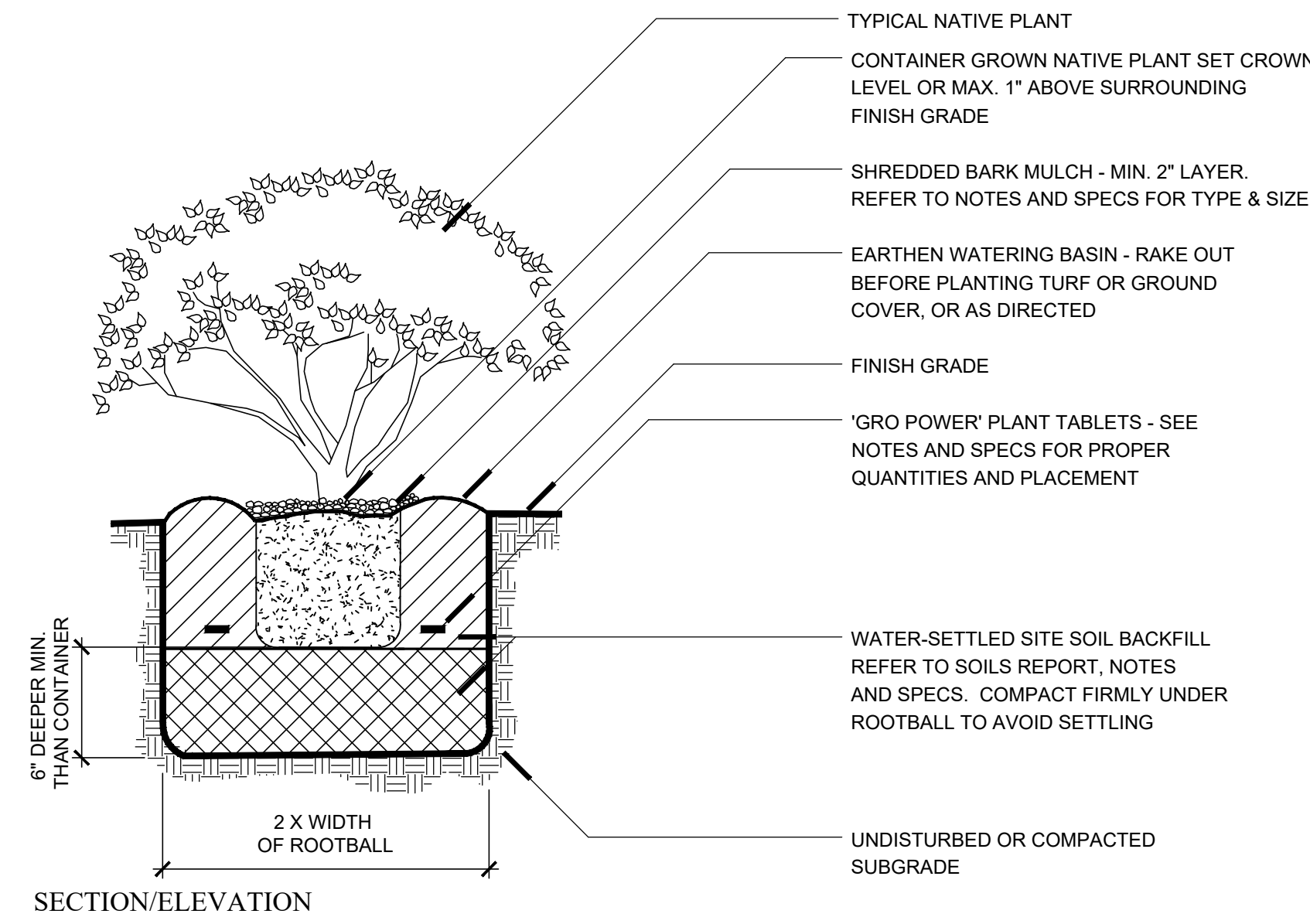
ARKLEY RESIDENCE
 616 SEA RANCH DRIVE
 SANTA BARBARA, CA. 93109

REVISIONS

ISSUED FOR:	CITY OF SANTA BARBARA
DATE:	JULY 19, 2024
DESIGNED/DRAFTED BY:	SAF / KLD
SCALE:	N.T.S.
PROJECT NO.:	22-310
DRAWING NO.:	SAF-02128
SHEET:	



A WALL ATTACHMENT FOR VINES AND ESPALIERS N.T.S.



B NATIVE PLANTING N.T.S.

SOIL TESTING REQUIREMENTS
 SOIL TESTING FOR AGRICULTURAL SUITABILITY IS REQUIRED FOR ALL LANDSCAPE AREAS. REFER TO SPECIFICATIONS SECTION 02821, PARAGRAPH 1.04, E-1 THRU E-6. TEST RESULTS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT BEFORE DELIVERY OF SOIL AMENDMENTS.

MODEL SOIL PREPARATION & BACKFILL MIX SPECIFICATIONS
 THE FOLLOWING SPECIFICATIONS ARE TO BE USED FOR COST ALLOWANCES ONLY. FINAL SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS TO BE BASED ON RESULTS OF REQUIRED SOIL TESTS. (REFER TO SPECIFICATIONS SECTION 02821, PAR. 1.04, E-1 THRU E-6 FOR SOIL TESTING REQUIREMENTS.)

MODEL SOIL PREPARATION (PER 1000 SQUARE FEET)
 ALLOW FOR A MINIMUM OF 4 CUBIC YARDS/1000 SQUARE FEET NITROGEN-STABILIZED ORGANIC AMENDMENT
 ALLOW FOR A MINIMUM OF 150 LBS /1000 SQUARE FEET 'GRO-POWER' 5-3-1
 ALLOW FOR A MINIMUM OF 20 LBS /1000 SQUARE FEET SOIL SULFUR

BROADCAST UNIFORMLY AND ROTOTILL INTO UPPER FOUR (4) TO SIX (6) INCHES OF SOIL.

ALLOW FOR A MINIMUM OF 5 LBS /1000 SQUARE FEET 'MYKOS PRO 100' MYCORRHIZAL INOCULATE BY GREEN DIAMOND BIOLOGICALS
 RAKE INTO TOP 1 INCH OF SOIL

MODEL BACKFILL MIX FOR TREES AND SHRUBS (PER CUBIC YARD)
 3 PARTS BY VOLUME NITROGEN STABILIZED ORGANIC AMENDMENT
 7 PARTS BY VOLUME SITE SOIL
 20 LBS 'GRO-POWER 5-3-1' PER CUBIC YARD OF MIX

MODEL BACKFILL MIX FOR RHODODENDRONS, AZALEAS AND/OR CAMELLIAS (PER CUBIC YARD)
 1/3 BY VOLUME - PRE-MOISTENED SPHAGNUM PEAT MOSS
 1/3 BY VOLUME - CAMELLIA/AZALEA SOIL MIX
 1/3 BY VOLUME - SITE SOIL
 10 LBS - 'GRO-POWER 3-12-12 FLOWER & BLOOM' FERTILIZER PER CUBIC YARD OF MIX
 3 LBS - 'GRO-POWER PREMIUM GREEN IRON - 40% Fe' PER CUBIC YARD OF MIX

MODEL BACKFILL MIX FOR PERENNIALS AND ROSES (PER CUBIC YARD)
 1/3 BY VOLUME - PRE-MOISTENED SPHAGNUM PEAT MOSS
 2/3 BY VOLUME - SITE SOIL
 10 LBS - 'GRO-POWER 3-12-12 FLOWER & BLOOM' FERTILIZER PER CUBIC YARD OF MIX

MODEL BACKFILL MIX FOR SUCCULENTS (PER CUBIC YARD)
 1/3 BY VOLUME - COMPOSTED HUMUS
 1/3 BY VOLUME - COARSE SAND
 1/3 BY VOLUME - SITE SOIL

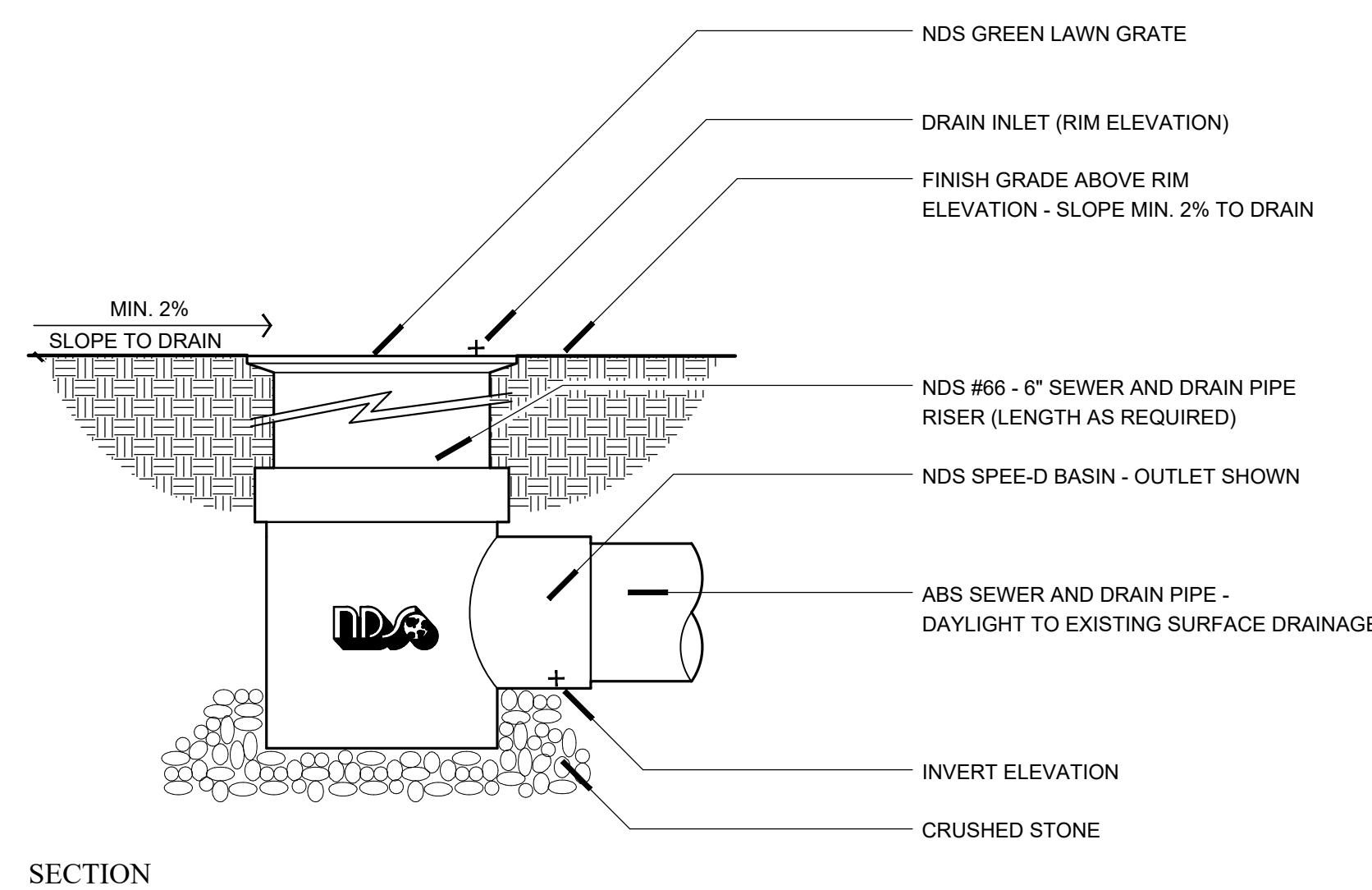
MODEL BACKFILL MIX FOR NATIVE PLANTING: 100% SITE SOIL

APPLICATION RATE TABLE
 GRO-POWER 7 GRAM PLANTING TABLETS, 12-8-8 with 20% Humus and 4% Humic Acid

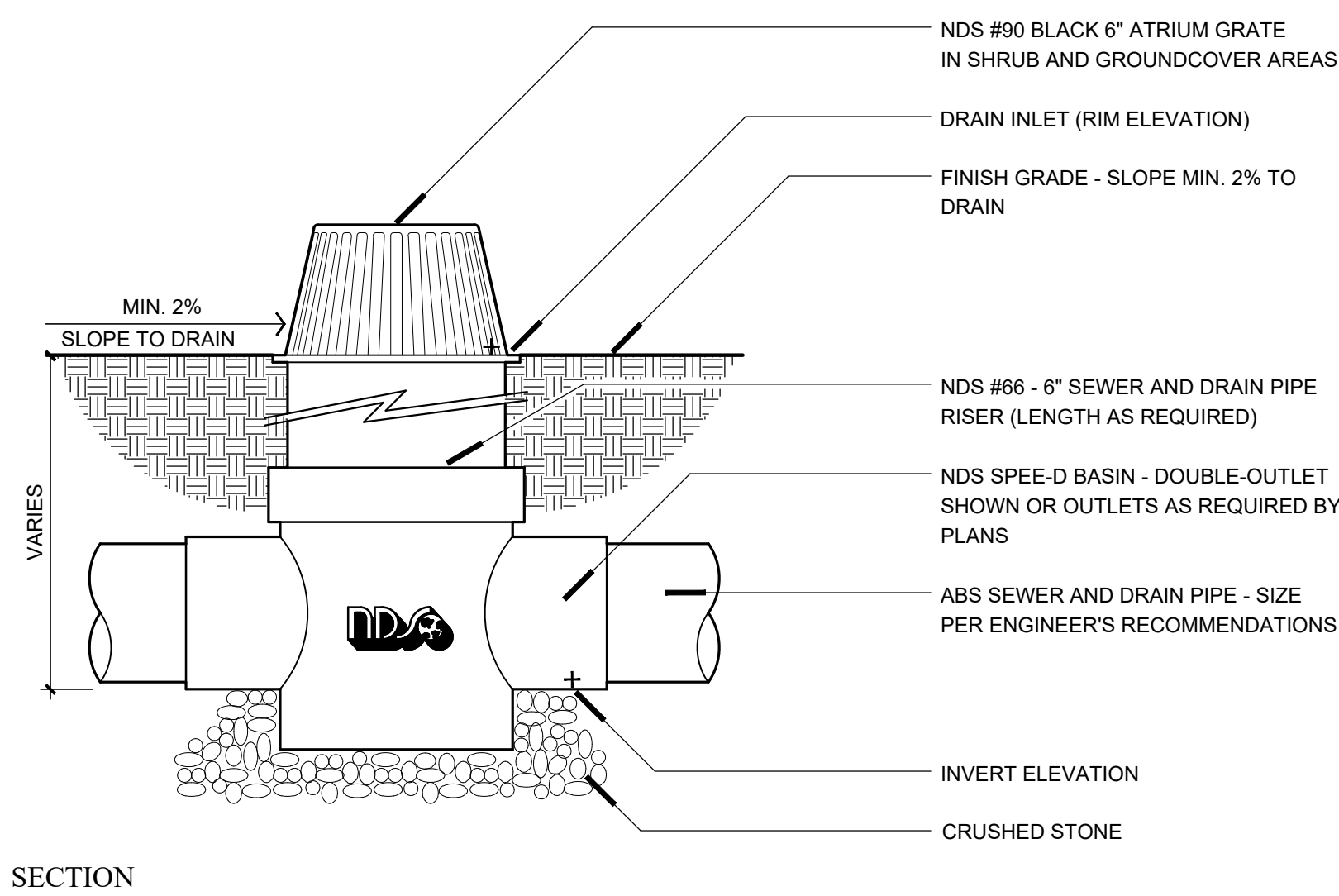
Plant Size	1 Gal Plant	2 Gal Plant	5 Gal Plant	15 Gal Plant	20"-24" Box	Specimen Trees & Shrubs
# of Tablets	2	3	6	12	15	4 Tablets for every inch of Caliper

Note: Place table(s) no higher than 1/3 of the way up the rootball spaced equally around the perimeter of the rootball approximately 2" from the root tips. (FRUIT TREES USE '3-1-1' FOR 1-2 YEARS - '1-1-1' AFTER 1-2 YEARS)

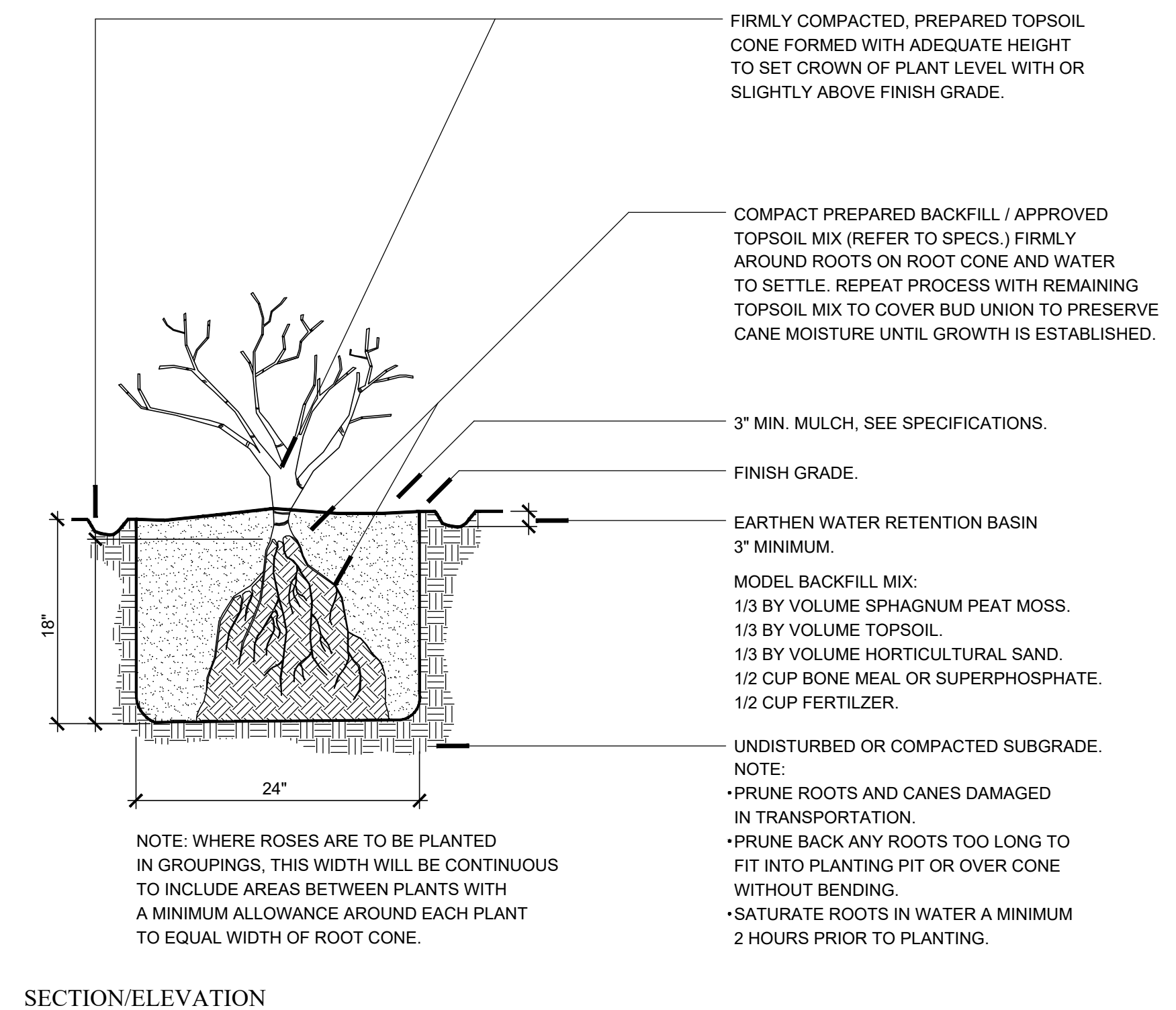
C SOIL TESTING & SOIL PREPARATION



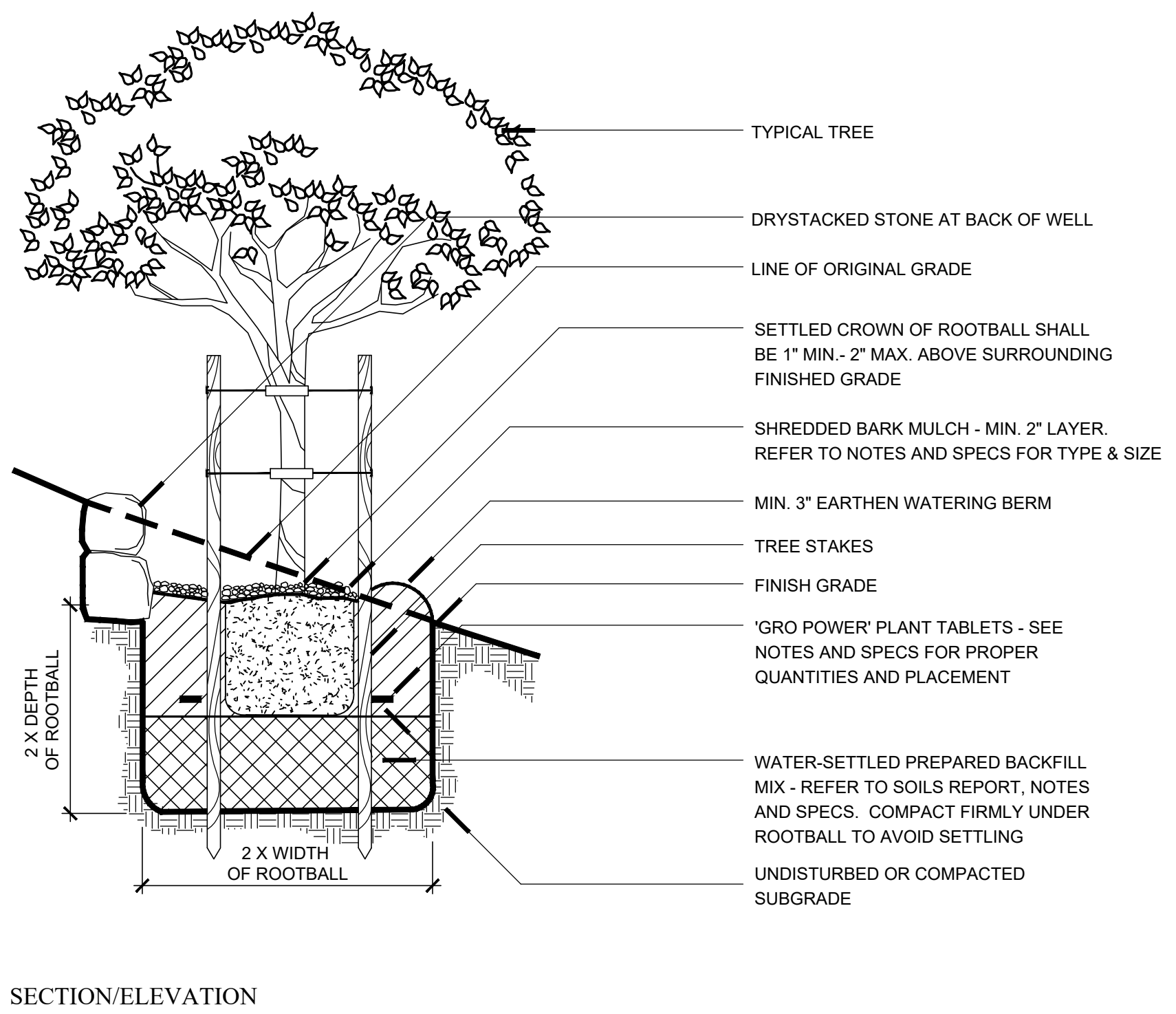
D CATCH BASIN AT LAWN N.T.S.



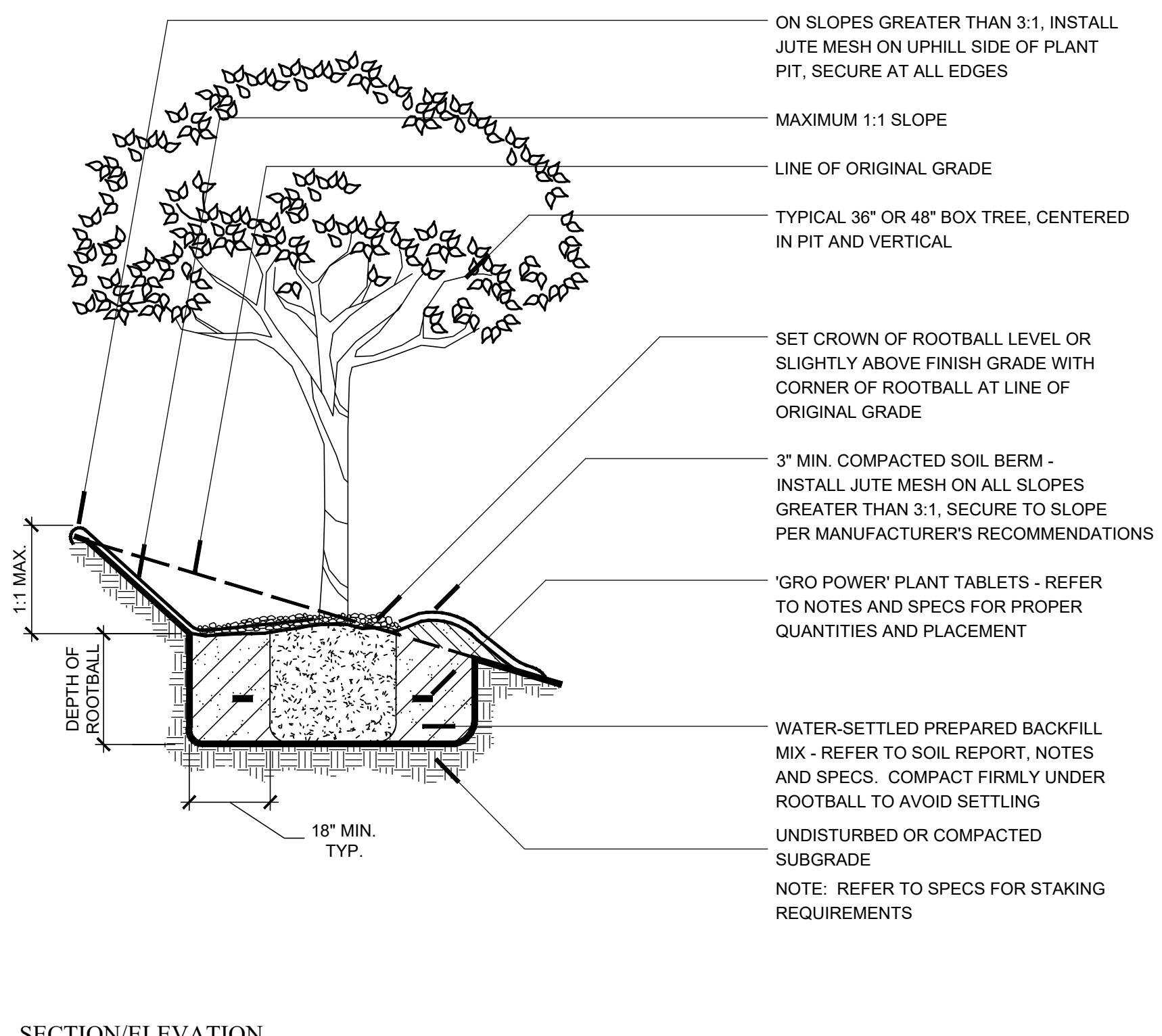
E 6" CATCH BASIN WITH NDS #90 BLACK 6" ATRIUM GRATE N.T.S.



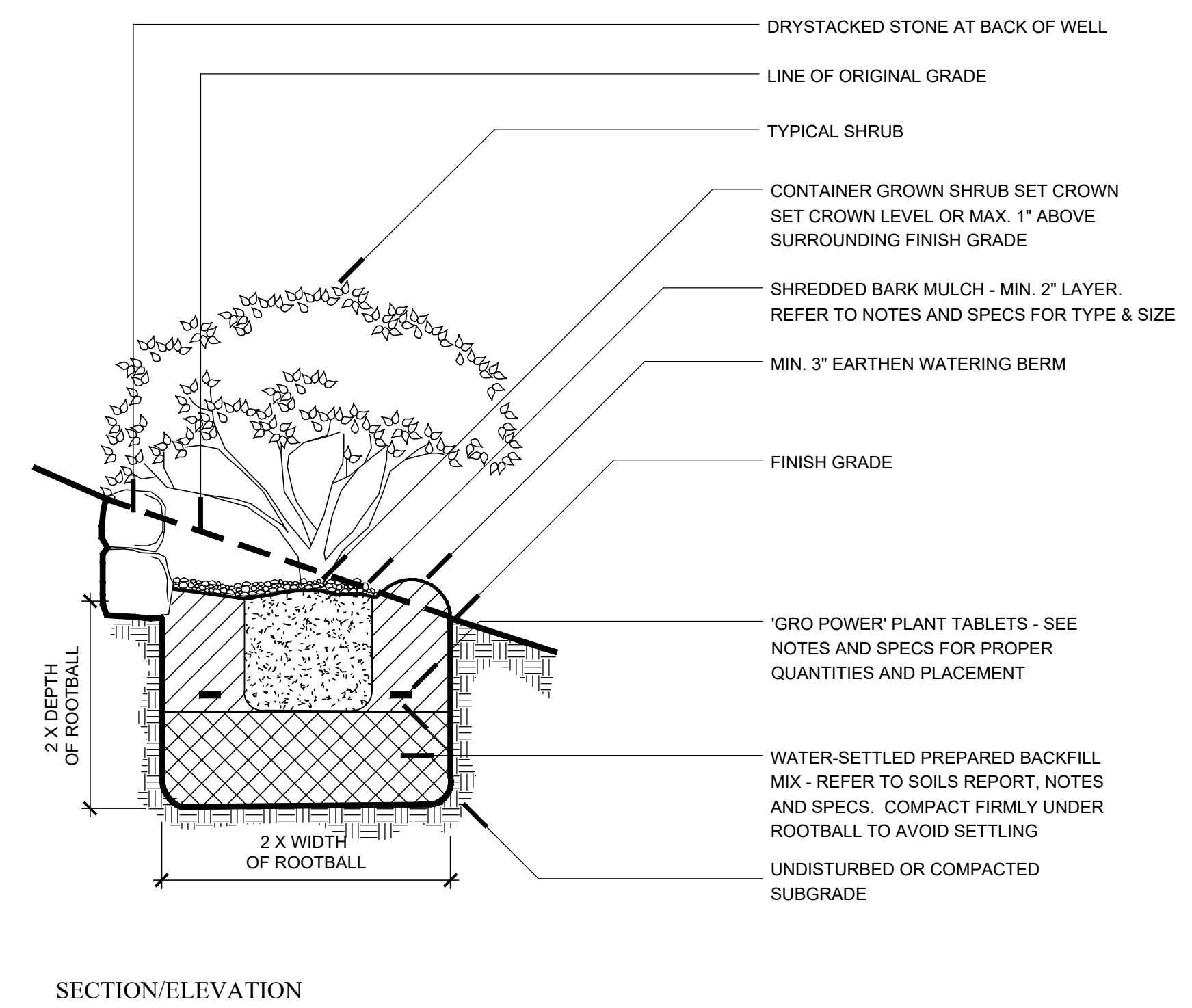
F BARE ROOT ROSE PLANTING N.T.S.



G TREE PLANTING AT SLOPES N.T.S.



H TREE PLANTING AT SLOPES 36" & 48" BOX N.T.S.



I SHRUB SLOPE PLANTING N.T.S.



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 163 Nob Hill Lane, Ventura, California 93003
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PLANTING DETAILS

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ARKLEY RESIDENCE
 616 SEA RANCH DRIVE
 SANTA BARBARA, CA. 93109

REVISIONS

ISSUED FOR:
 CITY OF SANTA BARBARA
 DATE:
 JULY 19, 2024
 DESIGNED/DRAWN BY:
 SAF / KLD
 SCALE:
 N.T.S.
 PROJECT NO.:
 22-310
 DRAWING NO.:
 SAF-02128
 SHEET

L-29



LIGHTING LEGEND

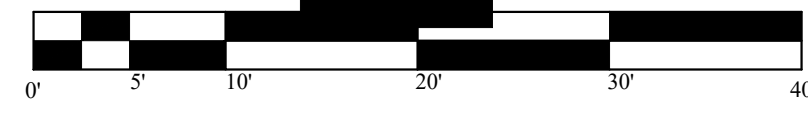
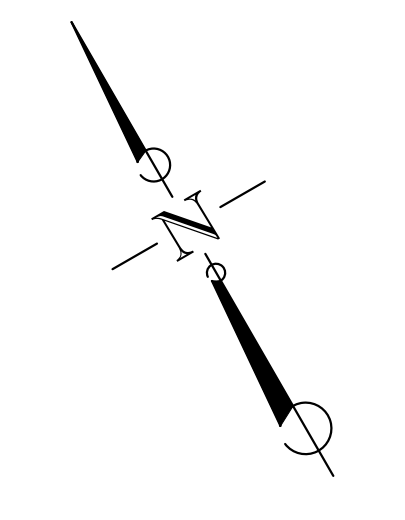
SYMBOL	FIXTURE (NAME OR STOCK NO.)	NUMBER OF FIXTURES	BULB WATTAGE & TYPE	TYPE OF MOUNT	NOTES
T1 T2	FX LUMINAIRE STAINLESS STEEL TRANSFORMER MODEL #LUX-300-SS - CONTRACTOR TO VERIFY WATTAGE REQUIREMENTS - SEE MANUF.'S SPECS. FOR INSTALLATION. INSTALL WITH COMPATIBLE PHOTO CELL & ASTRONOMICAL TIMER	3	300 WATT OR AS NEEDED ELEC. CONNECTION REQUIRED	WALL OR POST MOUNT	FINAL LOCATION TO BE APPROVED BY LANDSCAPE ARCH.
G1 G2	NEW GFI ELECTRICAL OUTLETS IN LANDSCAPE	10	120 VOLT	WALL OR POST MOUNT	CHECK WITH LANDSCAPE ARCHITECT FOR FIELD LAYOUT INSTALL BY ELECTRICIAN
⊙	UNDERWATER LIGHT - FX #L-ZD-3LED-BS (30' CORD) Brass Underwater Adjustable Light	2	4.2 WATT LED EQ. TO 20 WATT HALOGEN EQ. 227 lm	MOUNTED IN WATER FEATURE	UNDERWATER SPOT LIGHT
⊙	DOWNLIGHT - FX #DE-ZD-3LED-BZ + VB-050-BZ (VERSA BOX)	6	4.0 WATT LED MEDIUM FLOOD EQ. TO 20 WATT HALOGEN EQ. 290 lm	TREE MOUNT TO TRUNK OR BRANCH	TREE MOUNTED DIRECTIONAL DOWN LIGHT WITH TREE STRAP
120V	120 VOLT- UTILITY LIGHT - DESIGNER'S FOUNTAIN #PH218S-87-DISTRESSED BRONZE - INCLUDES MOTION SENSOR	3	120 VOLT UTILITY LIGHT 100 WATT EQ. 1,600 lm	MOUNTED ON STRUCTURE	BY ELECTRICIAN
⊙	CHEEKWALL LIGHT - FX #PO-ZD-1LED-RD-AT	13	2.0 WATT LED EQ. TO 10 WATT HALOGEN EQ. 133 lm	MOUNTED AT STEP RISER	COORDINATE WITH MASONRY CONTRACTOR.
⊙	EXTERIOR ARCHITECTURAL WALL SCENCE ON BUILDING	X	UNKNOWN WATTAGE	EX. EXTERIOR SCENCE MOUNTED ON STRUCTURE	SEE ARCHITECTURE PLANS
⊙	NEW PATH LIGHT - FX #M-PL-ZD-1LED-BZ	63	1 LED / 2.0 WATT EQ. TO 10 WATT HALOGEN EQ. 73 lm	GROUND STAKE MOUNT	EXACT PLACEMENT TO BE REVIEWED BY OWNER
⊙	NEW FEATURE SPOT LIGHT - FX #CC-ZD-3LED-LS-AT INCLUDES STAKE	2	1 LED / 2.0 WATT EQ. TO 10 WATT HALOGEN EQ. 59 lm	GROUND STAKE MOUNT	EXACT PLACEMENT TO BE REVIEWED BY OWNER
⊙	WALL LIGHT AT DRIVEWAY-LUCIFER #ISL2-SS - 80L-04B-2700K	9	3.0 WATT LED EQ. TO 15 WATT HALOGEN	RECESSED WALL MOUNT	FIELD LAYOUT REQUIRED
⊙	STEP LIGHT - SPJ-MSL2-12-PVD SATIN-6W LED-12V-2700K	11	8W LED	RECESSED STEP MOUNT	COORDINATE WITH MASONRY CONTRACTOR-FIELD LAYOUT REQUIRED
⊙	HANGING DOWN LIGHT-#VE-ZD-3LED-AT	5	1 LED / 2.0 WATT EQ. TO 10 WATT HALOGEN EQ. 57 lm	HANGING FROM TREE BRANCH	EXACT PLACEMENT TO BE REVIEWED BY OWNER

NOTE: ALL FIXTURES DARK SKY COMPLIANT. ALL FIXTURES TO HAVE SHROUDS OR HOODS WHERE POSSIBLE.



Know what's below.
Call 811 before you dig.
DIG ALERT

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SCALE: 1" = 10'-0"



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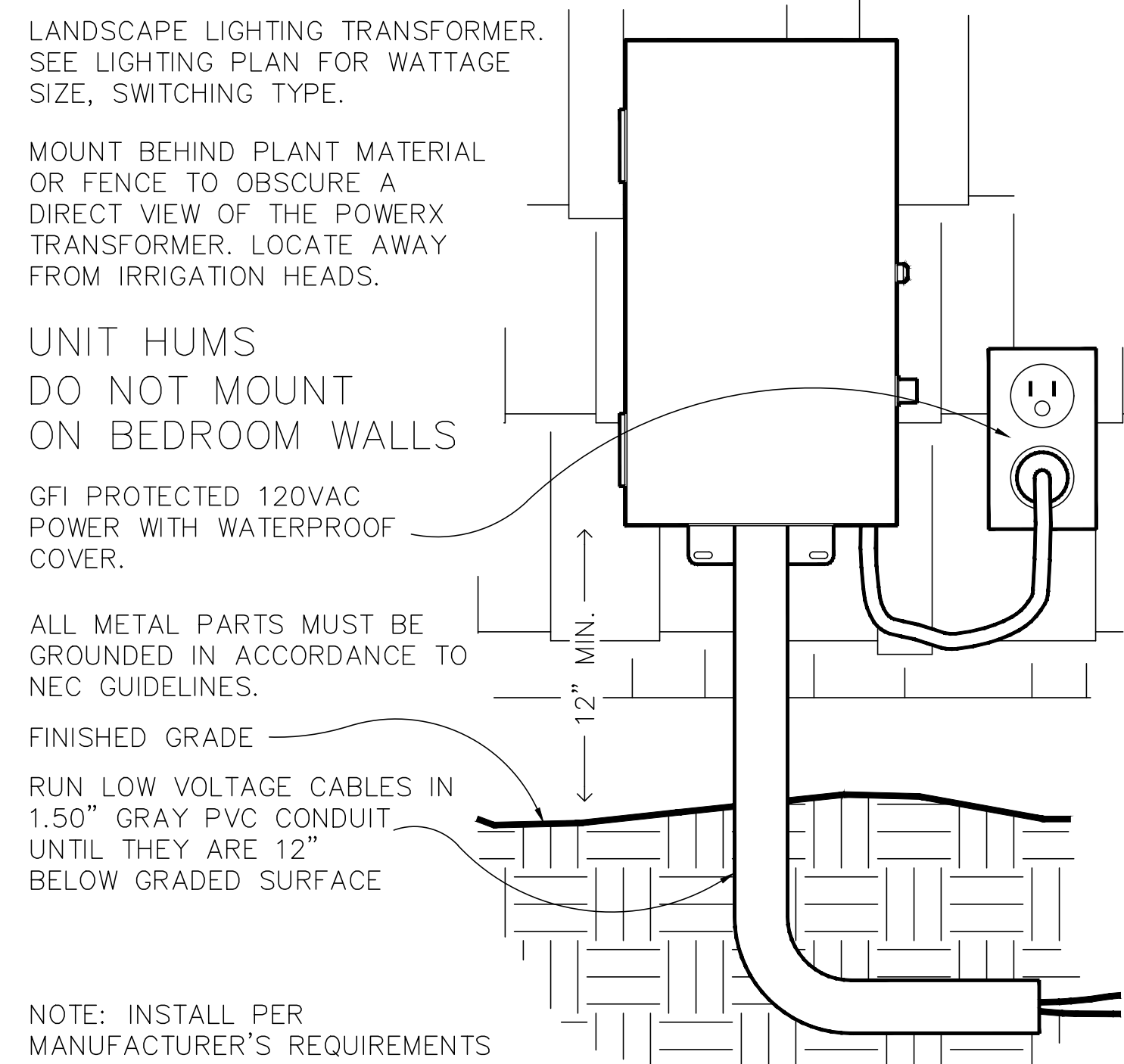
LIGHTING PLAN

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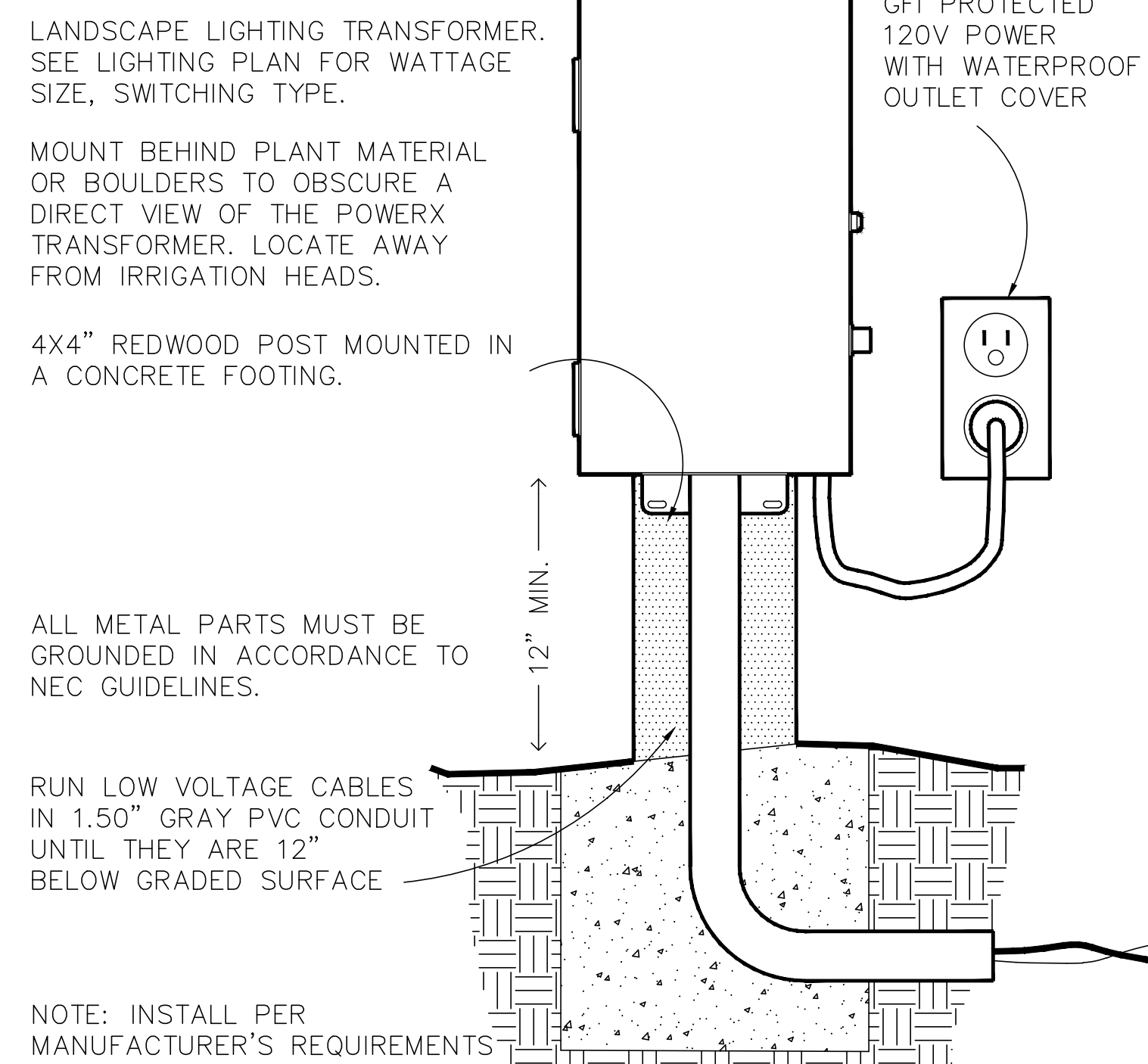
ARKLEY RESIDENCE
616 SEA RANCH DRIVE
SANTA BARBARA, CA. 93109

REVISIONS

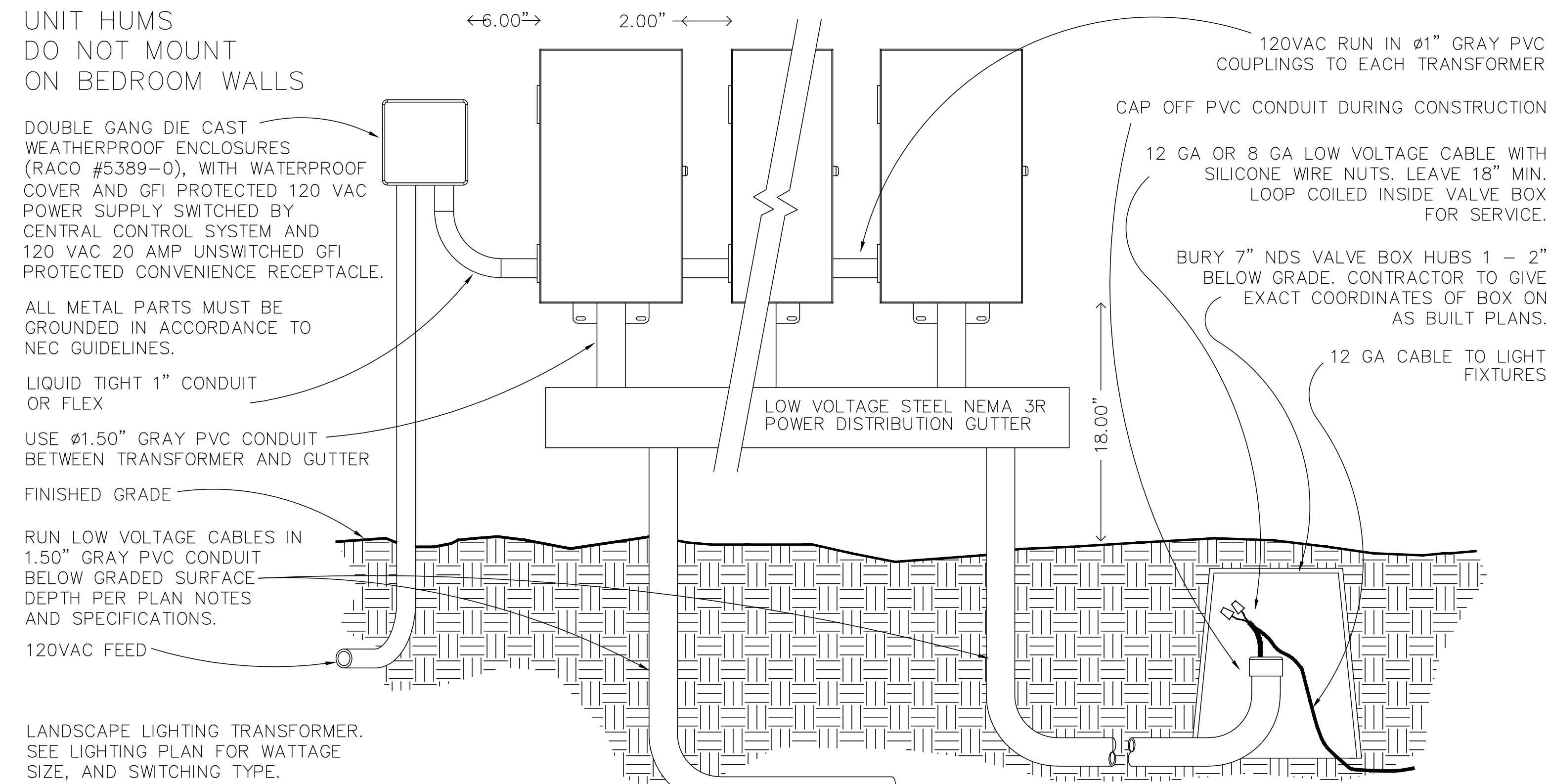
ISSUED FOR: CITY OF SANTA BARBARA
DATE JULY 19, 2024
DESIGNED BY/DRAWN BY SAF / KLD
SCALE 1" = 10' - 0"
PROJECT NO. 22-310
DRAWING NO. SAF-02088
SHEET L-30



WALL MOUNT SECTION/ELEVATION



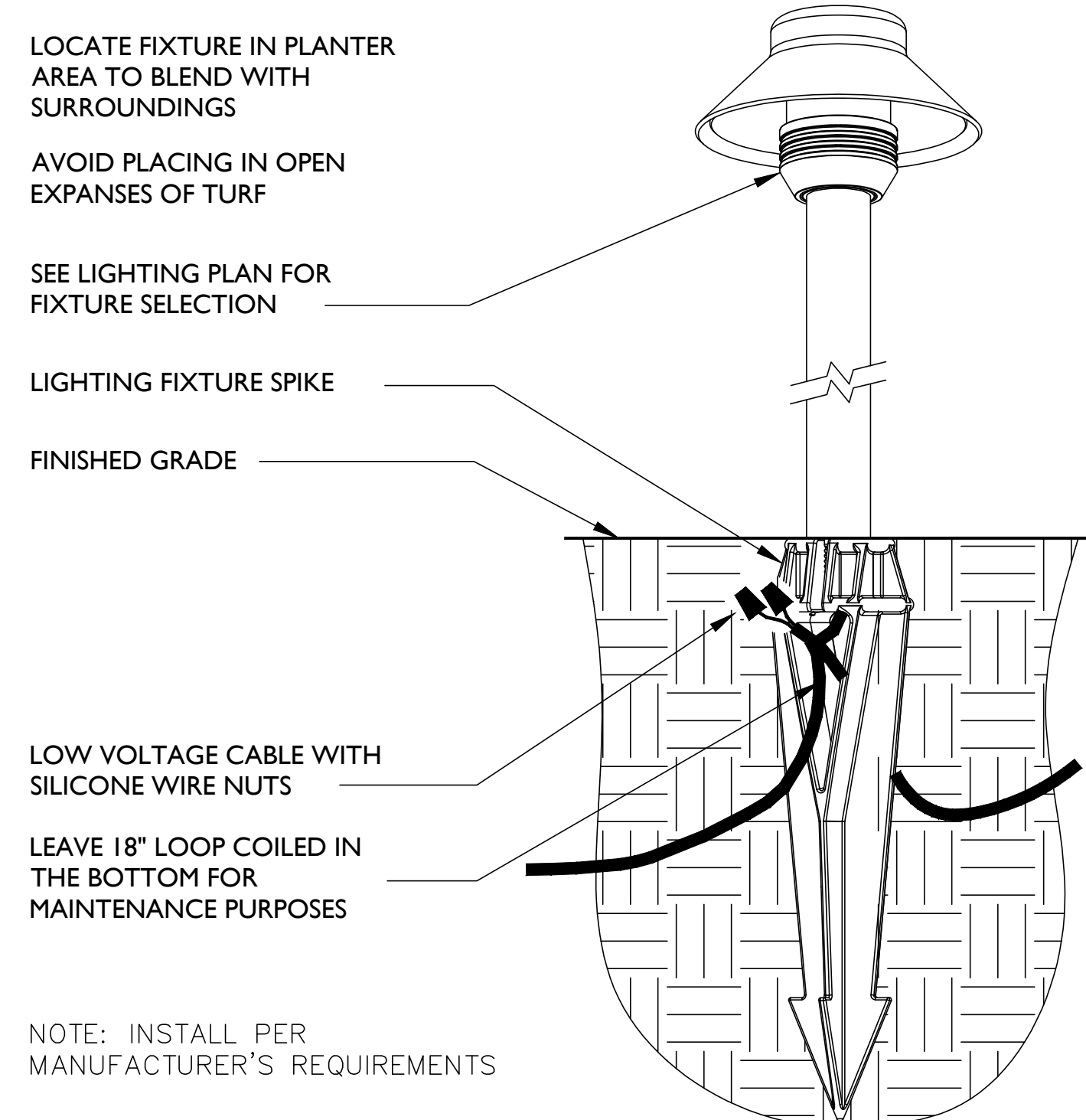
POST MOUNT SECTION/ELEVATION



TRANSFORMER HUB - SECTION/ELEVATION

A LANDSCAPE LIGHTING TRANSFORMER

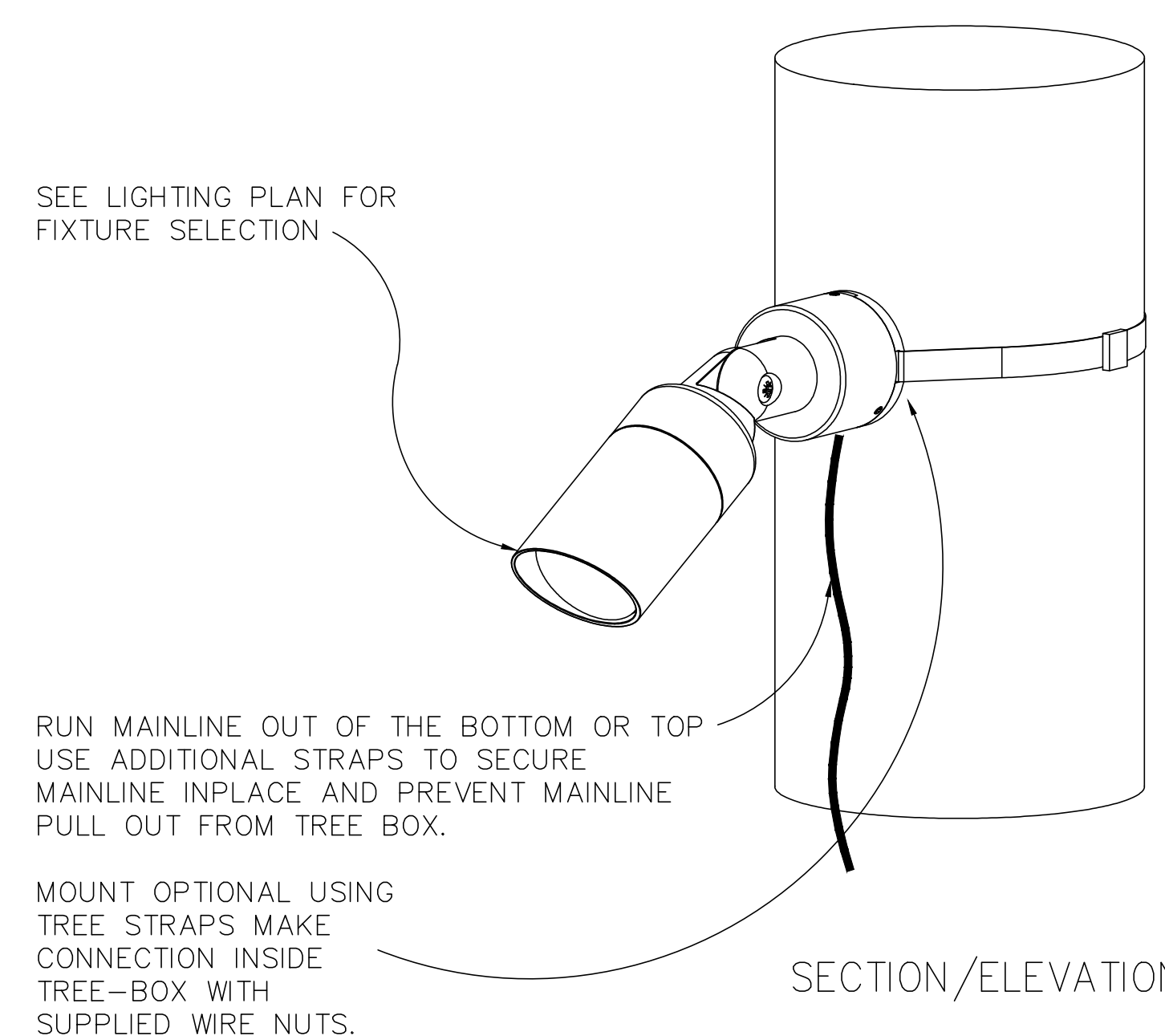
N.T.S.



SECTION/ELEVATION

B STAKE MOUNT

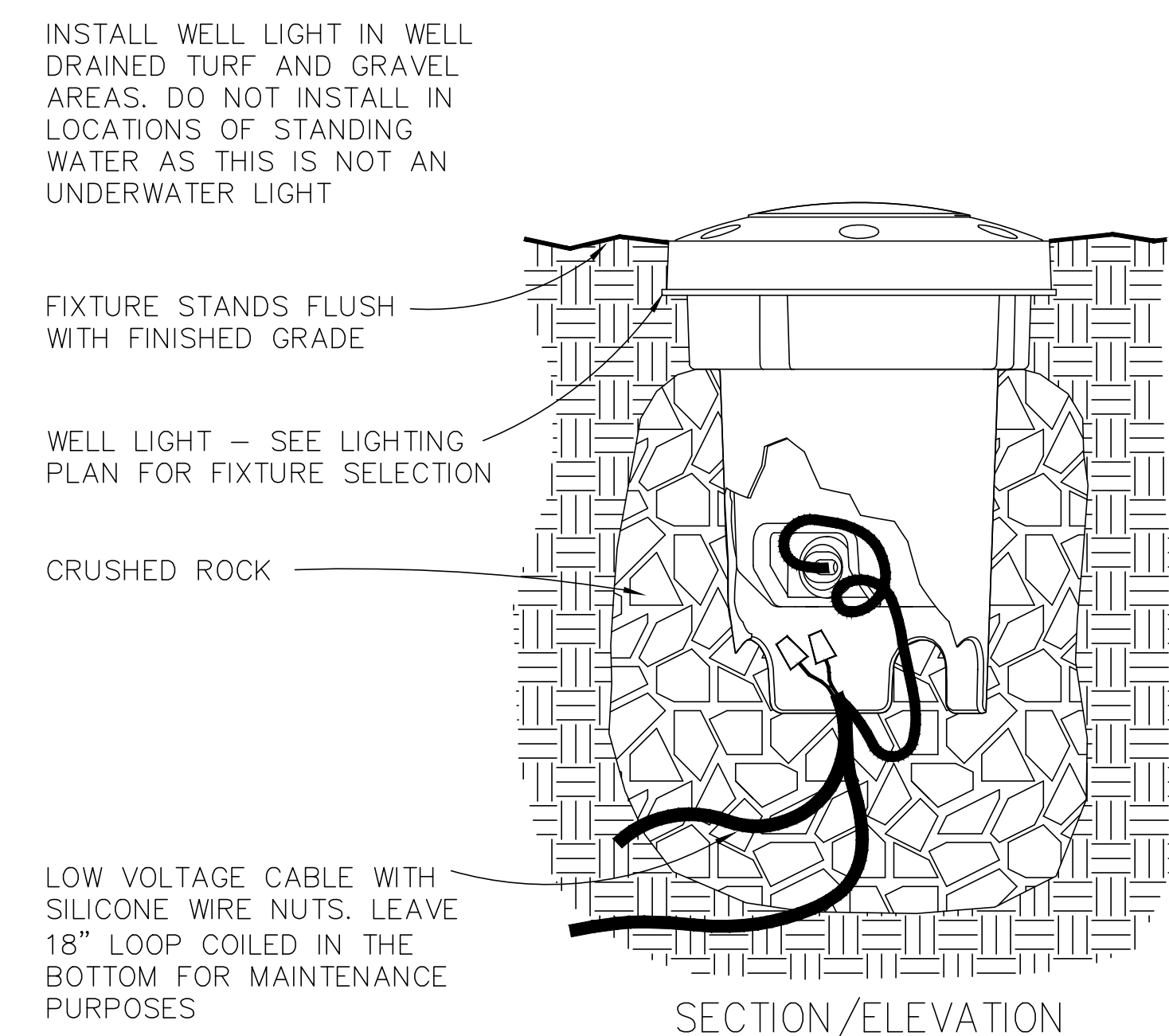
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SECTION/ELEVATION

C TREE MOUNT

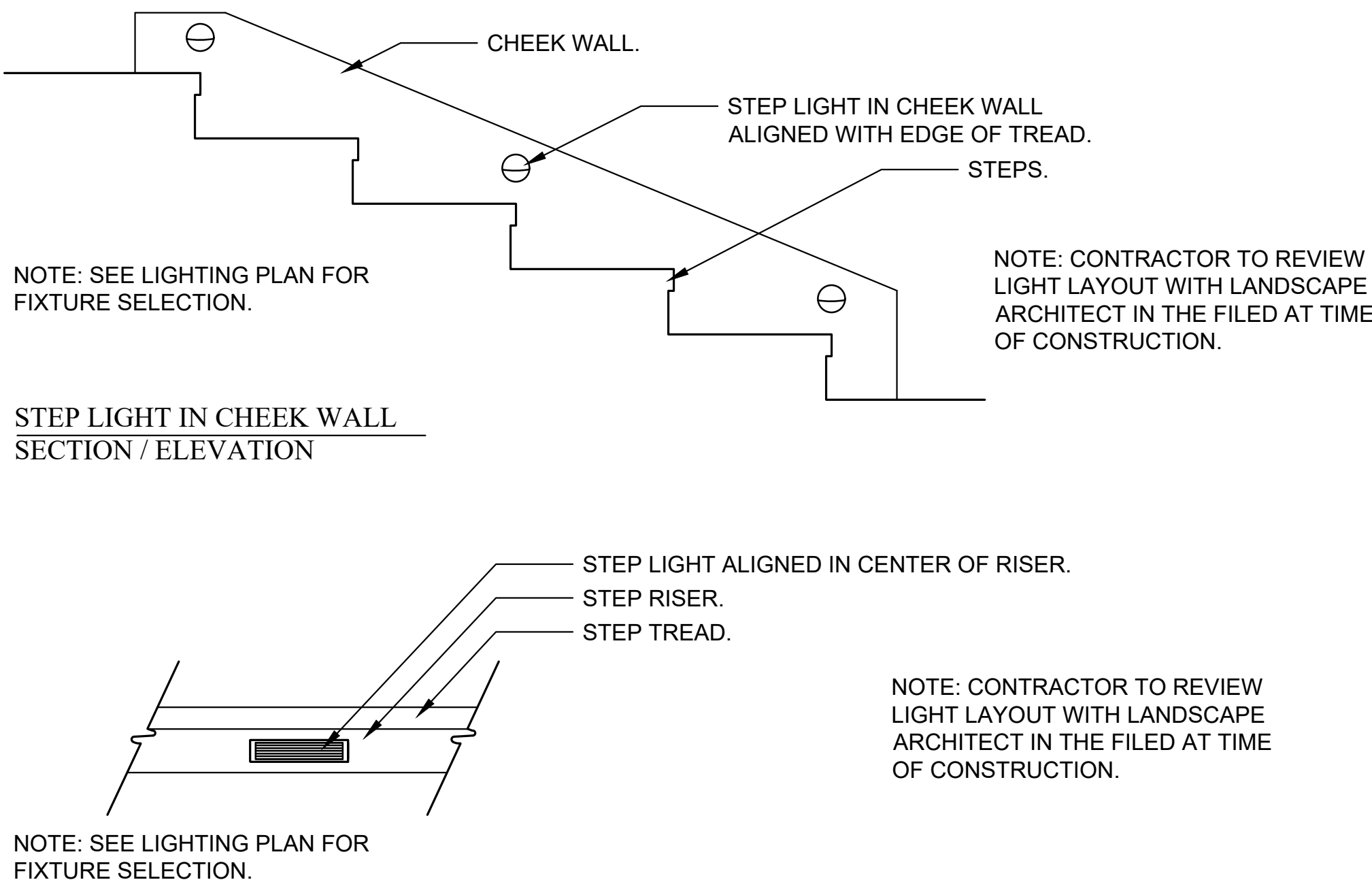
N.T.S.



SECTION/ELEVATION

D WELL LIGHT

N.T.S.



E STEP LIGHTS - LAYOUT CHEEK WALL AND RISER MOUNT

N.T.S.

LUXOR Controller SPECIFICATIONS

Output	250 W	300 W (250 W max)	300 W
Input Frequency	220-240 V 50/60 Hz	220-240 V 50/60 Hz	120 V AC/50 Hz
Input Average Primary	16 A	16 A	248 A
Output Voltage Secondary	30 VAC	30 VAC	30 VAC
Maximum Output Watts	30 WAC	30 WAC	30 WAC
Class	UL950	UL950	2
IP Rating	IP65	IP64	IP65

F LANDSCAPE LIGHTING TRANSFORMER FX LUMINAIRE

LL Specialty Light PHOTOMETRICS

LL 30 FT Illuminance at a Distance				LL 30 FT Illuminance at a Distance			
Feet (Meters)	Center Beam	Beam Width	Beam Width	Feet (Meters)	Center Beam	Beam Width	Beam Width
4 (1.2)	100 (1000)	10.0 (3.0)	10.0 (3.0)	4 (1.2)	300 (3000)	10.0 (3.0)	10.0 (3.0)
8 (2.4)	25 (250)	2.0 (0.6)	2.0 (0.6)	8 (2.4)	75 (750)	2.0 (0.6)	2.0 (0.6)
12 (3.6)	17 (170)	1.3 (0.4)	1.3 (0.4)	12 (3.6)	50 (500)	1.3 (0.4)	1.3 (0.4)
16 (4.8)	13 (130)	1.0 (0.3)	1.0 (0.3)	16 (4.8)	38 (380)	1.0 (0.3)	1.0 (0.3)
20 (6.0)	10 (100)	0.8 (0.2)	0.8 (0.2)	20 (6.0)	30 (300)	0.8 (0.2)	0.8 (0.2)
24 (7.2)	8 (80)	0.7 (0.2)	0.7 (0.2)	24 (7.2)	25 (250)	0.7 (0.2)	0.7 (0.2)
28 (8.4)	7 (70)	0.6 (0.2)	0.6 (0.2)	28 (8.4)	22 (220)	0.6 (0.2)	0.6 (0.2)
32 (9.6)	6 (60)	0.6 (0.2)	0.6 (0.2)	32 (9.6)	20 (200)	0.6 (0.2)	0.6 (0.2)

G UNDERWATER LIGHT FX LUMINAIRE

N.T.S.

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SAF LANDSCAPE ARCHITECT

ARKLEY RESIDENCE
 616 SEA RANCH DRIVE
 SANTA BARBARA, CA. 93109

ISSUED FOR:
 CITY OF SANTA BARBARA

DATE:
 JULY 19, 2024

DESIGNED BY/DRAWN BY:
 SAF/KLD

SCALE:
 1" = 10' - 0"

PROJECT NO.:
 23-310

DRAWING NO.:
 SAF-02088

SHEET:
L-31

LOCATION OF SEWAGE DISPOSAL FIELD 2022 CALIFORNIA PLUMBING CODE, APPENDIX H (TABLE H 101.8) & CA OWTS POLICY 7.5 AND 7.6				
MINIMUM HORIZONTAL DISTANCE	BUILDING SEWER	SEPTIC TANK	DISPOSAL FIELD	SEEPAGE PIT (DRYWELL)
BUILDING OR STRUCTURES ¹	2 FEET	5 FEET	8 FEET	8 FEET
PROPERTY LINE ADJOINING PRIVATE PROPERTY	CLEAR ²	5 FEET	5 FEET	8 FEET
PRIVATE WATER SUPPLY WELLS	50 FEET ³	100 FEET	100 FEET	150 FEET
PUBLIC WATER SUPPLY WELLS	50 FEET ³	100 FEET	150 FEET	SEE CA OWTS 9.4.10
STREAMS & OTHER BODIES OF WATER	-	100 FEET ⁷	100 FEET ⁷	150 FEET ⁷
UPSTREAM OF SURFACE WATER INTAKE	-	SEE CA OWTS POLICY SECTIONS WITHIN 1,200 FEET - 7.5.7, 7.6 WITHIN 2,500 FEET 7.5.8		
TREES ⁹	-	10 FEET	-	10 FEET
SEEPAGE PITS ⁸	-	5 FEET	5 FEET	12 FEET
DISPOSAL FIELD ⁸	-	5 FEET	4 FEET ⁴	5 FEET
ON-SITE DOMESTIC WATER SERVICE LINE	1 FOOT ⁵	5 FEET	5 FEET	5 FEET
DISTRIBUTION BOX	-	-	5 FEET	5 FEET
PRESSURE PUBLIC WATER MAIN ⁶	10 FEET ⁶ HORIZ. & 1 FOOT VERT.	10 FEET	10 FEET	10 FEET

NOTES:

- INCLUDING PORCHES AND STEPS, WHETHER COVERED OR UNCOVERED, BREEZEWAYS, ROOFED PORTE COCHERES, ROOFED PATIOS, CARPORTS, COVERED WALKS, COVERED DRIVEWAYS, AND SIMILAR STRUCTURES OR APPURTENANCES.
- SEE SECTION 312.3.
- DRAINAGE PIPING SHALL CLEAR DOMESTIC WATER SUPPLY WELLS BY NOT LESS THAN 50 FEET. THIS DISTANCE SHALL BE PERMITTED TO BE REDUCED TO NOT LESS THAN 25 FEET WHERE THE DRAINAGE PIPING IS CONSTRUCTED OF MATERIALS APPROVED FOR USE WITHIN A BUILDING.
- PLUS 2 FEET FOR EACH ADDITIONAL 1 FOOT OF DEPTH IN EXCESS OF 1 FOOT BELOW THE BOTTOM OF THE DRAIN LINE. (SEE SECTION H 601.0)
- SEE SECTION 720.0.
- FOR PARALLEL CONSTRUCTION - FOR CROSSINGS, APPROVAL BY THE HEALTH DEPARTMENT SHALL BE REQUIRED. 22 CCR 64572(F)
- THESE MINIMUM CLEAR HORIZONTAL DISTANCES SHALL ALSO APPLY BETWEEN DISPOSAL FIELDS, SEEPAGE PITS, AND THE MEAN HIGH-TIDE LINE.
- WHERE DISPOSAL FIELDS, SEEPAGE PITS, OR BOTH ARE INSTALLED IN SLOPING GROUND, THE MINIMUM HORIZONTAL DISTANCE BETWEEN ANY PART OF THE LEACHING SYSTEM AND GROUND SURFACE SHALL BE 15 FEET.
- CONSULT ARTICLE IX OF CHAPTER 35 SANTA BARBARA COUNTY CODE, IF DECIDUOUS OAK TREES ARE PRESENT.

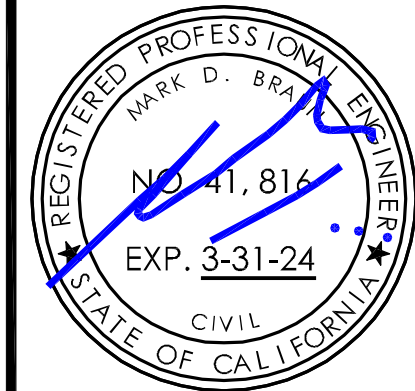

CA OWTS POLICY

- 7.5 MINIMUM HORIZONTAL SETBACKS FROM ANY OWTS TREATMENT COMPONENT AND DISPERSAL SYSTEMS SHALL BE AS FOLLOWS:
- 7.5.1 5 FEET FROM PARCEL PROPERTY LINES AND STRUCTURES;
- 7.5.2 100 FEET FROM WATER WELLS AND MONITORING WELLS, UNLESS REGULATORY OR LEGITIMATE DATA REQUIREMENTS NECESSITATE THAT MONITORING WELLS BE LOCATED CLOSER;
- 7.5.3 100 FEET FROM ANY UNSTABLE LAND MASS OR ANY AREAS SUBJECT TO EARTH SLIDES IDENTIFIED BY A REGISTERED ENGINEER OR REGISTERED GEOLOGIST; OTHER SETBACK DISTANCE ARE ALLOWED, IF RECOMMENDED BY A GEOTECHNICAL REPORT PREPARED BY A QUALIFIED PROFESSIONAL.
- 7.5.4 100 FEET FROM SPRINGS AND FLOWING SURFACE WATER BODIES WHERE THE EDGE OF THAT WATER BODY IS THE NATURAL OR LEVIED BANK FOR CREEKS AND RIVERS, OR MAY BE LESS WHERE SITE CONDITIONS PREVENT MIGRATION OF WASTEWATER TO THE WATER BODY;
- 7.5.5 200 FEET FROM VERNAL POOLS, WETLANDS, LAKES, PONDS, OR OTHER SURFACE WATER BODIES WHERE THE EDGE OF THAT WATER BODY IS THE HIGH WATER MARK FOR LAKES AND RESERVOIRS, AND THE MEAN HIGH TIDE LINE FOR TIDALLY INFLUENCED WATER BODIES;
- 7.5.6 150 FEET FROM A PUBLIC WATER WELL WHERE THE DEPTH OF THE EFFLUENT DISPERSAL SYSTEM DOES NOT EXCEED 10 FEET;
- 7.5.7 WHERE THE EFFLUENT DISPERSAL SYSTEM IS WITHIN 1,200 FEET FROM A PUBLIC WATER SYSTEMS' SURFACE WATER INTAKE POINT, WITHIN THE CATCHMENT OF THE DRAINAGE, AND LOCATED SUCH THAT IT MAY IMPACT WATER QUALITY AT THE INTAKE POINT SUCH AS UPSTREAM OF THE INTAKE POINT FOR FLOWING WATER BODIES, THE DISPERSAL SYSTEM SHALL BE NO LESS THAN 400 FEET FROM THE HIGH WATER MARK OF THE RESERVOIR, LAKE OR FLOWING WATER BODY.
- 7.5.8 WHERE THE EFFLUENT DISPERSAL SYSTEM IS LOCATED MORE THAN 1,200 FEET BUT LESS THAN 2,500 FEET FROM A PUBLIC WATER SYSTEMS' SURFACE WATER INTAKE POINT, WITHIN THE CATCHMENT OF THE DRAINAGE, AND LOCATED SUCH THAT IT MAY IMPACT WATER QUALITY AT THE INTAKE POINT SUCH AS UPSTREAM OF THE INTAKE POINT FOR FLOWING WATER BODIES, THE DISPERSAL SYSTEM SHALL BE NO LESS THAN 200 FEET FROM THE HIGH WATER MARK OF THE RESERVOIR, LAKE OR FLOWING WATER BODY.
- 7.6 PRIOR TO ISSUING A PERMIT TO INSTALL AN OWTS THE PERMITTING AGENCY SHALL DETERMINE IF THE OWTS IS WITHIN 1,200 FEET OF AN INTAKE POINT FOR A SURFACE WATER TREATMENT PLANT FOR DRINKING WATER, IS IN THE DRAINAGE CATCHMENT IN WHICH THE INTAKE POINT IS LOCATED, AND LOCATED SUCH THAT IT MAY IMPACT WATER QUALITY AT THE INTAKE POINT SUCH AS BEING UPSTREAM OF THE INTAKE POINT FOR A FLOWING WATER BODY. IF THE OWTS IS WITHIN 1,200 FEET OF AN INTAKE POINT FOR A SURFACE WATER TREATMENT PLANT FOR DRINKING WATER, IS IN THE DRAINAGE CATCHMENT IN WHICH THE INTAKE POINT IS LOCATED, AND IS LOCATED SUCH THAT IT MAY IMPACT WATER QUALITY AT THE INTAKE POINT:
- 7.6.1 THE PERMITTING AGENCY SHALL PROVIDE A COPY OF THE PERMIT APPLICATION TO THE OWNER OF THE WATER SYSTEM OF THEIR PROPOSAL TO INSTALL AN OWTS WITHIN 1,200 FEET OF AN INTAKE POINT FOR A SURFACE WATER TREATMENT, IF THE OWNER OF THE WATER SYSTEM CANNOT BE IDENTIFIED, THEN THE PERMITTING AGENCY WILL NOTIFY CALIFORNIA DEPARTMENT OF PUBLIC HEALTH DRINKING WATER PROGRAM.
- 7.6.2 THE PERMIT APPLICATION SHALL INCLUDE A TOPOGRAPHICAL PLOT PLAN FOR THE PARCEL SHOWING THE OWTS COMPONENTS, THE PROPERTY BOUNDARIES, PROPOSED STRUCTURES, PHYSICAL ADDRESS, AND NAME OF PROPERTY OWNER.
- 7.6.3 THE PERMIT APPLICATION SHALL PROVIDE THE ESTIMATED WASTEWATER FLOWS, INTENDED USE OF PROPOSED STRUCTURE GENERATING THE WASTEWATER, SOIL DATA, AND ESTIMATED DEPTH TO SEASONALLY SATURATED SOILS.
- 7.6.4 THE PUBLIC WATER SYSTEM OWNER SHALL HAVE 15 DAYS FROM RECEIPT OF THE PERMIT APPLICATION TO PROVIDE RECOMMENDATIONS AND COMMENTS TO THE PERMITTING AGENCY.
- 9.4 THE FOLLOWING ARE NOT ALLOWED TO BE AUTHORIZED IN A LOCAL AGENCY MANAGEMENT PROGRAM:
- 9.4.10 EXCEPT AS PROVIDED FOR IN SECTIONS 9.4.11 AND 9.4.12, NEW OR REPLACEMENT OWTS WITH MINIMUM HORIZONTAL SETBACKS LESS THAN ANY OF THE FOLLOWING:
- 9.4.10.1 150 FEET FROM A PUBLIC WATER WELL WHERE THE DEPTH OF THE EFFLUENT DISPERSAL SYSTEM DOES NOT EXCEED 10 FEET IN DEPTH.
- 9.4.10.2 200 FEET FROM A PUBLIC WATER WELL WHERE THE DEPTH OF THE EFFLUENT DISPERSAL SYSTEM EXCEEDS 10 FEET IN DEPTH.
- 9.4.10.3 WHERE THE EFFLUENT DISPERSAL SYSTEM IS WITHIN 600 FEET OF A PUBLIC WATER WELL AND EXCEEDS 20 FEET IN DEPTH THE HORIZONTAL SETBACK REQUIRED TO ACHIEVE A TWO-YEAR TRAVEL TIME FOR MICROBIOLOGICAL CONTAMINANTS SHALL BE EVALUATED. A QUALIFIED PROFESSIONAL SHALL CONDUCT THIS EVALUATION. HOWEVER IN NO CASE SHALL THE SETBACK BE LESS THAN 200 FEET.
- 9.4.10.4 WHERE THE EFFLUENT DISPERSAL SYSTEM IS WITHIN 1,200 FEET FROM A PUBLIC WATER SYSTEMS' SURFACE WATER INTAKE POINT, WITHIN THE CATCHMENT OF THE DRAINAGE, AND LOCATED SUCH THAT IT MAY IMPACT WATER QUALITY AT THE INTAKE POINT SUCH AS UPSTREAM OF THE INTAKE POINT FOR FLOWING WATER BODIES, THE DISPERSAL SYSTEM SHALL BE NO LESS THAN 400 FEET FROM THE HIGH WATER MARK OF THE RESERVOIR, LAKE OR FLOWING WATER BODY.
- 9.4.10.5 WHERE THE EFFLUENT DISPERSAL SYSTEM IS LOCATED MORE THAN 1,200 FEET BUT LESS THAN 2,500 FEET FROM A PUBLIC WATER SYSTEMS' SURFACE WATER INTAKE POINT, WITHIN THE CATCHMENT AREA OF THE DRAINAGE, AND LOCATED SUCH THAT IT MAY IMPACT WATER QUALITY AT THE INTAKE POINT SUCH AS UPSTREAM OF THE INTAKE POINT FOR FLOWING WATER BODIES, THE DISPERSAL SYSTEM SHALL BE NO LESS THAN 200 FEET FROM THE HIGH WATER MARK OF THE RESERVOIR, LAKE OR FLOWING WATER BODY.
- 9.4.11 FOR REPLACEMENT OWTS THAT DO NOT MEET THE ABOVE HORIZONTAL SEPARATION REQUIREMENTS, THE REPLACEMENT OWTS SHALL MEET THE HORIZONTAL SEPARATION TO THE GREATEST EXTENT PRACTICABLE. IN SUCH CASE, THE REPLACEMENT OWTS SHALL UTILIZE SUPPLEMENTAL TREATMENT AND OTHER MITIGATION MEASURES, UNLESS THE PERMITTING AUTHORITY FINDS THAT THERE IS NO INDICATION THAT THE PREVIOUS SYSTEM IS ADVERSELY AFFECTING THE PUBLIC WATER SOURCE, AND THERE IS LIMITED POTENTIAL THAT THE REPLACEMENT SYSTEM COULD IMPACT THE WATER SOURCE BASED ON TOPOGRAPHY, SOIL DEPTH, SOIL TEXTURE, AND GROUNDWATER SEPARATION.
- 9.4.12 FOR NEW OWTS, INSTALLED ON PARCELS OF RECORD EXISTING AT THE TIME OF THE EFFECTIVE DATE OF THIS POLICY, THAT CANNOT MEET THE ABOVE HORIZONTAL SEPARATION REQUIREMENTS, THE OWTS SHALL MEET THE HORIZONTAL SEPARATION TO THE GREATEST EXTENT PRACTICABLE AND SHALL UTILIZE SUPPLEMENTAL TREATMENT FOR PATHOGENS AS SPECIFIED IN SECTION 10.8 AND ANY OTHER MITIGATION MEASURES PRESCRIBED BY THE PERMITTING AUTHORITY.



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DATE: 2-18-24	WO #: 3380	DRAWN BY: BCG
REVISIONS		
DATE:	DESCRIPTION:	

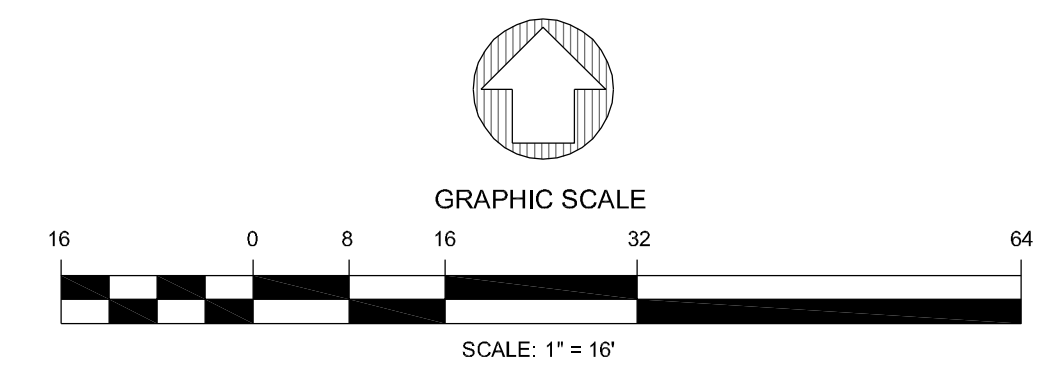
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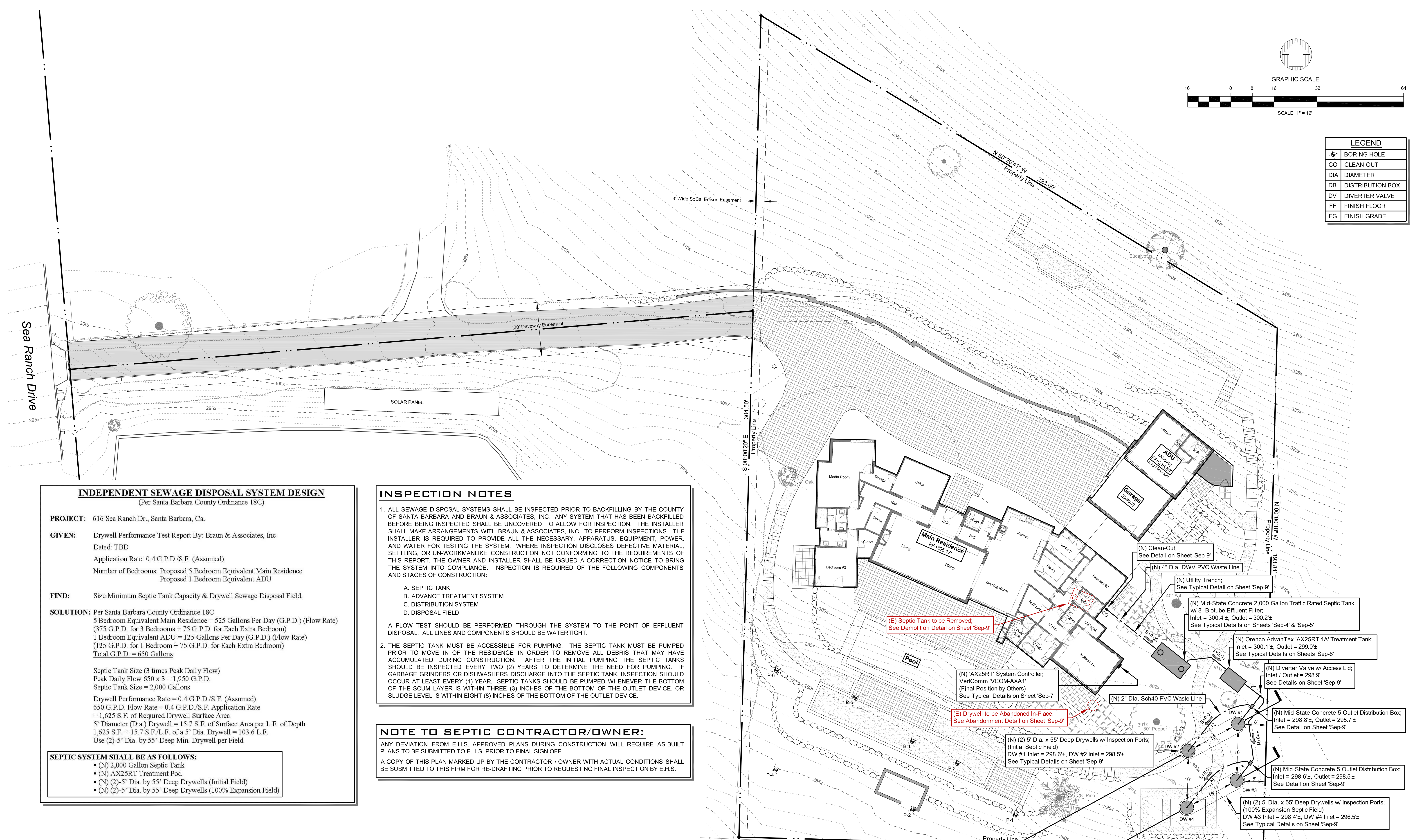


Onsite Wastewater Treatment System
616 Sea Ranch Dr.
Santa Barbara, Ca.
General Notes

CIVIL DESIGN
SHEET #
Sep-2



LEGEND	
	BORING HOLE
	CLEAN-OUT
	DIAMETER
	DISTRIBUTION BOX
	DIVERTER VALVE
	FINISH FLOOR
	FINISH GRADE



INDEPENDENT SEWAGE DISPOSAL SYSTEM DESIGN
(Per Santa Barbara County Ordinance 18C)

PROJECT: 616 Sea Ranch Dr., Santa Barbara, Ca.

GIVEN: Drywell Performance Test Report By: Braun & Associates, Inc
Dated: TBD
Application Rate: 0.4 G.P.D./S.F. (Assumed)
Number of Bedrooms: Proposed 5 Bedroom Equivalent Main Residence
Proposed 1 Bedroom Equivalent ADU

FIND: Size Minimum Septic Tank Capacity & Drywell Sewage Disposal Field.

SOLUTION: Per Santa Barbara County Ordinance 18C
5 Bedroom Equivalent Main Residence = 525 Gallons Per Day (G.P.D.) (Flow Rate)
(375 G.P.D. for 3 Bedrooms + 75 G.P.D. for Each Extra Bedroom)
1 Bedroom Equivalent ADU = 125 Gallons Per Day (G.P.D.) (Flow Rate)
(125 G.P.D. for 1 Bedroom + 75 G.P.D. for Each Extra Bedroom)
Total G.P.D. = 650 Gallons

Septic Tank Size (3 times Peak Daily Flow)
Peak Daily Flow 650 x 3 = 1,950 G.P.D.
Septic Tank Size = 2,000 Gallons

Drywell Performance Rate = 0.4 G.P.D./S.F. (Assumed)
650 G.P.D. Flow Rate ÷ 0.4 G.P.D./S.F. Application Rate
= 1,625 S.F. of Required Drywell Surface Area
5' Diameter (Dia.) Drywell = 15.7 S.F. of Surface Area per L.F. of Depth
1,625 S.F. ÷ 15.7 S.F./L.F. of a 5' Dia. Drywell = 103.6 L.F.
Use (2)-5' Dia. by 55' Deep Min. Drywell per Field

SEPTIC SYSTEM SHALL BE AS FOLLOWS:

- (N) 2,000 Gallon Septic Tank
- (N) AX25RT Treatment Pod
- (N) (2)-5' Dia. by 55' Deep Drywells (Initial Field)
- (N) (2)-5' Dia. by 55' Deep Drywells (100% Expansion Field)

INSPECTION NOTES

1. ALL SEWAGE DISPOSAL SYSTEMS SHALL BE INSPECTED PRIOR TO BACKFILLING BY THE COUNTY OF SANTA BARBARA AND BRAUN & ASSOCIATES, INC. ANY SYSTEM THAT HAS BEEN BACKFILLED BEFORE BEING INSPECTED SHALL BE UNCOVERED TO ALLOW FOR INSPECTION. THE INSTALLER SHALL MAKE ARRANGEMENTS WITH BRAUN & ASSOCIATES, INC., TO PERFORM INSPECTIONS. THE INSTALLER IS REQUIRED TO PROVIDE ALL THE NECESSARY APPARATUS, EQUIPMENT, POWER, AND WATER FOR TESTING THE SYSTEM. WHERE INSPECTION DISCLOSES DEFECTIVE MATERIAL, SETTLING, OR UN-WORKMANLIKE CONSTRUCTION NOT CONFORMING TO THE REQUIREMENTS OF THIS REPORT, THE OWNER AND INSTALLER SHALL BE ISSUED A CORRECTION NOTICE TO BRING THE SYSTEM INTO COMPLIANCE. INSPECTION IS REQUIRED OF THE FOLLOWING COMPONENTS AND STAGES OF CONSTRUCTION:

A. SEPTIC TANK
B. ADVANCE TREATMENT SYSTEM
C. DISTRIBUTION SYSTEM
D. DISPOSAL FIELD

A FLOW TEST SHOULD BE PERFORMED THROUGH THE SYSTEM TO THE POINT OF EFFLUENT DISPOSAL. ALL LINES AND COMPONENTS SHOULD BE WATERTIGHT.

2. THE SEPTIC TANK MUST BE ACCESSIBLE FOR PUMPING. THE SEPTIC TANK MUST BE PUMPED PRIOR TO MOVE IN OF THE RESIDENCE IN ORDER TO REMOVE ALL DEBRIS THAT MAY HAVE ACCUMULATED DURING CONSTRUCTION. AFTER THE INITIAL PUMPING THE SEPTIC TANKS SHOULD BE INSPECTED EVERY TWO (2) YEARS TO DETERMINE THE NEED FOR PUMPING. IF GARBAGE GRINDERS OR DISHWASHERS DISCHARGE INTO THE SEPTIC TANK, INSPECTION SHOULD OCCUR AT LEAST EVERY (1) YEAR. SEPTIC TANKS SHOULD BE PUMPED WHENEVER THE BOTTOM OF THE SCUM LAYER IS WITHIN THREE (3) INCHES OF THE BOTTOM OF THE OUTLET DEVICE, OR SLUDGE LEVEL IS WITHIN EIGHT (8) INCHES OF THE BOTTOM OF THE OUTLET DEVICE.

NOTE TO SEPTIC CONTRACTOR/OWNER:

ANY DEVIATION FROM E.H.S. APPROVED PLANS DURING CONSTRUCTION WILL REQUIRE AS-BUILT PLANS TO BE SUBMITTED TO E.H.S. PRIOR TO FINAL SIGN OFF.

A COPY OF THIS PLAN MARKED UP BY THE CONTRACTOR / OWNER WITH ACTUAL CONDITIONS SHALL BE SUBMITTED TO THIS FIRM FOR RE-DRAFTING PRIOR TO REQUESTING FINAL INSPECTION BY E.H.S.

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Email: Brett@GauldDesigns.com

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CIVIL DESIGN

SHEET #

Sep-3

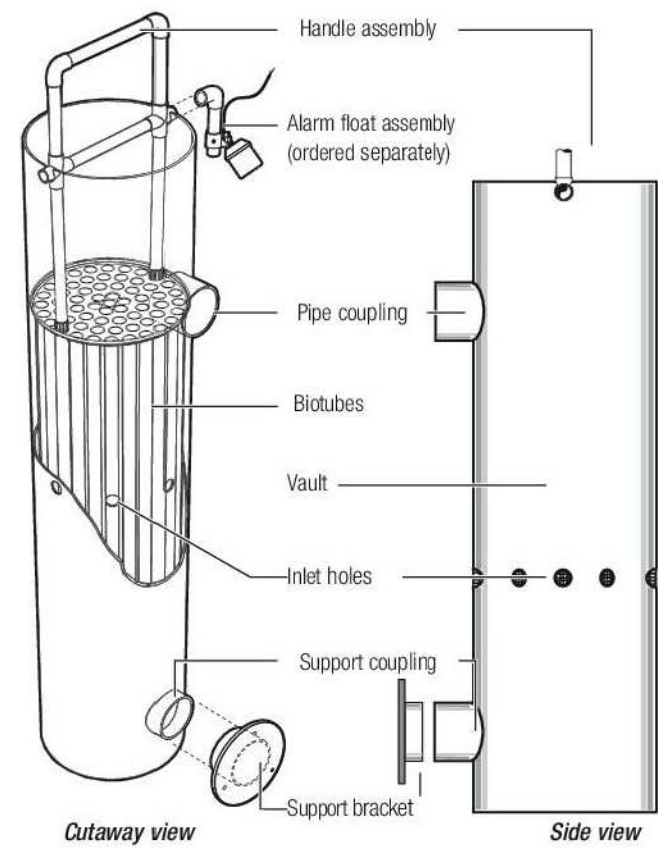
8-in. to 15-in. Dia. Biotube Effluent Filters

Applications

Orenco® 8-inch to 15-inch Biotube® Effluent Filters are designed to remove solids from effluent leaving commercial septic tanks. They can be used in new and existing tanks.

General

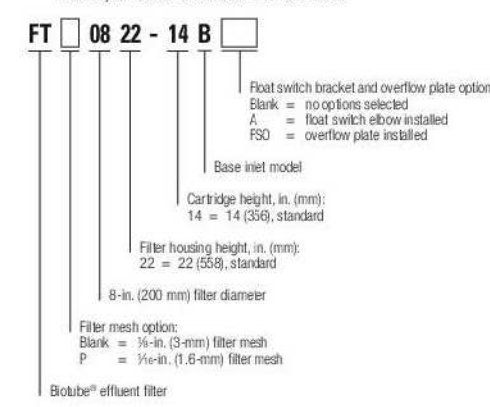
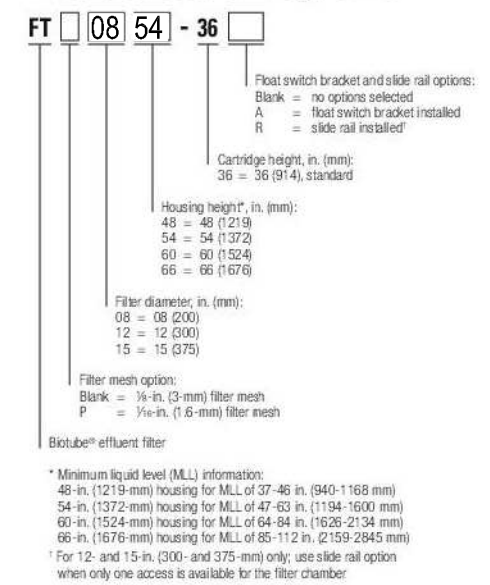
Orenco® 8-inch to 15-inch Biotube® Effluent Filters* are used to improve the quality of effluent exiting a commercial septic tank. The Biotube cartridge fits snugly in the vault and is removable for maintenance, the handle assembly snaps into the notches in the top of the vault, and the tee handle can be extended for easy removal of the cartridge. A "base inlet" model (see p. 2) is available for low-profile tanks. An optional slide rail system, available on larger models, simplifies installation and provides tank access for servicing.



Standard Models

FT0854-36, FT0822-14B, FT1254-36, FT1554-36AR

Product Code Diagrams



Materials of Construction

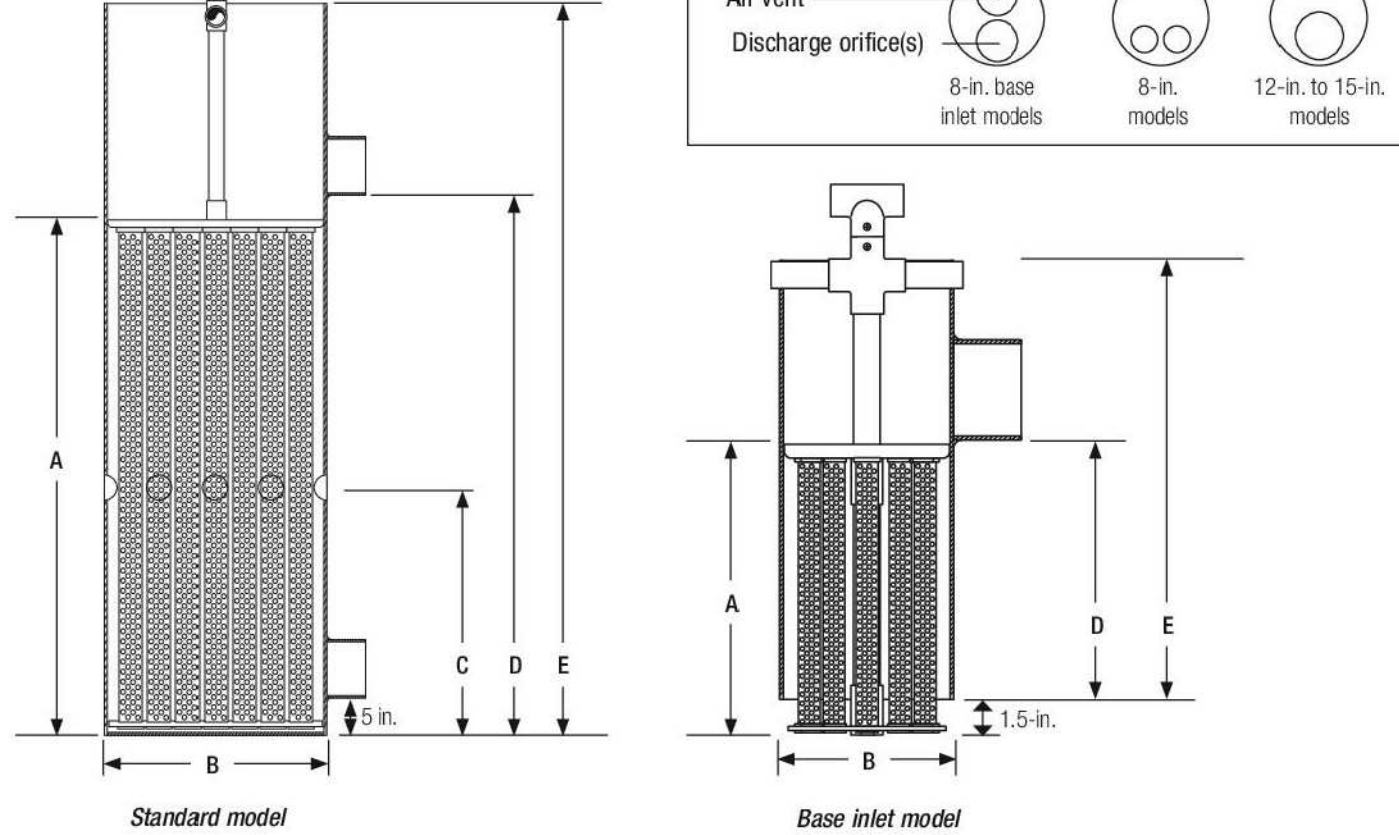
Vault	PVC
Pipe coupling	PVC
Handle components	PVC
Support coupling and bracket	PVC
Biotube® cartridge	Polypropylene and polyethylene

Note: Support coupling and support bracket are available on 12-inch and 15-inch filters only.

Orenco Systems® Inc., 814 Airway Ave., Sutherlin, OR 97478 USA • 800-348-9843 • 541-459-4449 • www.orenco.com

NTD-FI-FI-2
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Page 1 of 2

8-in. to 15-in. Dia. Biotube Effluent Filters



Specifications

Model	FT0854-36	FT0822-14B	FT1254-36	FT1254-36AR	FT1554-36
A - Cartridge height, in.	36	14	36	36	36
B - Nominal diameter, in.	8	8	12	12	15
C - Inlet hole height, in.	22	n/a [†]	22	22	22
D - Vault base to invert height, in.	38	13	38	38	38
E - Vault height	54	22	54	54	54
Number of inlet holes	8	n/a	8	8	8
Inlet hole diameter, in.	1.375	n/a	1.375	1.375	1.375
Number of discharge orifices	2	1	1	1	1
Discharge orifice diameter, in.	1.125	1.750	2	2	2
Pipe coupling diameter, in.	4	4	4	4	4
Number of air vents	1	1	1	1	1
Air vent diameter, in.	0.75	1.750	0.75	0.75	0.75
Filter surface area, ft ²	14.6	6.0	30.0	30.0	50.5
Flow area**, ft ²	4.4	1.8	9.0	9.0	15.2

* Inlet hole height can vary depending on the configuration of the work. Optimum inlet hole height is 65-75% of the minimum liquid level.

† No inlet holes required, because influent enters between the vault base and the bottom of the filter cartridge.

‡ Filter area is defined as the total surface area of all individual Biotube® within the filter cartridge.

** Flow area is defined as the total open area (area of the mesh openings) of all the individual Biotubes within the filter cartridge.

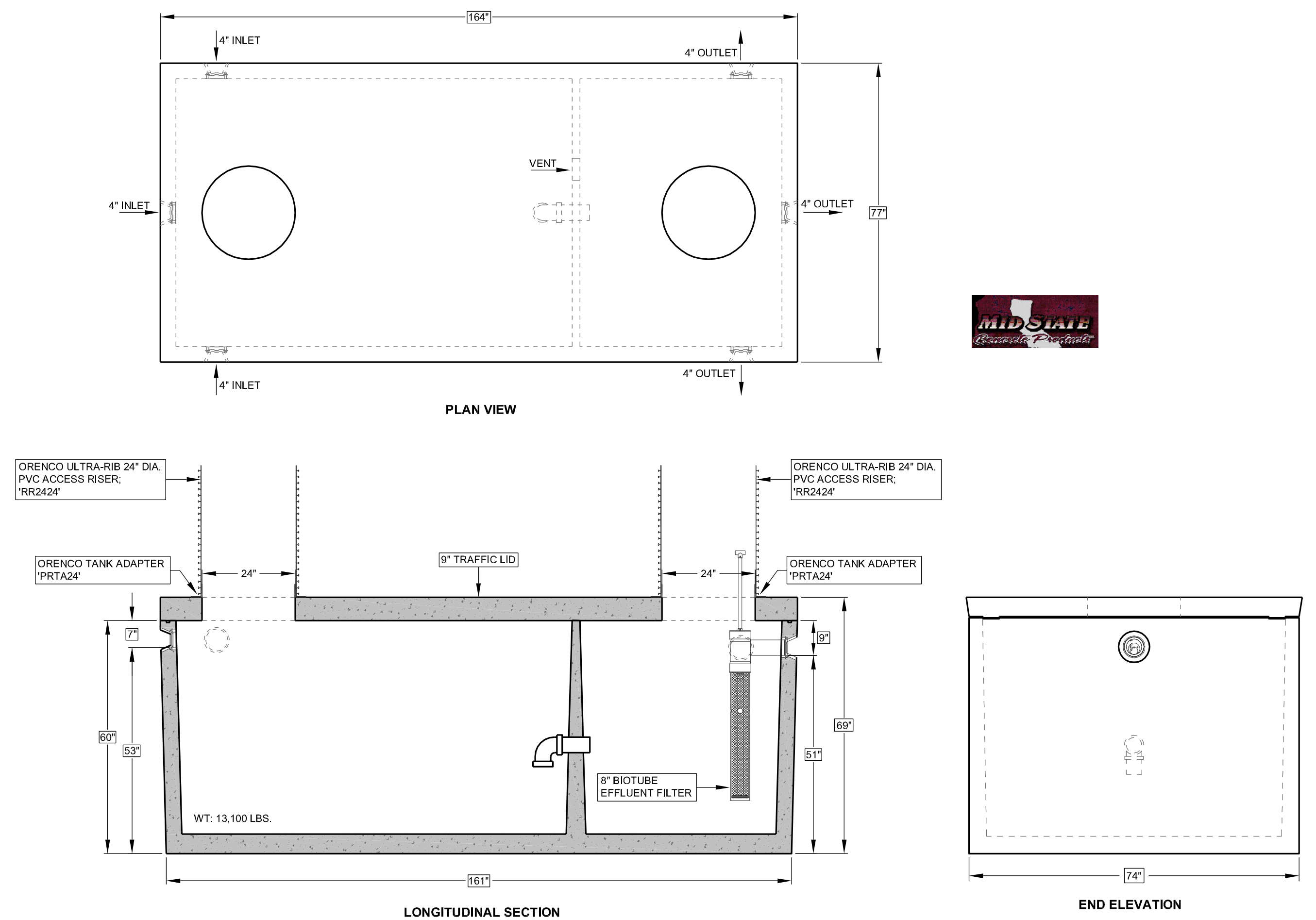
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ORENCO BIOTUBE FILTER DETAILS

NOT TO SCALE 1

TYPICAL MID-STATE CONCRETE 2,000 GALLON SEPTIC TANK



NOT TO SCALE 2

EXCAVATION:

- EXCAVATION SHALL BE PREPARED IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH SAFE CONSTRUCTION PRACTICES.

INSTALLATION RECOMMENDATIONS:

- PRIOR TO PLACING THE PRECAST CONCRETE STRUCTURE INTO THE EXCAVATION, THE CONTRACTOR SHALL PROVIDE A LEVELED HOLE. NATIVE SOIL IS OKAY.
- THE HOLE SHALL BE LEVELED AND COMPACTED.
- PLACE THE PRECAST CONCRETE STRUCTURE IN THE EXCAVATED HOLE AND CHECK THE ELEVATION AND LEVELNESS OF THE TANK AND ORIENTATION OF THE OUTLETS.
- THE EXCAVATED HOLE NEEDS TO BE 12" WIDER AND 12" LONGER THAN THE DIMENSIONS OF THE TANK TO ALLOW THE WORKERS ACCESS TO DISCONNECT THE TANK.

BACKFILLING:

- BACKFILL AS SOON AS PRACTICABLE AFTER STRUCTURE HAS BEEN PLACED.
- BACKFILL USING NATIVE SOIL FREE OF LARGE STONES, ROCKS, PAVEMENT, ETC. EXPANSIVE SOIL MATERIALS SHALL NOT BE USED AS BACKFILL AROUND THE STRUCTURE.
- WHEN A PRECAST CONCRETE STRUCTURE IS PLACED IN AN UNPAVED AREA, CHECK IF YOU NEED RISERS TO BRING THE TANK TO FINISH GRADE.
- BACKFILLING SHALL BE ACHIEVED BY USING LIFTS (LAYERS) OR FLOODING (JETTING) THE EXCAVATION TO THE REQUIRED COMPACTION.
- RESTORATION OF THE AREA WHERE THE PRECAST CONCRETE STRUCTURE WAS INSTALLED SHALL MEET THE REQUIREMENTS OF THE LOCAL GRANTING AUTHORITY.
- FOLLOW-UP INSPECTIONS FOR SETTLEMENT ARE REQUIRED. SHOULD SETTLEMENT OCCUR, THE CONTRACTOR SHOULD BE RESPONSIBLE FOR THE NECESSARY REPAIR TO RESTORE THE AREA TO ITS ORIGINAL CONDITION IN ACCORDANCE WITH THE TERMS OF THE AGREEMENT.

LOAD RATING:

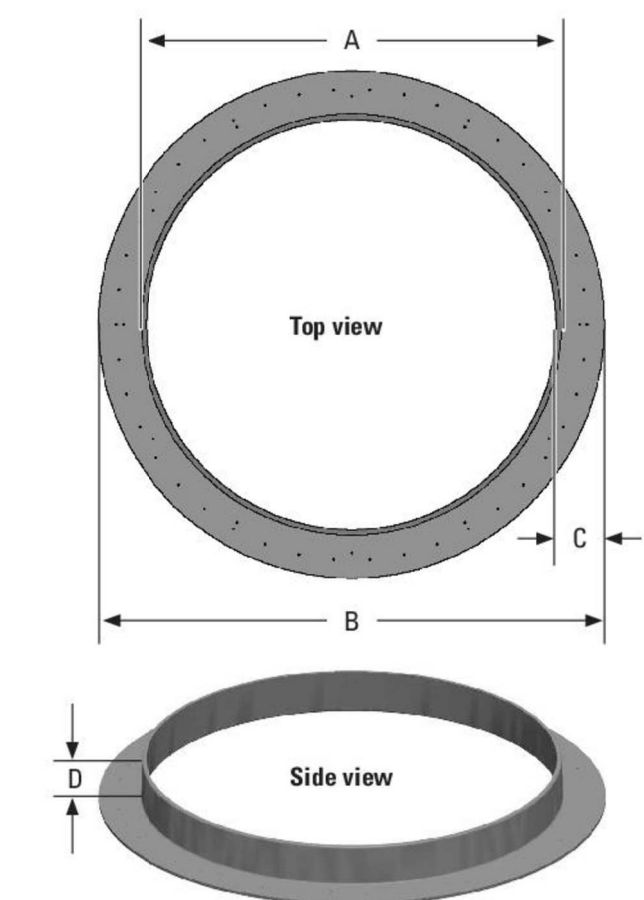
- RECOMMENDED COVER OVER THE TANK IS 18".
- COVER LESS THAN 12", USE TRAFFIC RATED TANK.
- COVER MORE THAN 12" BUT LESS THAN 36", USE STANDARD NON-TRAFFIC RATED TANK U.N.O.
- COVER MORE THAN 36", USE TRAFFIC RATED TANK.

Technical Data Sheet
PRTA ABS Tank Adapters



Applications

PRTA tank adapters are used to provide a structural, water-tight method of installing a 24-in. (610 mm) or a 30-in. (762 mm) access riser over a tank opening.



General

Orenco's PRTA tank adapters are molded plastic products and therefore have excellent part-quality and consistency. PRTA tank adapters can be cast into a tank or fastened to the top of the tank with a bolt-down kit. The bolt-down kit consists of either six or twelve (depending on model) stainless steel concrete anchors and a roll of butyl tape.

The O.D. of the vertical flange matches the I.D. of Orenco's ribbed risers, which provides a suitable joint to seal with MA320, ADH100, SS115, or SS140 adhesive.

Standard Models

- PRTA24
- PRTA30
- PRTA24BDKIT (6 anchors)
- PRTA30BDKIT (12 anchors)

Nomenclature

PRTA 24 INSTALL (2) PRTA TANK ADAPTERS
 Riser diameter
 24 = 24" riser Perma-Loc, Ultra-Rib, KOR/LO
 30 = 30" riser Perma-Loc, Ultra-Rib
 ABS riser tank adapter

Materials of Construction

Tank adapter	ABS
Concrete anchors	Stainless steel anchor bolts
Sealant	Butyl tape

Specifications

Dimension*	PRTA24	PRTA30
A - Outside diameter	23.38 in. (594 mm)	29.25 in. (743 mm)
B - Flange diameter	26.75 in. (679 mm)	34.25 in. (870 mm)
C - Horizontal flange width	2.00 in. (51 mm)	2.50 in. (64 mm)
D - Vertical flange height	3.50 in. (89 mm)	3.25 in. (83 mm)

*The tank adapter has a nominal 0.25 inch (6 mm) thickness.

Technical Data Sheet
Access Risers – Ultra-Rib™

Applications

Orenco's Access Risers provide access to septic tank openings and can be cast into the tops of concrete tanks, bonded in place, or bolted down using a riser tank adaptor. They can also be used as valve enclosures.



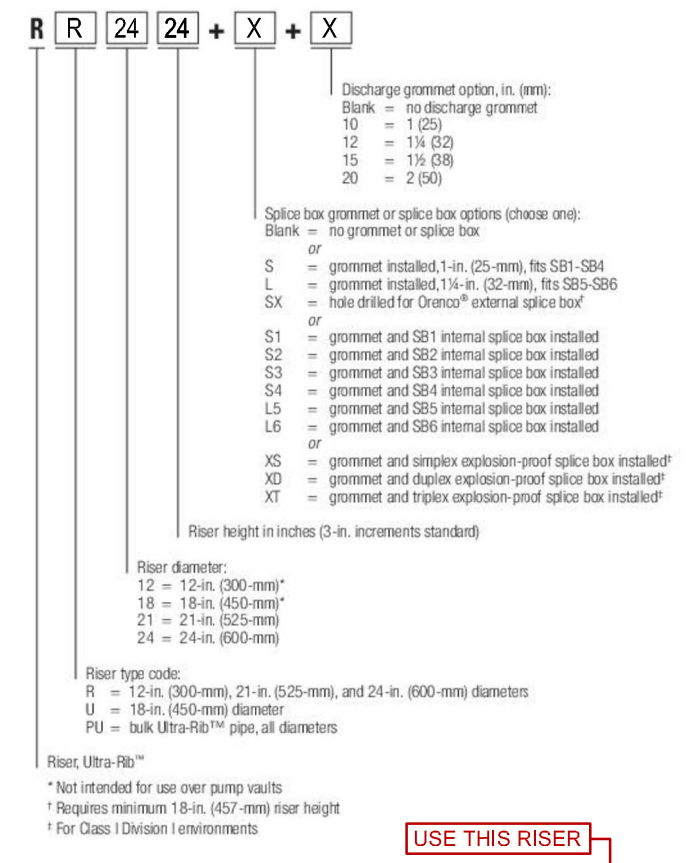
General

Orenco Ultra-Rib™ Access Risers are constructed of ribbed PVC pipe and are available in 12-, 18-, 21-, and 24-in. diameters. They can be ordered in 3-in. (76.2-mm) increments in lengths up to 13 ft (3.96 m) for 12- and 18-in. diameter risers, and up to 14 ft (4.27 m) for 21- and 24-in. diameter risers. Orenco Ultra-Rib riser pipe is also available in truckload quantities. A complete line of Orenco pipe-cutting tools makes it easy to fabricate risers in your shop or in the field.

Standard Models

- RR12XX, RU18XX, RR21XX, RR24XX

Product Code Diagram



Materials of Construction

Ultra-Rib™ PVC Pipe: PVC

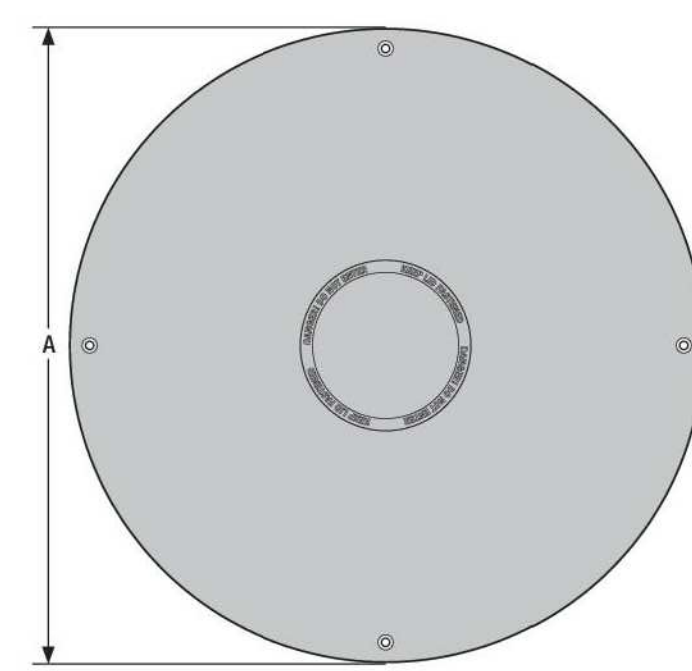
Specifications

Model	RR12XX	RU18XX	RR21XX	RR24XX
I.D., in. (mm)	11.74 (298)	17.65 (448)	20.50 (521)	23.50 (597)
Wall Thickness - excluding ribs, in. (mm)	0.10 (3)	0.19 (5)	0.25 (6)	0.25 (6)
O.D. - including ribs, in. (mm)	13.13 (334)	19.44 (494)	22.63 (575)	25.63 (651)
Weight, lbs per ft (kg per m)	5 (7.4)	11 (16.4)	15 (22.3)	19 (28.3)

Technical Data Sheet
DuraFiber™ Access Lids

Applications

Orenco® DuraFiber™ Access Lids provide a secure, damage-resistant covering for ribbed PVC and HDPE risers, pump basins, and access ports. They are not recommended for vehicular traffic.



General

DuraFiber Access Lids are constructed of resin-infused fiberglass fabrics for extreme durability and damage resistance, with breaking strengths in excess of 20,000 pounds (9,000 kg).

They feature flat-style flanges for easier access, allowing clean, flush-to-grade installations. They have cored centering rings for aligning lids with risers. And they also have urethane gaskets to help provide watertight seals.

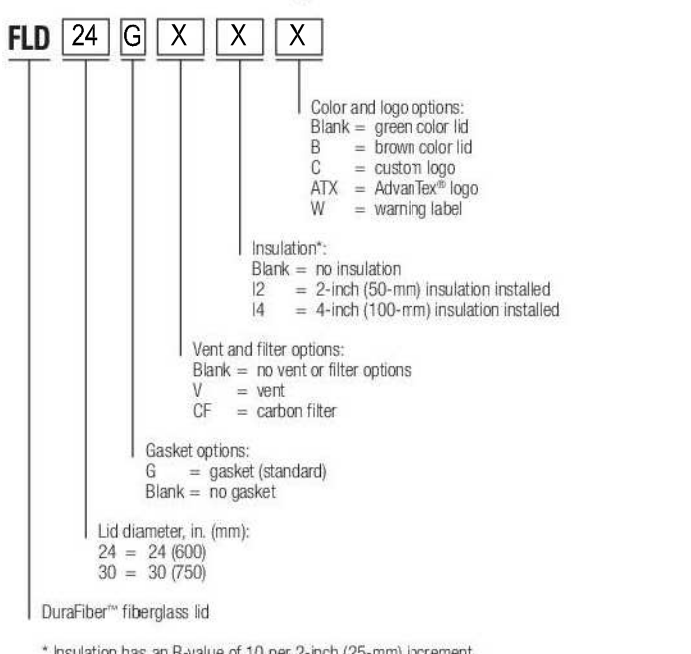
DuraFiber Lids feature a non-skid surface for better grip and aesthetics, a molded-in caution statement, and room for a customer logo. They come with four 5/16-inch stainless steel flathead socket cap screws and a hex key wrench.

DuraFiber Lids are available with optional insulation, installed at the factory or in kits that can be installed in the field.

Standard Models

- FLD24G, FLD24GATX, FLD24GW
- FLD30G, FLD30GATX, FLD30GW

Product Code Diagram



Materials of Construction:

Lid	Fiberglass reinforced polyester
Gasket	Urethane
Centering ring core	Structural foam
Mounting hardware	Stainless steel
Insulation (optional)	Closed-cell foam
Insulation mounting hardware	Stainless steel

Specifications

Model	FLD24XX	FLD30XX
A in. (mm)	26 (660)	33 (838)
B, in. (mm)	1½ (38)	1½ (38)
C, in. (mm)	23¼ (600)	29¼ (743)
Gasket width, in. (mm)	¾ (19)	¾ (19)
Bolt hole diameter, in. (mm)	¼ (6)	¼ (6)
Weight, lbs (kg)	11 (5)	20 (9)
Bolt holes, per lid	4	4

Drafting By:
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 Buellton, Ca. 93427
 Ph: 805-688-6059
 Email: Brett@GauldDesigns.com

DATE: 2-18-24	WO #: 3380	DRAWN BY: BCG
REVISIONS		
DATE:	DESCRIPTION:	

REGISTERED PROFESSIONAL ENGINEER
 MARK D. BRAUN
 No. 41,814
 EXP. 3-31-24
 CIVIL
 STATE OF CALIFORNIA

Braun & Associates, Inc.
 92 Second Street, Suite F
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Onsite Wastewater Treatment System
 616 Sea Ranch Dr.
 Santa Barbara, Ca.
Treatment System Septic Tank Details

CIVIL DESIGN
 SHEET #
Sep-5

Orengo® Technical Data Sheet
AdvanTex® AX-RT Treatment Systems

Applications

Orengo's AdvanTex® AX-RT Treatment System is a single, complete, self-contained module that treats septic effluent to better than secondary standards with nitrogen reduction before discharging it by means of pump or gravity. It is ideal for:

- Repairs and retrofits
- Small sites and poor soils
- Sites that require shallow bury



Product image is for illustrative purposes only.

General

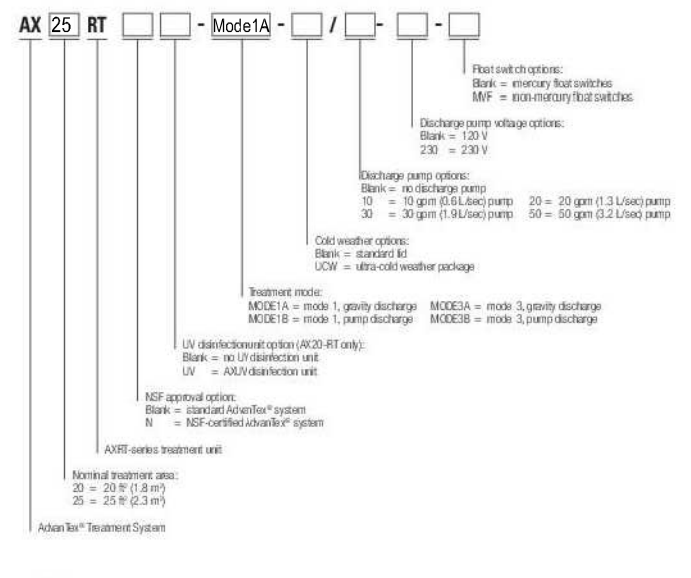
Following a septic tank equipped with a Biotube® effluent filter*, the AdvanTex AX-RT unit eliminates the need for separate recirc, treatment, and discharge tanks by performing all functions within a single module. It also reduces the number of risers and lids needed in the treatment train. For sites requiring anti-buoyancy measures, Orengo offers anti-floatation kits with tumblers.

The heart of the system is the AdvanTex Recirculating Treatment Tank, a sturdy, watertight, corrosion-proof fiberglass tank that includes the same dependable, textile treatment media found in all AdvanTex products.

Standard Models

AX20RT-MODE1A, AX20RT-MODE1B/10, AX20RT-MODE1B/30
 AX25RT-MODE1A, AX25RT-MODE1B/10, AX25RT-MODE1B/30

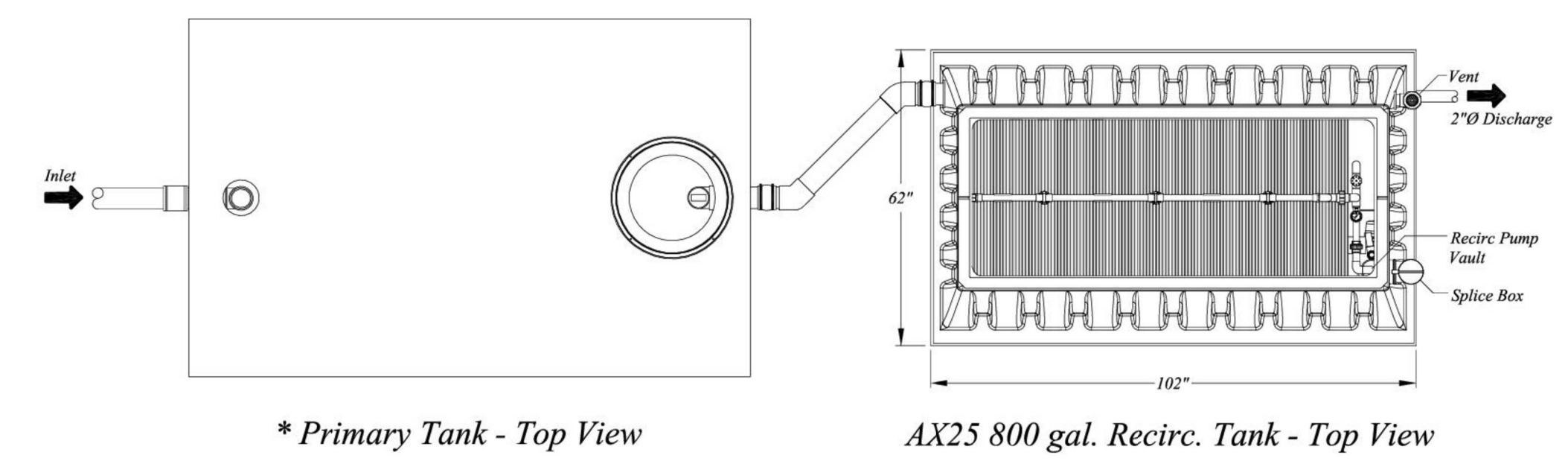
Product Code Diagram



AdvanTex® Treatment System AX-RTM Models meet the requirements of NSF/ANSI Standard 40 for Class 1 Systems.

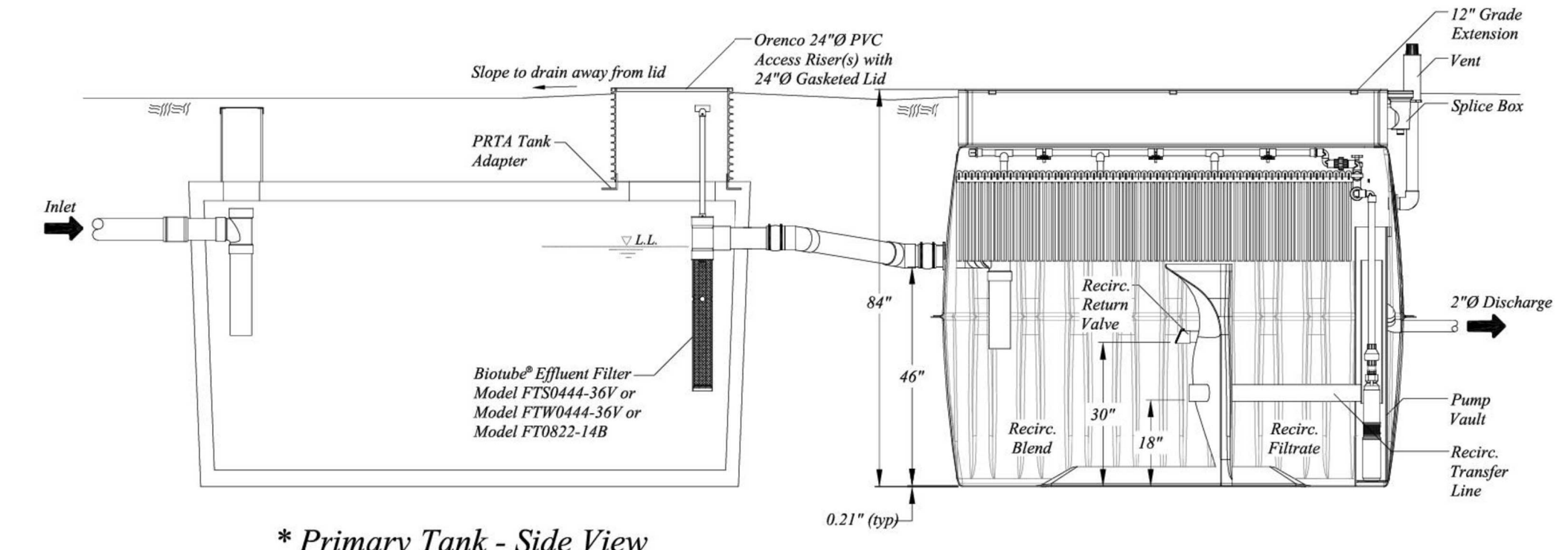
Orengo Systems® Inc., 814 Airway Ave., Sutherlin, OR 97479 USA • 800-348-9843 • 541-459-4449 • www.orengo.com
 NTD-ATX-AXRT-1 Rev. 1.2, 9/09/14 Page 1 of 2

AX25RT Treatment System - Gravity Discharge



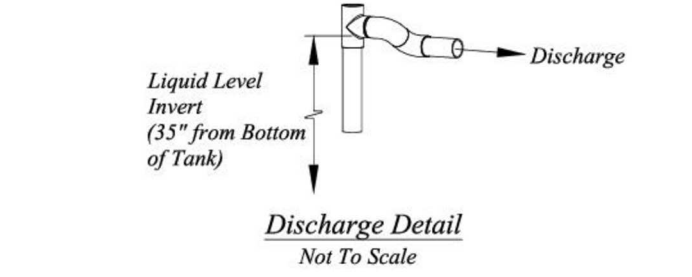
* Primary Tank - Top View

AX25 800 gal. Recirc. Tank - Top View



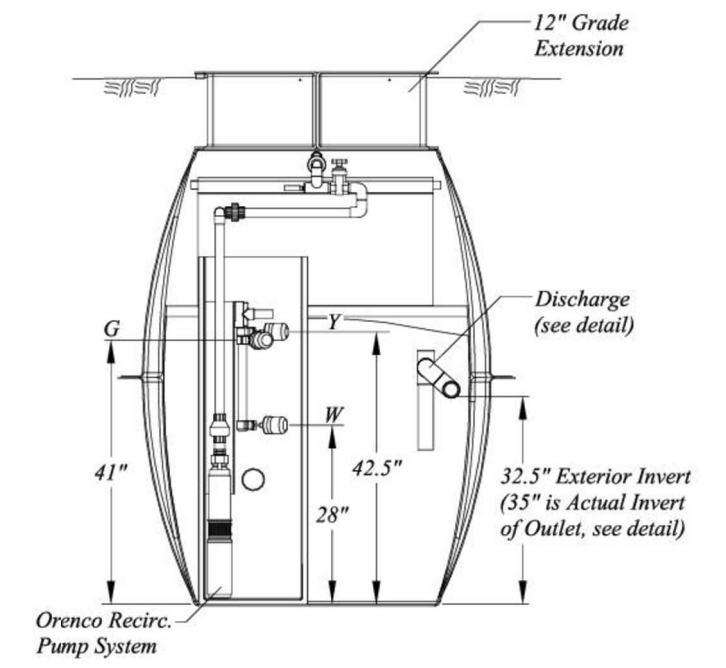
* Primary Tank - Side View

AX25 800 gal. Recirc. Tank - Side View



Discharge Detail Not To Scale

Float Functions	
Y	High Level Alarm
G	Override Timer ON/OFF
W	LLARO



Discharge Chamber - End View

* 1,250 Gallons minimum capacity for 5 bedrooms
 * 1,500 Gallons minimum capacity for 6 bedrooms.



Orengo Systems, Inc. Portions or all of this Standard System Configuration Drawing, as appropriate, may be reproduced and integrated into the site-specific layout and configuration of a system by its designer.

Disclaimer: This Standard System Configuration Drawing is provided solely as a design aid, and in no event should it be used as a replacement for site-specific engineering and design of the layout and configuration of an actual system. Orengo neither represents nor warrants that the configuration illustrated herein will perform in compliance with the requirements for any particular site or application.

Project:	AX25RT Mode 1A with 12" Grade Extension	Drawn By:	BEN SMITH	Scale:	1" = 30"
Description:	Details	Reviewed By:	CSJ	Sheet:	1 OF 1
		File Name:	NDW-ATX-RT-STD-58	Rev:	A-01
		Date:	1/28/2016		

DGD
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DATE:	2-18-24	WO #:	3380	DRAWN BY:	BCG
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Onsite Wastewater Treatment System
 616 Sea Ranch Dr.
 Santa Barbara, Ca.
Treatment System AdvanTex Tank Details

CIVIL DESIGN
 SHEET #
Sep-6

CIVIL DESIGN
 SHEET #
Sep-6



FOR MORE INFORMATION
CALL (818) 991-9997

<http://www.biosolutions.org>

VeriComm® AXA_ Control Panels

Technical
Data Sheet

For AdvanTex® Treatment Systems

Applications

VeriComm® AXA1 and AXA2 remote telemetry control panels are used with simplex pumping operations — timed recirculation, with gravity discharge — for AdvanTex® Treatment Systems. Coupled with the VeriComm Web-based Monitoring System, these affordable control panels give water/wastewater system operators and maintenance organizations the ability to monitor and control each individual system's operation remotely, with real-time efficiency, while remaining invisible to the homeowner. VeriComm AXA panels allow remote operators to change system parameters, including timer settings, from the Web interface.



Typical AXA_ VeriComm® Control Panel
Standard Models:
VCOM AXA1, VCOM AXA2

To Specify...

To specify this panel for your installation, require the following:

Basic Control Logic: Two Operating Modes

- A "Normal Mode" that manages day-to-day functions.
- A "Test Mode" that suspends data collection and alarm reporting during installation and service.

Data Collection and Utilization

- Data logs of system conditions and events, such as pump run times, pump cycles, and alarm conditions.

Troubleshooting and Diagnostic Logic

- Troubleshooting capabilities that can report suspected failed components, which then trigger Alarms.

Advanced Control Logic

- Advanced control logic that activates during float malfunctions to diagnose the situation and keep the system operating normally until servicing.

Communication and Alarm Management

- Remote telemetry capabilities coupled with a Web-based monitoring application (see *VeriComm Monitoring System, ATD-WEB-VCOM-1*) for communication and alarm management. Updating of point values (including timer settings) and receipt of queued changes during each communication session with host. Communication sessions that occur monthly, at a minimum, and more frequently during alarm conditions.

- Multiple methods of communication, as follows:

Call-In to VeriComm® Host

- Automatic notification to host of "Alarms," which signal fault conditions that need to be addressed immediately (e.g., pump failure).

- Automatic notification to host of "Alerts," which signal less critical fault conditions and which trigger the panel's troubleshooting logic and alternative operating mode (e.g., stuck float switch).

- Automatic notification to host of "Updates," which include alarm updates or all-clear notifications following Alarms/ Alerts, as well as normally scheduled monthly panel reports.

- Manual, forced communication from panel to host to effect an updating of point values and receipt of queued changes.

Real-Time Direct Connection to Panel

- Manual, direct connection at the site via RS-232 serial port, to allow a local operator real-time access to detailed logged data and the ability to change point values from a laptop.

- Manual, forced communication by local operator/homeowner at the site to initiate an auto-answer mode, allowing a remote operator real-time access to detailed logged data and the ability to change point values.

During real-time, manual connections, software with open architecture (and password security) is used; no proprietary software is required. VTI100 protocol allows access and control from any computer modem (Mac or PC) with a simple communication program (e.g., Windows® HyperTerminal); multilevel password protection in panel ensures that only qualified personnel can access the panel's data.

Additional Features

- Status light indicators on the board, including ...

- Flashing green LED for normal operation

- Yellow LEDs for status of digital inputs

- Red LEDs for status of digital outputs and modem activity

- UL-recognized and FCC-approved

For more information, try our online demo at www.vericomm.net (no password required).



Oranco Systems
Incorporated

www.oranco.com

ATD-CP-VCOM-6

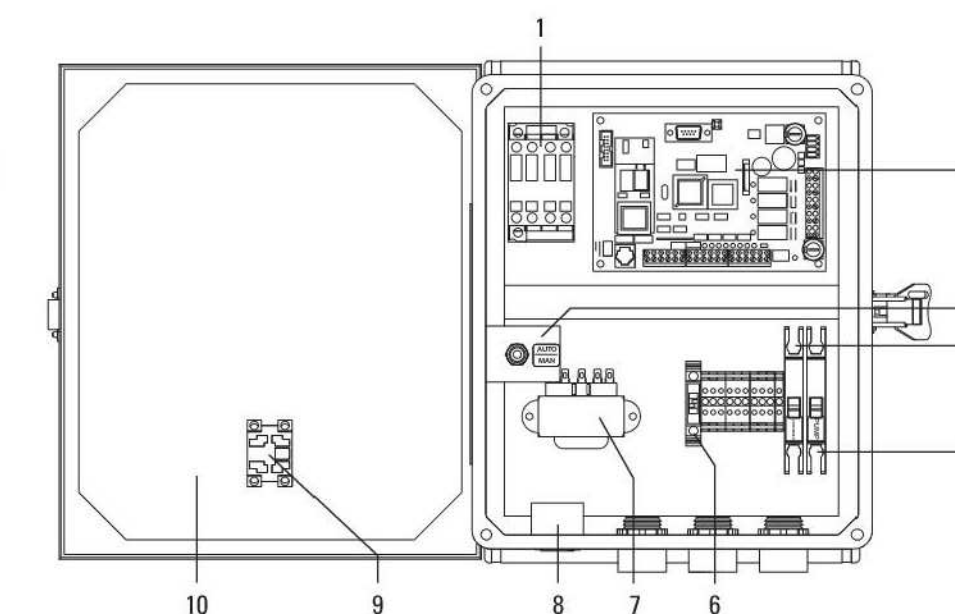
Rev. 2.3 © 12/05

Page 1 of 2

VeriComm® AXA_ Control Panels

Technical
Data Sheet

1. Motor-Start Contactor
2. VeriComm® Remote Telemetry Board
3. Toggle Switch
4. Control Circuit Breaker
5. Pump Circuit Breaker
6. Fuse
7. Transformer
8. Audio Alarm
9. Visual Alarm
10. Panel Enclosure



Standard Components

Feature	Specifications
1. Motor-Start Contactor	120 VAC, 14 FLA, 3/4 hp, 60 Hz, 2.5 million cycles at FLA (10 million at 50% of FLA). 240 VAC, 14 FLA, 2 hp, 60 Hz, 2.5 million cycles at FLA (10 million at 50% of FLA).
2. VeriComm® Remote Telemetry Unit*	ATRTU-100: 36/18 VAC (center tap transformer), 8 digital inputs, 4 analog inputs, 4 digital outputs, 0 analog outputs, on-board modem (2400 baud), LED input and output indicators, 1-year battery backup of data and program settings.
3. Toggle Switch	Single-pole switch, automatic On, with spring-loaded, momentary, manual On, 20 A, 1 hp.
4. Control Circuit Breaker	10 A, OFF/ON switch. Single-pole 120 VAC, double-pole 240 VAC. DIN rail mounting with thermal magnetic tripping characteristics.
5. Pump Circuit Breaker	20 A, OFF/ON switch. Single-pole 120 VAC, double-pole 240 VAC. DIN rail mounting with thermal magnetic tripping characteristics.
6. Fuse	120 VAC Primary, 36 VCT @ 0.85 A Secondary.
7. Transformer	250 VAC, 1 A.
8. Audio Alarm	80 dB at 24 in. (610 mm), warble-tone sound.
9. Visual Alarm	7/8 in. (22 mm) diameter red lens, "Push-to-silence." NEMA 4, 1 W bulb, 120 VAC.
10. Panel Enclosure	Measures 13.51 in. high x 11.29 in. wide x 5.58 in. deep (343 mm x 287 mm x 142 mm). NEMA 4X rated. Constructed of UV-resistant fiberglass; hinges and latch are stainless steel. Conduit couplings provided.

VCOM-AXA1	120 VAC, 3/4 hp, 14 A, single-phase, 60 Hz
VCOM-AXA2	240 VAC, 2 hp, 14 A, single-phase, 60 Hz

Optional Components

Feature	Specifications	Product Code Adder
Pump Run Light	7/8 in. (22 mm) diameter green lens. NEMA 4, 1 W bulb, 120 VAC.	PRL
Anticondensation Heater	Self-adjusting; radiates additional wattage as temperature drops.	HT
UV Disinfection Compatibility	UV grounded power circuit and alarm contacts. Pump disable upon UV failure.	UV

* See VeriComm® Remote Telemetry Unit (ATD-CP-VCOM-1) and VeriComm® Monitoring System (ATD-WEB-VCOM-1) for details.

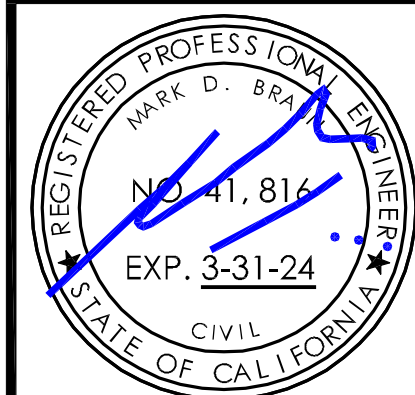
ATD-CP-VCOM-6
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Page 2 of 2

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DATE: 2-18-24 WO #: 3380 DRAWN BY: BCG

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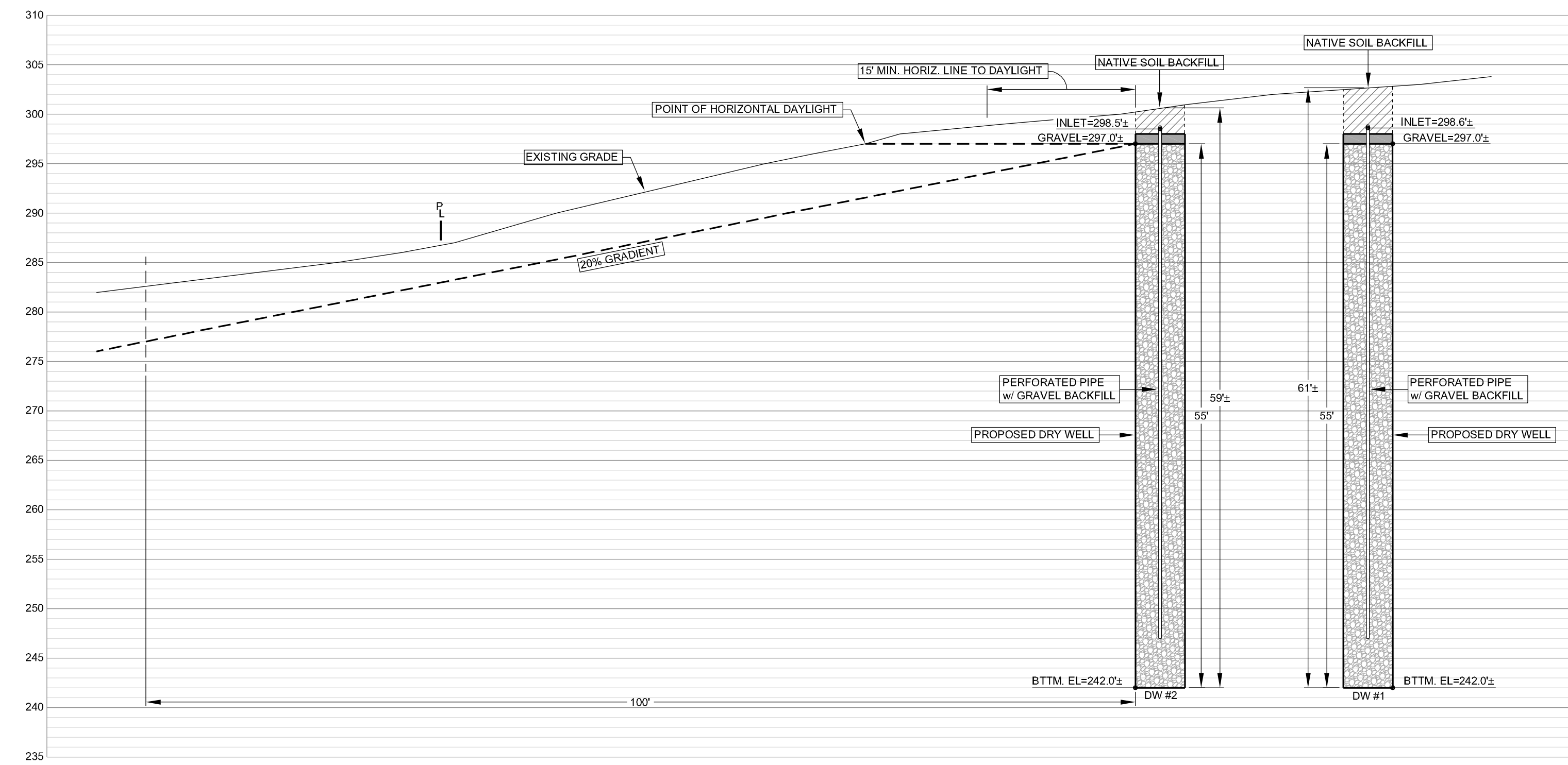
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Onsite Wastewater Treatment System
616 Sea Ranch Dr.
Santa Barbara, Ca.
Treatment System Controller

CIVIL DESIGN

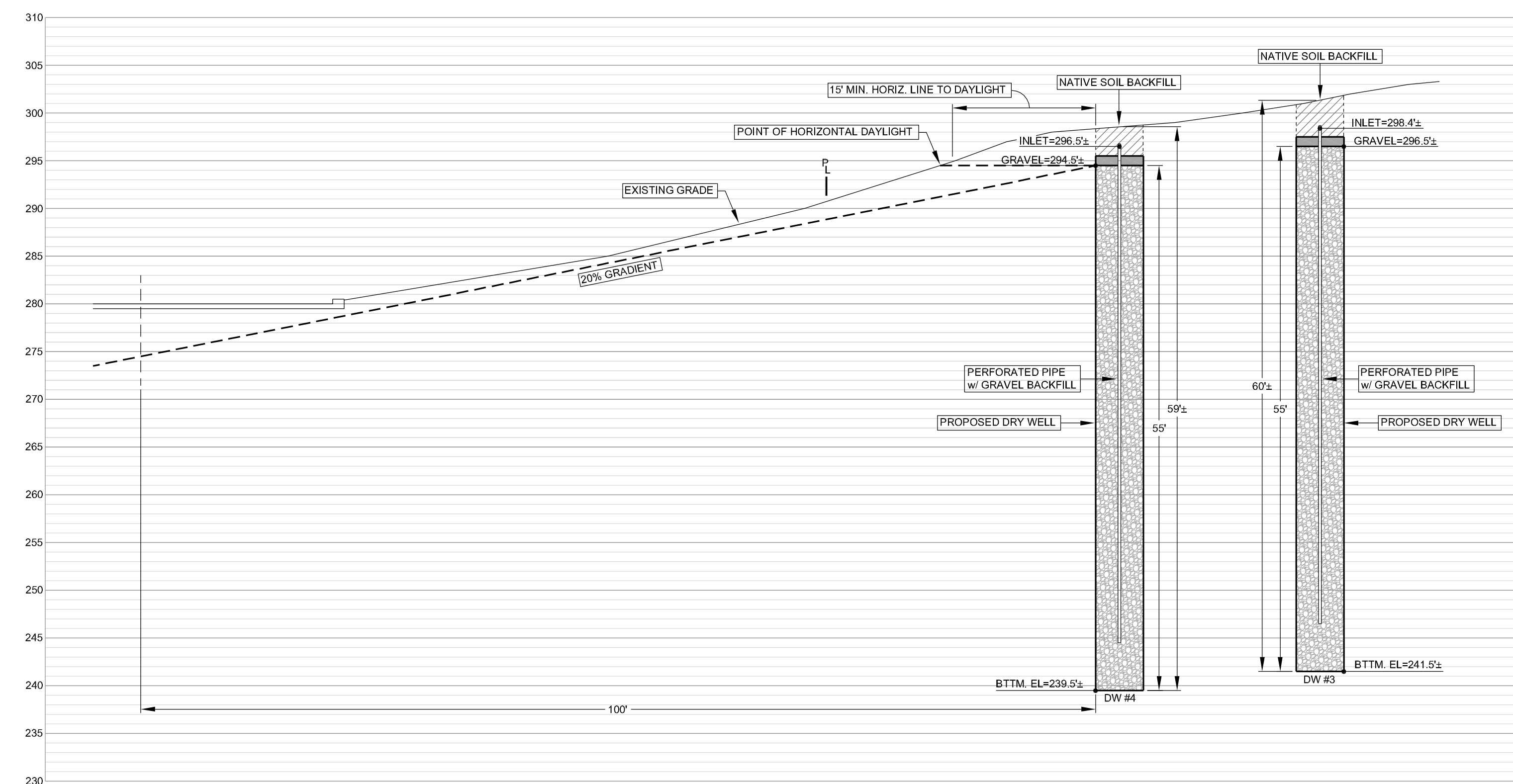
SHEET #

Sep-7



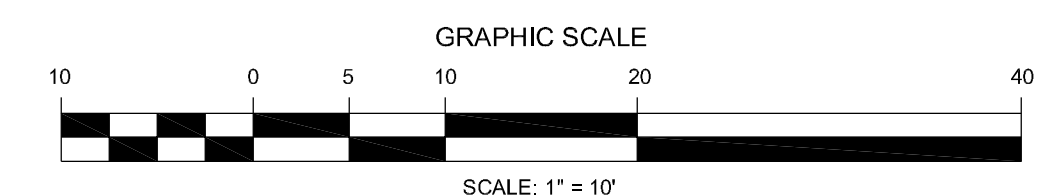
Cross Section 'A'
(Initial Septic Field)

Scale: 1" = 10'



Cross Section 'B'
(100% Expansion Septic Field)

Scale: 1" = 10'




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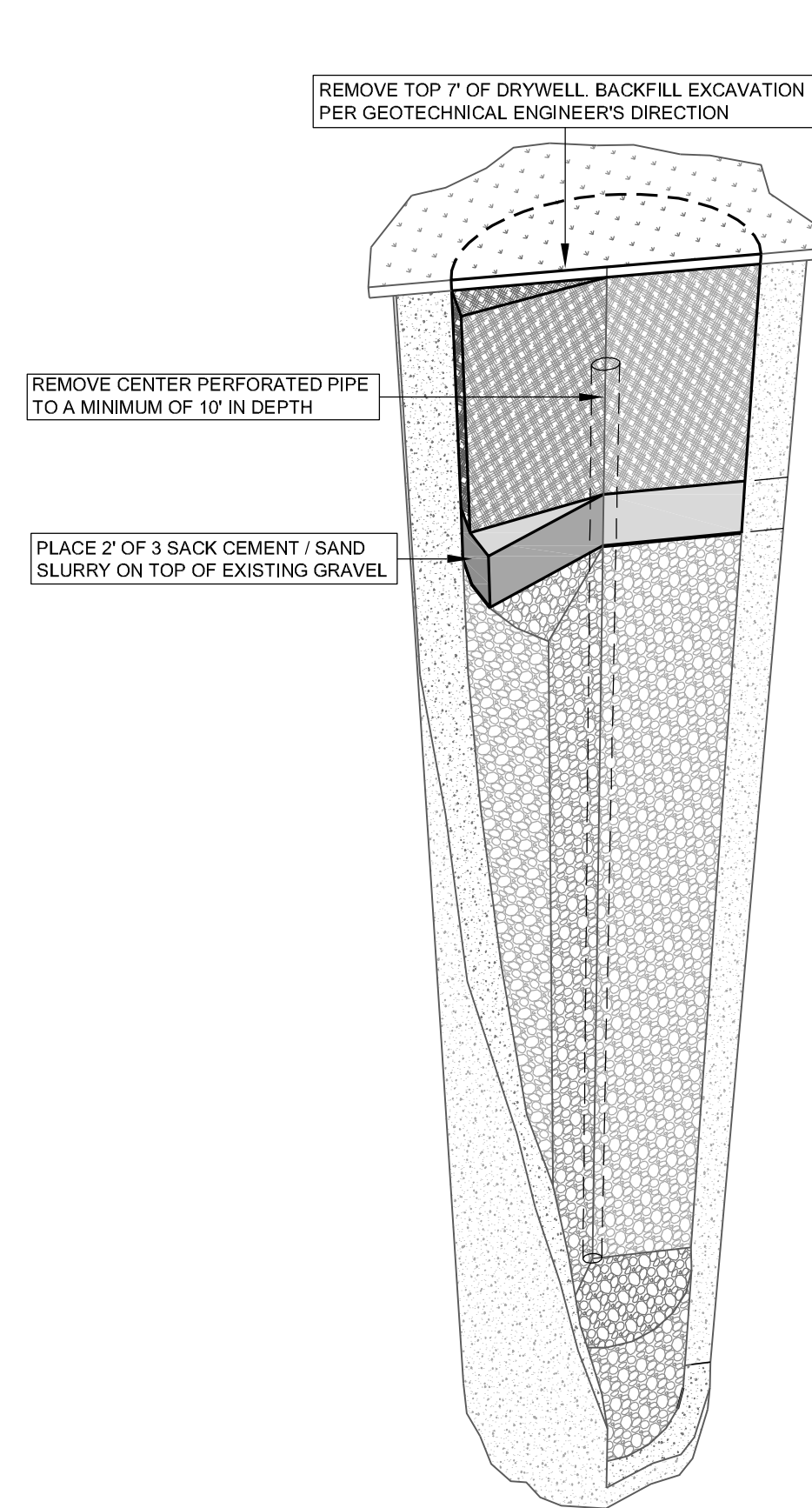
DATE: 2-18-24	WO #: 3380	DRAWN BY: BCG
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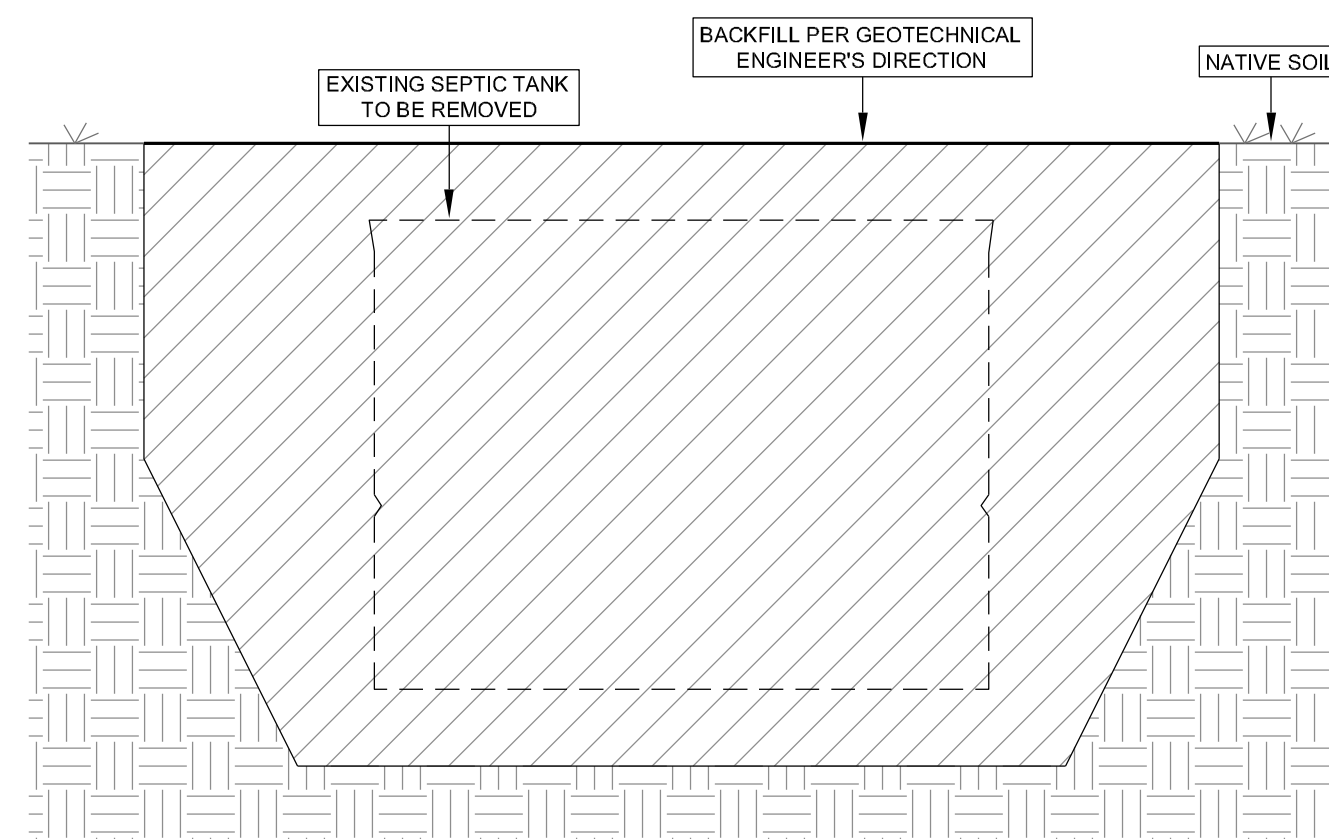

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Onsite Wastewater Treatment System
 616 Sea Ranch Dr.
 Santa Barbara, Ca.
Drywell Cross Sections

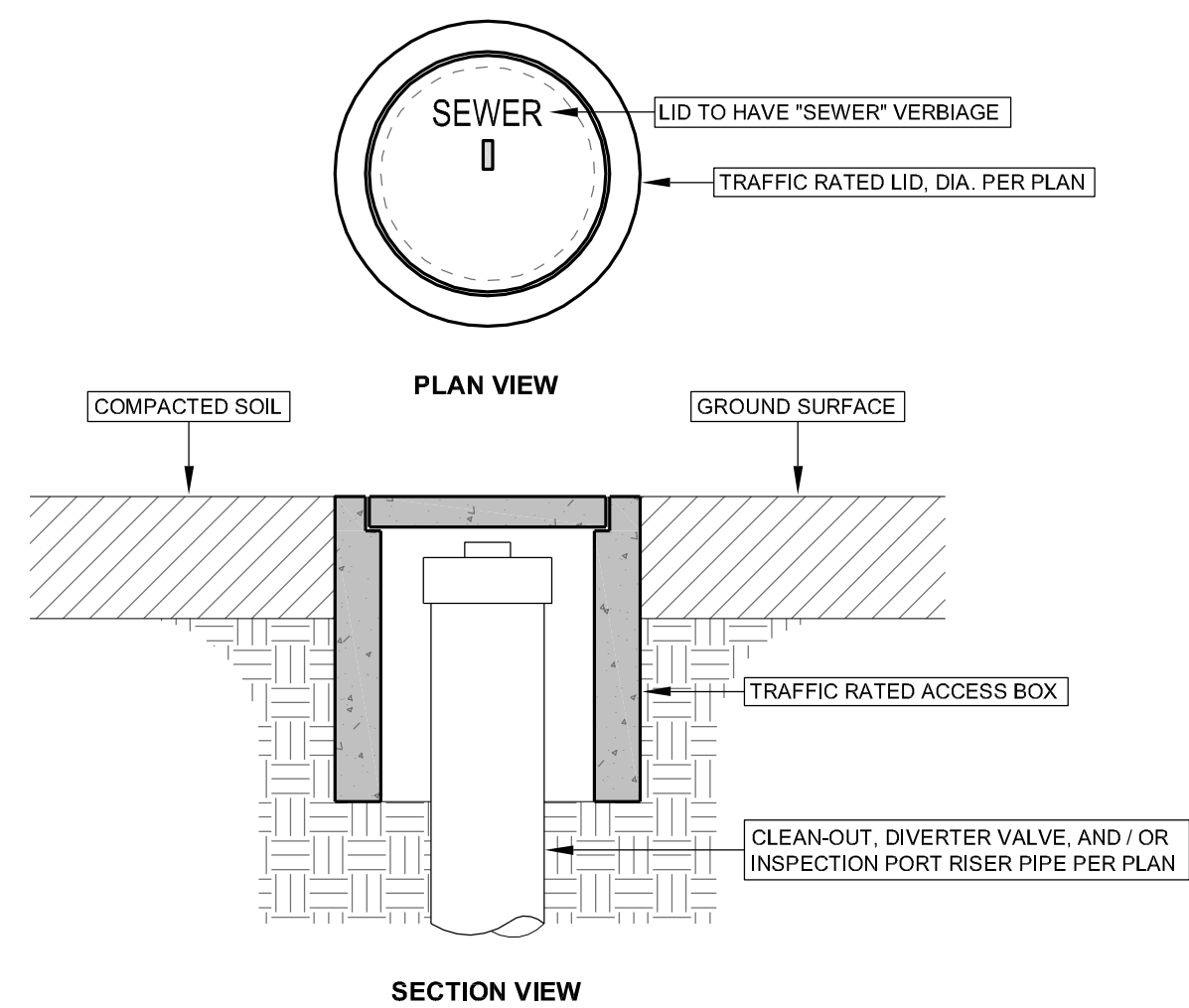
CIVIL DESIGN
 SHEET #
Sep-8



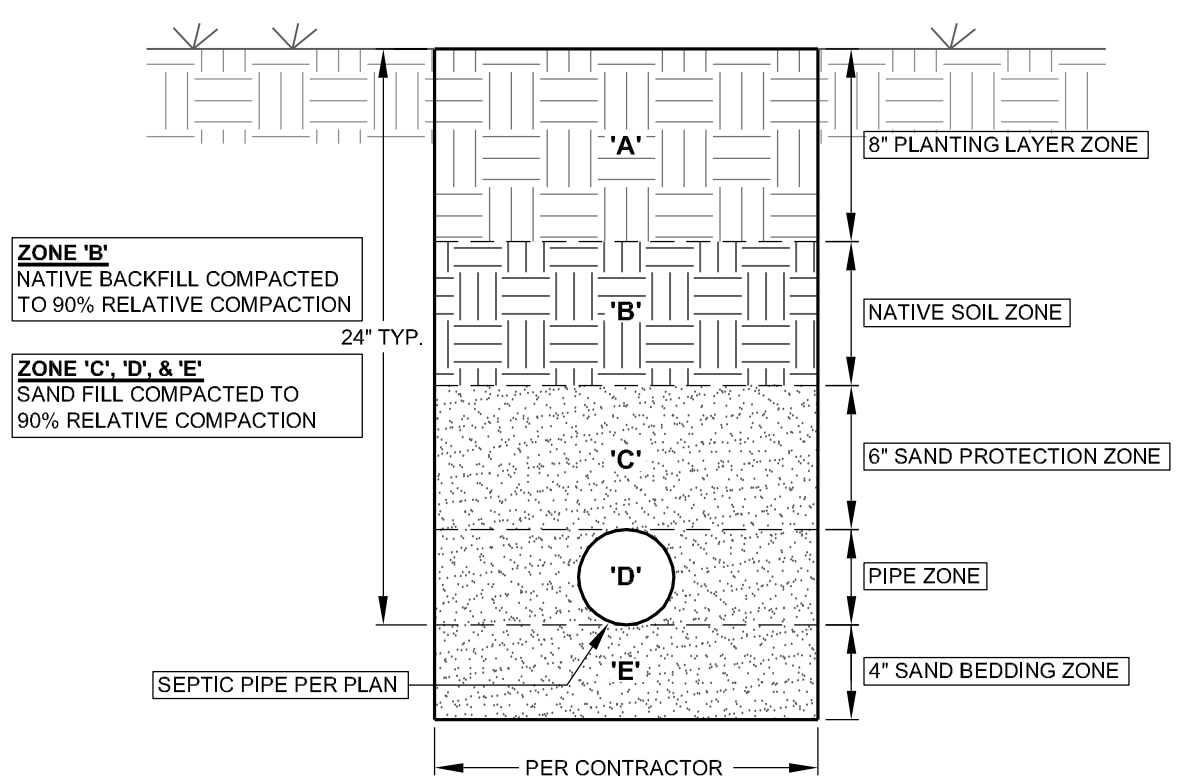
TYPICAL DRYWELL ABANDONMENT 3
NOT TO SCALE



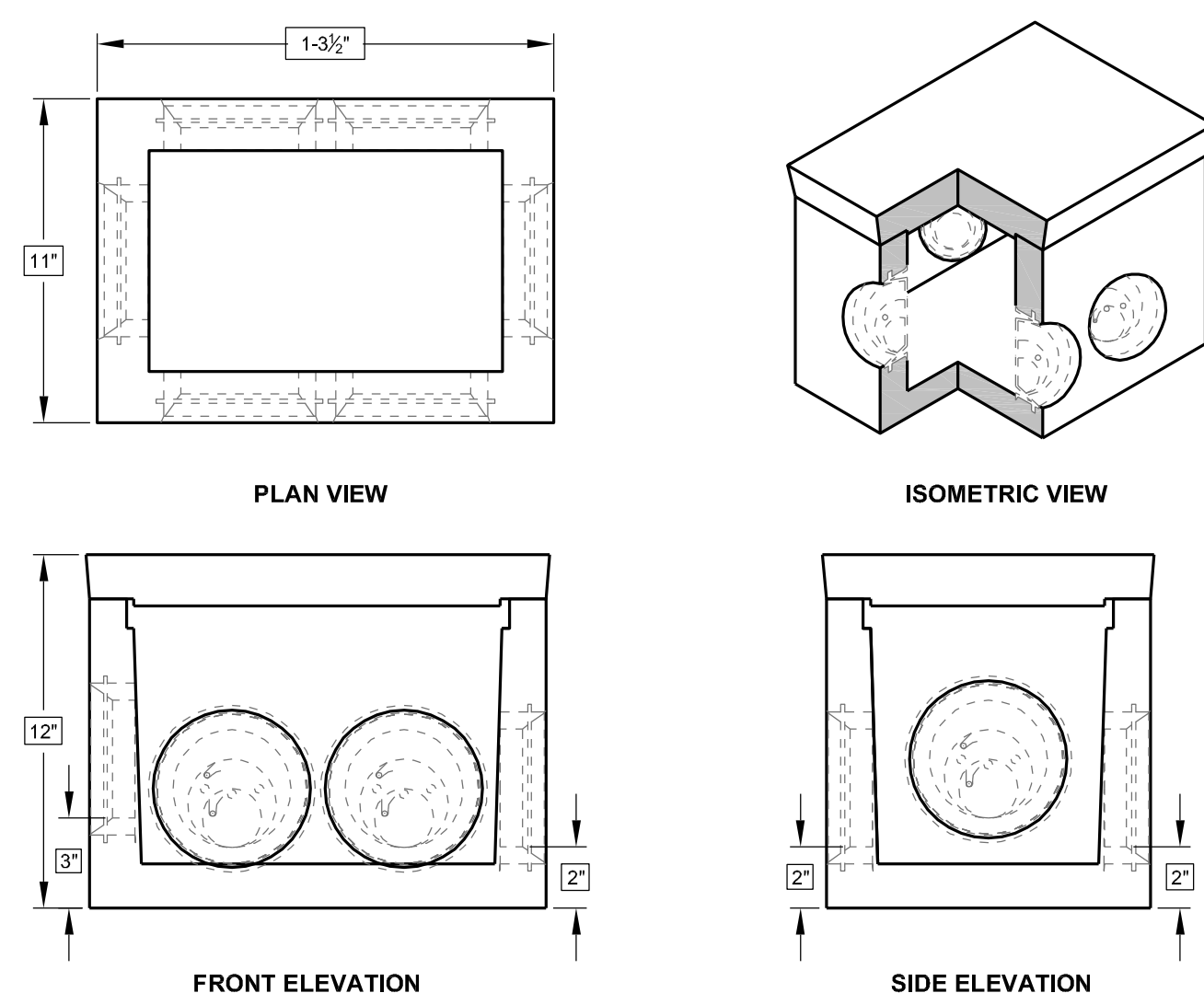
TYPICAL SEPTIC TANK DEMOLITION 4
NOT TO SCALE



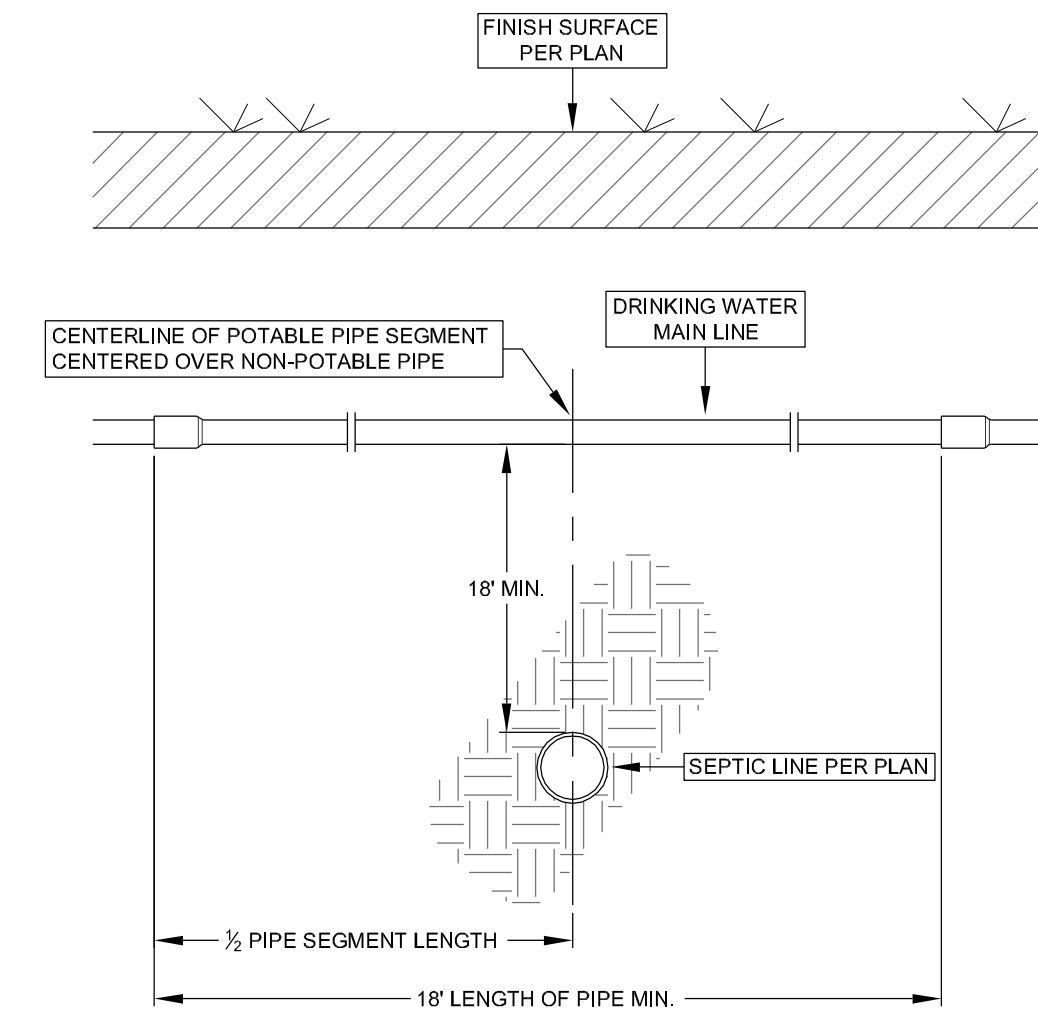
TYPICAL TRAFFIC RATED ACCESS BOX 5
NOT TO SCALE



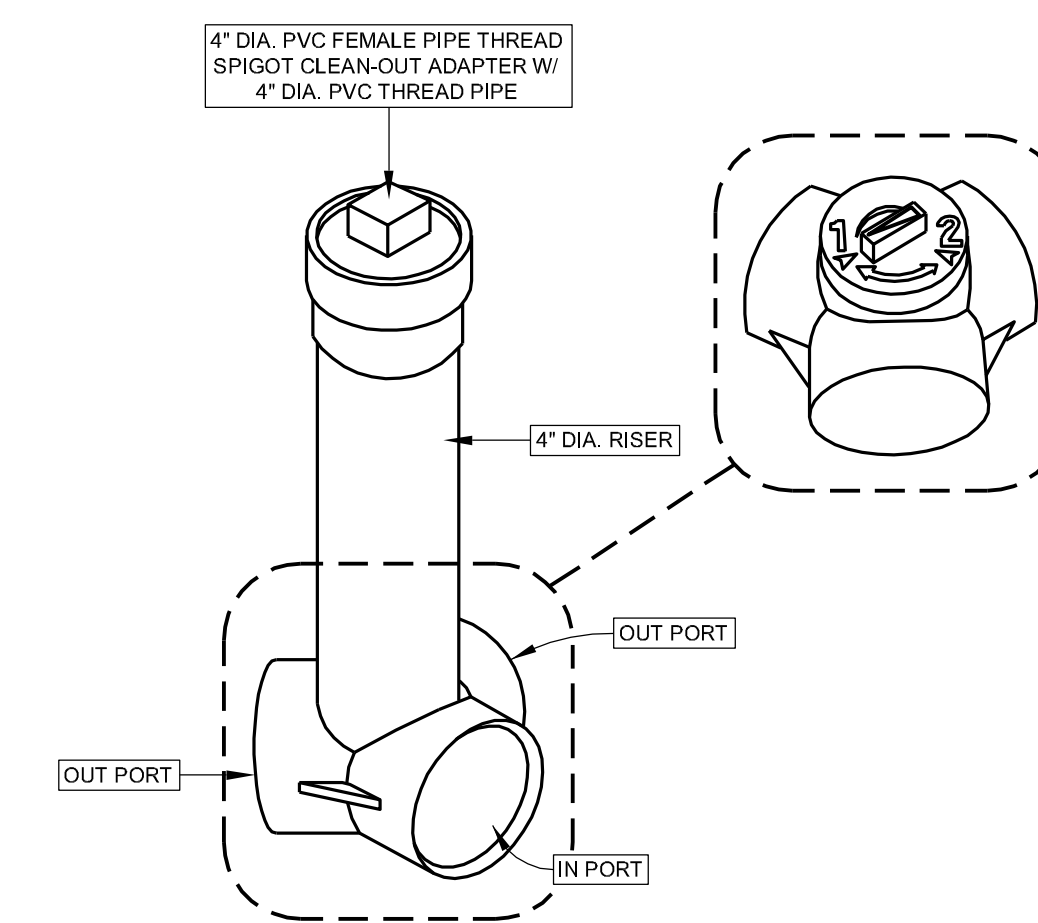
TYPICAL SEPTIC PIPE UTILITY TRENCH 6
NOT TO SCALE



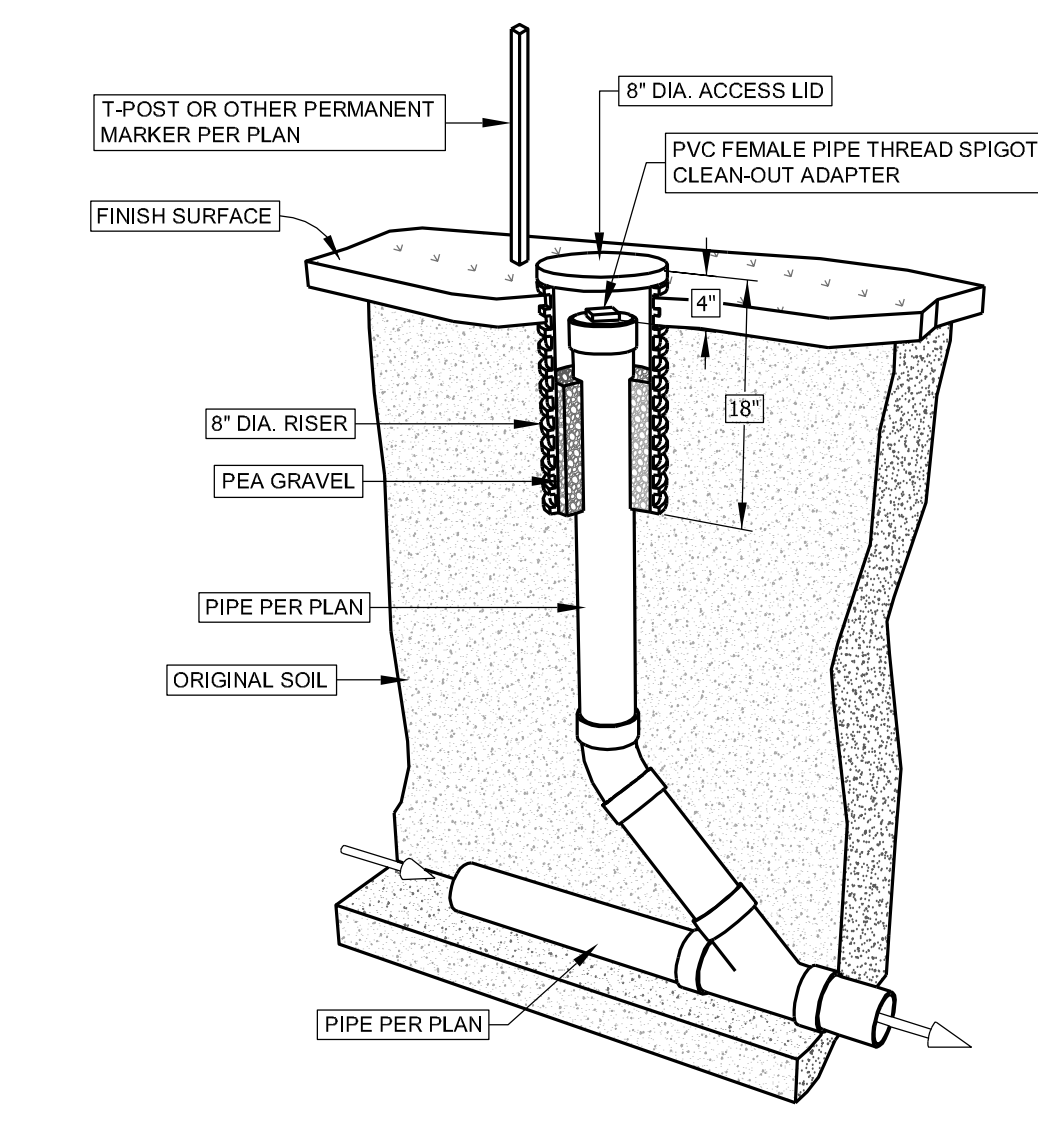
MID-STATE CONCRETE 5 OUTLET DISTRIBUTION BOX 7
NOT TO SCALE



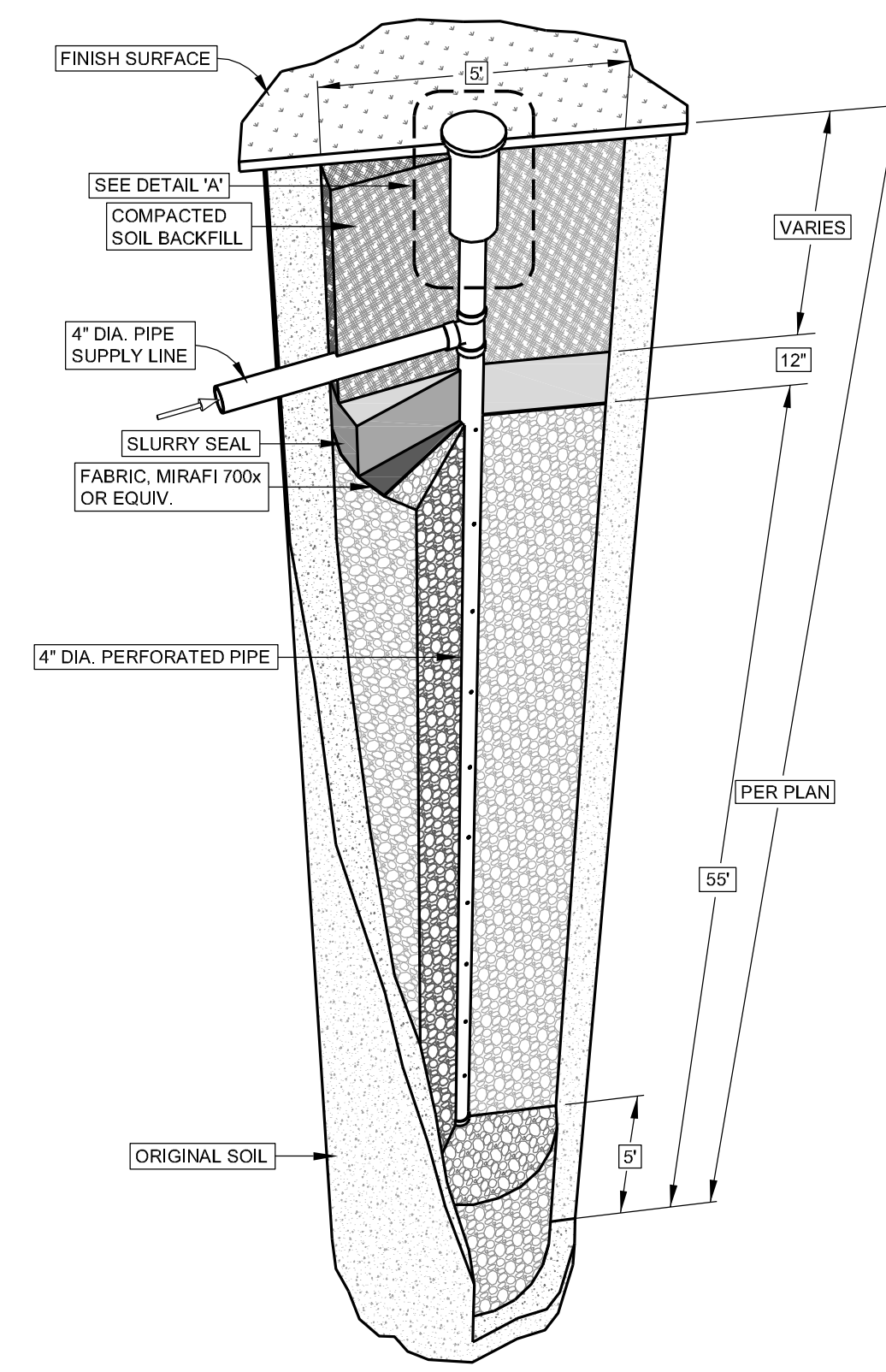
TYPICAL UTILITY PIPE CROSSING 8
NOT TO SCALE



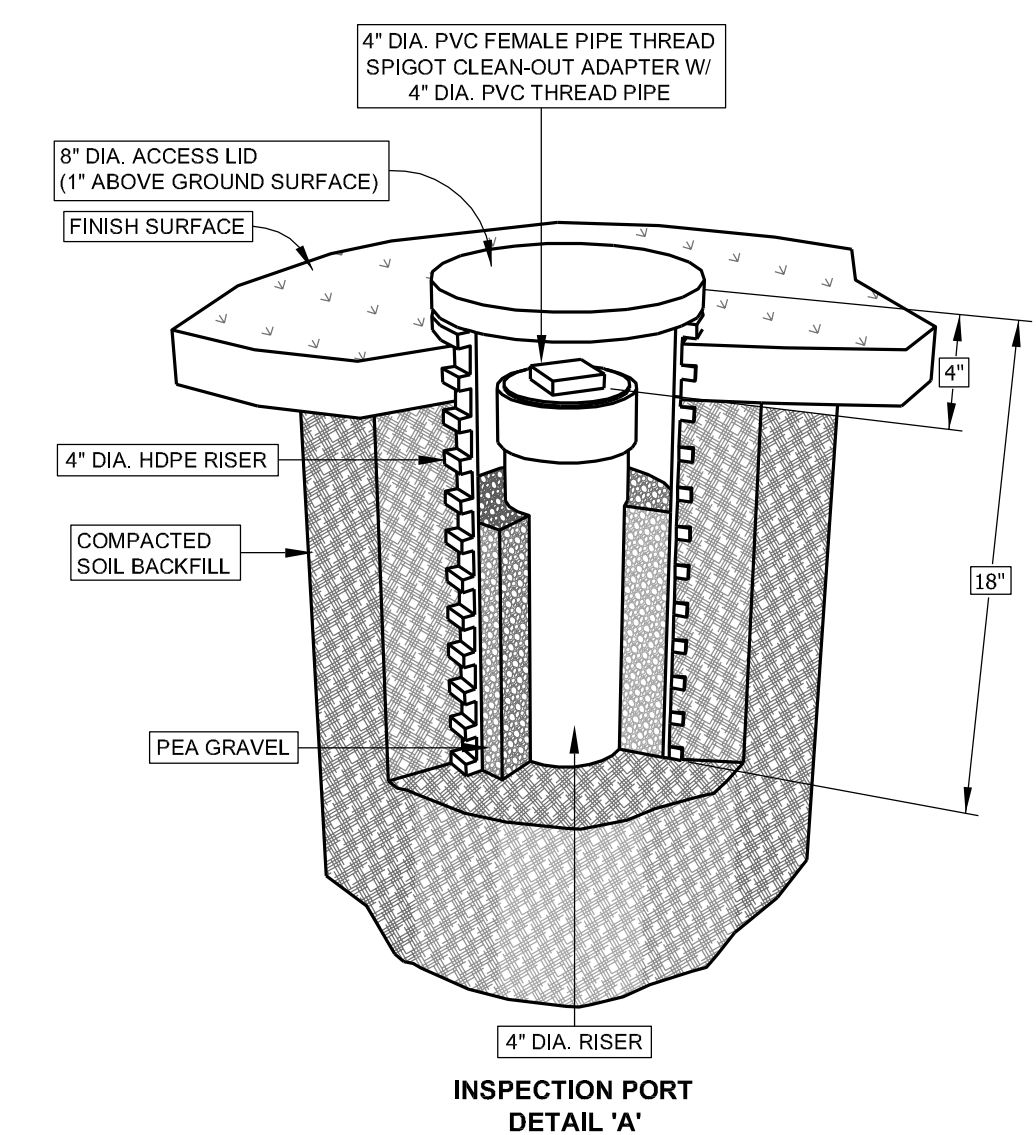
TYPICAL DIVERTER VALVE 9
NOT TO SCALE



TYPICAL CLEAN-OUT 10
NOT TO SCALE



TYPICAL DRYWELL INSTALLATION 11
NOT TO SCALE





July 28, 2022

Arkley Residence
C/o Bill Wolf
1117 Coast Village Rd
Santa Barbara, CA 93108

Re: Failing Percolation Tests, 616 Sea Ranch Rd, Santa Barbara, CA

Dear Mr. & Mrs. Arkley:

In accordance with your request, please be advised this firm conducted three percolation tests for the proposed septic system repair. Testing was conducted by the leach line testing method. The percolation tests were conducted at depths ranging from 2.5 to 6 feet below present ground surface in order to determine the suitability of the subsurface soil to accept sewage effluent disposal by the normal leach line method, based upon the present Santa Barbara County Percolation Testing Procedures.

The percolation tests were conducted in a 12 inch diameter boring using a six inch depth of clear water. The results of the percolation tests are tabulated below:

TEST NO.	DEPTH OF TEST (ft.)	MINUTES PER INCH
1	1.0	120
2	4.5	480
3	5.0	360
4	3.0	60
5	2.0	240
6	5.0	240

Based upon the results of the Percolation Testing described herein it is my opinion of the undersigned the areas tested do not meet the minimum Santa Barbara County Environmental Health Requirements for sewage effluent disposal by the normal leach line method.

We, therefore, suggest you consider an alternate method of sewage effluent disposal such as dry wells. If dry wells are also found to be inappropriate for the project, a special system could be designed for the parcel.

Advanced treatment will be required by Environmental Health Department.

It would be necessary for this firm to obtain a topographic map of the lot as well as the elevation of the ground floor of the residence in order to properly design the system.

Sincerely,
Mark D. Braun, P.E.



Soils Engineering & Materials Testing

Mailing: P.O. Box 2004, Buellton, CA 93427 • Phone (805) 688-5429 • Fax (805) 688-7239

BORING LOG

BORING NUMBER: 1

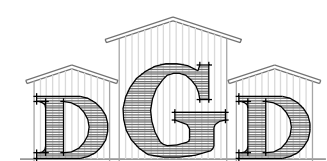
Date Drilled: July 14 2022

Equipment Used: Gas powered mobile auger

Elevation (ft.)	Std. Pen. Test	Moisture Content	Dry Density	Depth (ft.)	Sample Location	Notes
				1		
				2		
				3	CL	Black CLAY & SHALE
				4		
				5		
				6		
				7	CL	Dark brown CLAY & SHALE
						Refusal at 7 ft

Note: The log of subsurface conditions shown herein applies only at specific boring location and at date indicated.

PLATE A-2.1



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Email: Brett@GauldDesigns.com

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Onsite Wastewater Treatment System
616 Sea Ranch Dr.
Santa Barbara, Ca.
Percolation Report

CIVIL DESIGN

SHEET #

Sep-10